

# ROCKFORD BOARD OF EDUCATION INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES FOR SCHOOL DISTRICT NO. 205 ROCKFORD, ILLINOIS

IFB No. 23-32 Security Vestibules at Ellis, Lewis Lemon, RESA & Marshall Schools

DATE: November 3, 2022

RE: ADDENDUM NO. 2

#### To All Bidders:

Included are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 1st floor prior to coming to the bid opening. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Director of Purchasing by email at <a href="mailto:purchasingdeptstaff@rps205.com">purchasingdeptstaff@rps205.com</a>.

#### ROCKFORD BOARD OF EDUCATION

By: Dane Youngblood Director of Purchasing



# **ADDENDUM TWO**

RLJA Project No.: **22-023** RPS Bid #: **23-32** 

Date: November 3, 2022

Subject: CHANGES to the BIDDING DOCUMENTS

Project: SECURITY VESTIBULE AT

**VARIOUS SCHOOLS FOR** 

**ROCKFORD PUBLIC SCHOOL DISTRICT #205** 

ROCKFORD, ILLINOIS

Bids Due: 2:00PM, THURSDAY, NOVEMBER 10, 2022

From: ARCHITECT: RICHARD L. JOHNSON ASSOCIATES, INC.

4703 CHARLES STREET ROCKFORD, IL 61108

To: ALL PROJECT DOCUMENT HOLDERS

Please reproduce this Addendum as needed, and attach to the Project Manuals for the above project.

Bidders shall indicate receipt of this and all Addenda in the space provided on the Bid Form. Failure to do so may be sufficient cause to reject the bid.

Sincerely

RICHAR L. JOHNSON ASSOCIATES, INC.

Scott R. Johnson, AIA, LEED AP

This Addendum consists of:

Pages 1 thru 2.

8 1/2" x 11" Addendum Drawing ADM2.1

Revised 24" x 36" Drawings A108, A109 and A110

**NOTE:** Wherein this Addendum conflicts with the original Project Manual and Drawings, this Addendum shall govern.

#### **CHANGES to the DRAWINGS**

#### 1. **DRAWING A108**

**1.1.** Existing concrete stoop top to be removed and replaced. See attached revised drawing.

#### 2. DRAWING A109

**2.1.** See added plan 3 showing the new concrete stoop top and skim coat topping required to raise the threshold of the door by  $\frac{1}{2}$ ". See attached revised drawing.

#### 3. DRAWING A110

**3.1.** See added detail cut thru the stoop. See attached revised drawing.

#### 4. **DRAWING A111**

4.1. There is an existing steel beam directly above the masonry wall that gets removed designated by demolition keynote M. There are two beams perpendicular to the wall that intersect above that same wall. The beams have fireproofing that contains asbestos. The Owner will hire, under a separate contract, a contractor to remove the fire proofing adjacent to the masonry. The General Contractor shall reapply fireproofing over the beams for a 2 hour rating.

#### 5. <u>DRAWING M102</u>

**5.1.** See attached Addendum Drawing ADM2.1 showing revised fin tube radiation schedule with updated manufacturer and model.

#### **END ADDENDUM NUMBER 2**

# FIN TUBE RADIATION (FTR) SCHEDULE:

PLAN NO. FTR-1 FTR-2 SERVICE **VESTIBULE L104 VESTIBULE L103 MANUFACTURER** VULCAN MODINE MODEL JV4-ARPM JV4-ARPM **TYPE** PEDESTAL-HOT WATER PEDESTAL-HOT WATER CAPACITY (BTU/H/FT) 980 980 FIN SIZE (IN) 4.25X4.25 4.25X4.25 ELEMENT LENGTH (IN) 60 60 **ENCLOSURE LENGTH (IN)** 72 72 **ROWS** 1 1 EWT (DEG. F.) 180 180 PIPE SIZE (IN) 3/4" 3/4" FIN SPACING (FINS/FT) 50 50 **NOTES** 1-5 1-5

NOTES: SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

- PROVIDE ISOLATION VALVES ON SUPPLY AND RETURN PIPING.
- 2. CONTROLS CONTRACTOR TO FURNISH AND INSTALL ALL DDC CONTROLS; 2 WAY MODULATING CONTROL VALVE AND ACTUATOR, SPACE SENSORS, WIRING, PROGRAMMING, GRAPHICS, ETC. AS SHOWN ON CONTROLS DIAGRAMS AND POINTS LIST. UNIT TO BE TIED INTO EXISTING BUILDING MANAGEMENT SYSTEM.
- 3. CUSTOM COLOR TO BE CHOSEN BY ARCHITECT, COORDINATE WITH ARCHITECT PRIOR TO ORDERING.
- 4. TUBES TO BE OF COPPER MATERIAL. PROVIDE ALL END CAPS, CORNERS, AND SUPPORTS AS REQUIRED. PROVIDE ENCLOSURE OF PROPER LENGTH TO CONCEAL ALL PIPING AND ELEMENTS. VERIFY ENCLOSURE LENGTH REQUIRED IN FIELD WITH SPACE AVAILABLE, ADJUST AS REQUIRED.
- 5. UNITS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. UNITS SHALL BE MOUNTED MINIMUM 2" FROM ADJACENT WALL.



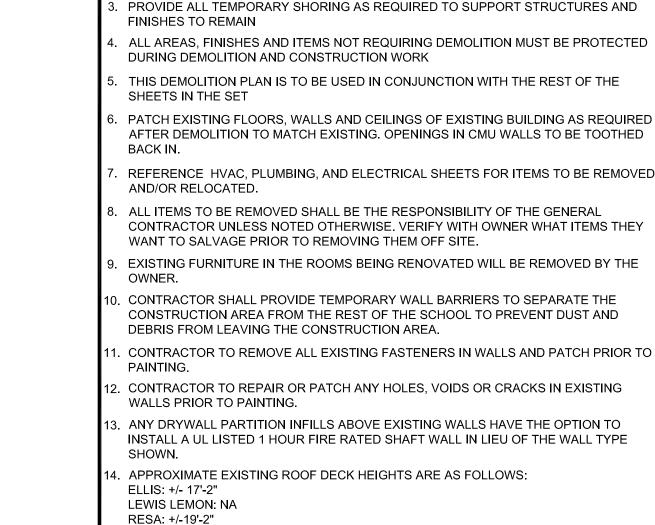


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#2

SHEET NUMBER

A108



THURGOOD MARSHALL: +/- 12'-10"

B REMOVE EXISTING GLASS BLOCK.

DEMOLITION BOX NOTES

A REMOVE EXISTING CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.

REMOVE EXISTING DOOR, FRAME, SIDELITE AND HARDWARE.

EXISTING LAY-IN CEILING SYSTEM, LIGHTS, ETC. TO REMAIN.

H REMOVE EXISTING LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

M REMOVE EXISTING MASONRY WALL FULL HEIGHT AS REQUIRED.

REMOVE EXISTING ALUMINUM DOOR, HARDWARE AND FRAMING.

REMOVE EXISTING AIPHONE. SEE ELECTRICAL DRAWINGS.

REMOVE EXISTING EXIT SIGN. SEE ELECTRICAL DRAWINGS.

D1 REMOVE EXISTING DISPLAY CASE AND TURN OVER TO THE OWNER.

F1 REMOVE EXISTING HAND SANITIZER AND TURN OVER TO THE OWNER.

H1 EXISTING RADIANT HEATER TO REMAIN. SEE MECHANICAL DRAWINGS.

K1 REMOVE EXISTING FIRE DETECTOR. SEE ELECTRICAL DRAWINGS. L1 REMOVE EXISTING DIFFUSER/GRILLE. SEE MECHANICAL DRAWINGS.

P1 EXISTING CARD READER TO REMAIN. SEE ELECTRICAL DRAWINGS. Q1 REMOVE EXISTING CARD READER. SEE ELECTRICAL DRAWINGS.

U1 REMOVE EXISTING WALK-OFF CARPET TILES AND RUBBER BASE.

B2 REMOVE AND SALVAGE EXISTING VERTICAL CURTAINWALL FRAME.

J1 REMOVE EXISTING JUNCTION BOX AND CONDUIT. SEE ELECTRICAL DRAWINGS.

M1 REMOVE AND REINSTALL EXISTING DUCTWORK. SEE MECHANICAL DRAWINGS.

|Z1| CUT AND REMOVE EXISTING WALK-OFF CARPET AT ALL NEW ALUMINUM FRAMING

A2 REMOVE EXISTING QUARTER ROUND WOOD TRIM AT HEAD OF FRAMING SYSTEM.

C2 REMOVE PORTION OF EXISTING HORIZONTAL CURTAINWALL FRAMES AS REQUIRED.

F2 REMOVE EXISTING LOCKS FROM DOORS AND PROVIDE BLANKS OVER. DO THIS

G2 REMOVE EXISTING CARPET, RUBBER BASE AND TRANSITION STRIPS.
H2 REMOVE EXISTING CONCRETE STOOP TOP, FOUNDATIONS TO REMAIN

E1 REMOVE EXISTING PLAQUE AND TURN OVER TO THE OWNER.

G1 EXISTING PIPING TO REMAIN. SEE MECHANICAL DRAWINGS.

N1 REMOVE EXISTING LOUVER. SEE MECHANICAL DRAWINGS.

B1 REMOVE EXISTING DOOR(S), FRAME AND HARDWARE. C1 REMOVE EXISTING ALUMINUM FRAMING AND GLAZING.

N REMOVE EXISTING HOLLOW METAL WINDOW FRAME, GLAZING AND PLASTIC

T REMOVE EXISTING CABINET UNIT HEATER. SEE MECHANICAL DRAWINGS.

REMOVE EXISTING FIRE ALARM DEVICE. SEE ELECTRICAL DRAWINGS.

W REMOVE EXISTING DATA JUNCTION BOX. SEE ELECTRICAL DRAWINGS. ⟨ REMOVE EXISTING SPRINKLER HEAD. SEE FIRE PROTECTION DRAWINGS. REMOVE EXISTING MOTION SENSOR. SEE ELECTRICAL DRAWINGS.

K EXISTING COPIER REMOVED AND RELOCATED BY OWNER. REMOVE EXISTING CASEWORK. SALVAGE AS REQUIRED.

P REMOVE EXISTING ALUMINUM DOOR AND HARDWARE.

FOR RE-WORKING OF EXISTING CEILING SYSTEM. REMOVE EXISTING PLASTER SOFFIT AND FRAMING.

EXISTING STEEL LINTEL TO REMAIN. PAINT.

LAMINATE STOOL.

R REMOVE EXISTING THRESHOLD.

A1 EXISTING METAL SOFFIT TO REMAIN.

R1 EXISTING CASEWORK TO REMAIN.

T1 REMOVE EXISTING VCT AND RUBBER BASE.

V1 CUT DOWN EXISTING FOUNDATION WALL 8".

Y1 SALVAGE AND REINSTALL EXITING FILE CABINET.

E2 REMOVE EXISTING DOOR, FRAME AND HARDWARE.

WORK AFTER SECURE VESTIBULE IS LOCKABLE.

SAWCUT EXISTING SLAB AS REQUIRED

W1 EXISTING DOOR CONTACTS TO REMAIN. X1 EXISTING ELECTRIC STRIKE TO REMAIN.

LOCATIONS.

D2 REMOVE EXISTING GLAZING.

REMOVE EXISTING AIPHONE SYSTEM. SEE ELECTRICAL DRAWINGS.

AT ELLIS E.S. - DO NOT REMOVE UNTIL SECURE VESTIBULE IS COMPLETED.

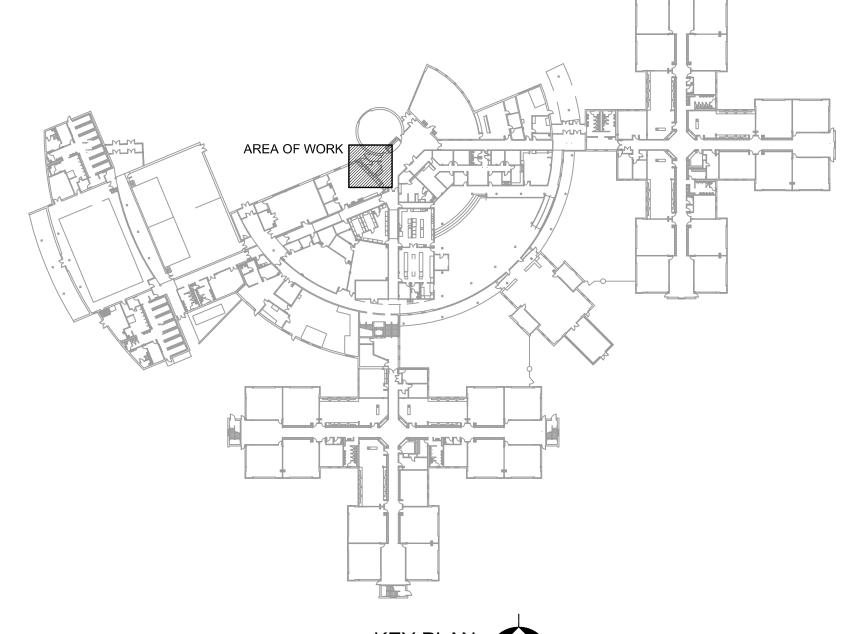
REMOVE PORTION OF EXISTING LAY-IN CEILING SYSTEM. SALVAGE TILES AS NEEDED

GENERAL NOTES

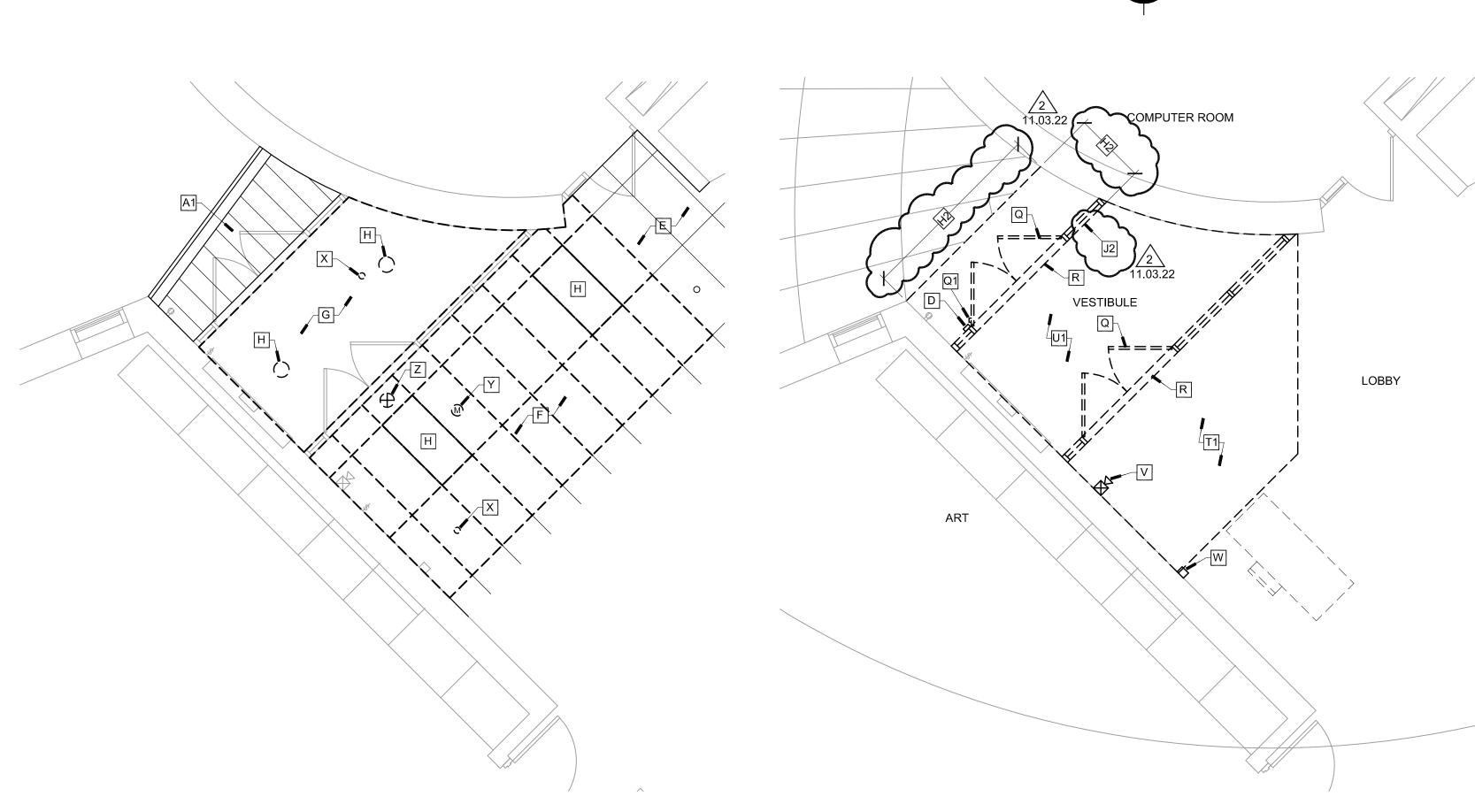
THE DEMOLITION PLAN IS PROVIDED AS AN AID IN PLANNING AND DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY IN FIELD VERIFYING THE EXISTING JOB SITE

THE GENERAL CONTRACTOR IS TO COORDINATE AND PROVIDE ALL DEMOLITION AND

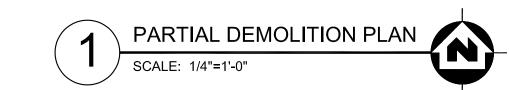
REMOVAL OF DEBRIS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION



SCALE: NONE







PARTITION TYPES

- 5/8" TYPE "X" GYP. BOARD BOTH SIDES OF METAL STUDS @ 16" O.C. W/ SOUND ATTENUATION BLANKETS. ASSEMBLY TO INFILL OPENING. PAINT TO MATCH EXISTING. PROVIDE RUBBER BASE TO MATCH EXISTING. VERIFY WALL THICKNESS IN FIELD. ADJUST STUD DEPTH AS REQUIRED.
- 5/8" TYPE "X" GYP. BOARD ONE SIDE OF 1-1/2" METAL FURRING CHANNELS @ 16" O.C. W/ SOUND ATTENUATION BLANKETS. ASSEMBLY TO INFILL OPENING AND TO 4" ABOVE CEILING. PAINT TO MATCH EXISTING. PROVIDE RUBBER BASE TO MATCH EXISTING.
- 5/8" TYPE "X" GYP. BOARD BOTH SIDES OF 3-5/8" METAL STUDS @ 16" O.C. W/ SOUND ATTENUATION BLANKETS. ASSEMBLY TO ESTEND FROM FROM TO 4" ABOVE CEILING. PAINT TO MATCH EXISTING. PROVIDE RUBBER BASE TO MATCH EXISTING.
- D 8" CMU TO INFILL OPENING TOOTH-IN. PAINT TO MATCH EXISTING. PROVIDE RUBBER BASE TO MATCH EXISTING.

#### RENOVATION GENERAL NOTES

- ALL PENETRATIONS THROUGH WALLS SHALL BE SEALED TIGHT.
- OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK.
- ALL EXISTING WALLS AND SOFFITS CALLED TO BE PAINTED SHALL HAVE HOLES AND CRACKS FILLED, ANCHORS REMOVED AND PATCHED AS REQUIRED.
- PATCH WALLS TO MATCH EXISTING WHEREVER A WALL IS REMOVED AND NOT COVERED UP FOR NEW CONSTRUCTION. MASONRY WALLS TO BE TOOTHED-IN.
- CONTRACTOR TO PROVIDE WOOD BLOCKING AS REQUIRED IN WALLS FOR ATTACHMENT OF OTHER WORK.
- ALL EXTERIOR DRYWALL CORNERS TO HAVE AN ALUMINUM CORNER GUARD. 1-1/2" X 1-1/2" X 4' HIGH IN A CLEAR ANODIZED FINISH.
- FOR INFORMATIONAL PURPOSES, EXISTING CORRIDOR WALLS, LOBBY WALLS AND STORAGE ROOM WALLS ARE 1 HOUR FIRE RATED.

# INSTALL SEALANT AT BOTTOM OF HOLLOW METAL FRAMES AND FLOORING.

- > ALUMINUM ENTRANCE SYSTEM.
- 2 TRANSITION STRIP.
- B ALUMINUM STOREFRONT SYSTEM.
- 3 4"x5" METAL DOWNSPOUT. PROVIDE TRANSITION THROUGH CONCRETE SIDEWALK
- 5 AXIS SYSTEM. SEE ELECTRICAL DRAWINGS.

RENOVATION KEY NOTES

- 6 HOLLOW METAL FRAMING SYSTEM AND GLAZING.
- METAL COPING.
- SINGLE PLY FULLY ADHERED TPO ROOFING SYSTEM OVER 1/2" COVER BOARD ADHERED TO 1/4" TAPERED INSULATION WITH 1-1/2" STARTING THICKNESS ADHERED TO 1 LAYER OF 4" RIGID INSULATION MECHANICALLY FASTENED INTO METAL DECK. 1-1/2" THICKNESS (1.5B22) W/ 5/8" PUDDLE WELDS AT 36/4 FASTENER PATTERN AND WELDS 6" AT BEAMS A SIDELAP CONNECTIONS OF (2) #10 TEK
- > TAPERED INSULATION SADDLE. VERIFY SLOPE IN FIELD. TAPERED INSULATION MANUFACTURER TO DESIGN TAPERED INSULATION AS REQUIRED TO PROVIDE PROPER SLOPES.
- METAL CONDUCTOR BOX, 14" WIDE X 10" HIGH X 8" DEEP.
- 1) FLOW THRU SCUPPER OPENING, 8" WIDE X 6" HIGH.
- METAL WALL PANEL.
- METAL WALL PANEL REVEAL.
- 4 SIGNAGE. SEE SPECIFICATIONS.
- 15 ALUMINUM ENTRANCE DOOR(S) AND FRAMING.
- ALUMINUM THRESHOLD.

20 RELOCATED CASWORK.

- $\stackrel{(7)}{ o}$  ALUMINUM STOREFRONT INFILL AND GLAZING.
- (18) WOOD DOOR, HOLLOW METAL FRAME AND HARDWARE.
- (19) AXIS SYSTEM. SEE ELECTRICAL DRAWINGS.
- ⟨2↑⟩ RELOCATED COPIER. SEE ELECTRICAL DRAWINGS.
- (22) DESK BY OWNER.
- 23 PASS-THRU WINDOW SYSTEM.
- ⟨24⟩ CARD READER. SEE ELECTRICAL DRAWINGS.
- (25) CASEWORK. SEE ELEVATIONS.
- (26) 6" DIA. STEEL COLUMN. PREP AND PAINT.
- 4" CONCRETE STOOP WITH WWF OVER 6" COMPACTED GRAVEL FILL WITH 18" LONG REBAR EMBED 9" INTO EXISTING SLAB AND EXISTING FOUNDATION WALL @
- $\langle\!28
  angle$  PATCH IN WALK OFF CARPET TO MATCH EXISTING. PROVIDED BY DISTRICT AT THURGOOD MASRHALL.
- 29) PATCH IN CARPET TILES TO MATCH EXISTING. PATCH CARPET TILES WHERE OUTLETS ARE REMOVED. PROVIDED BY DISTRICT AT THURGOOD MARSHALL.
- $\stackrel{\langle 3 \rangle}{}$  RECONNECT HARDWARE TO THE EXISTING CARD READER.
- TOOTH IN BULL NOSE CMU CORNER.
- 32> PAINT EXISTING CMU WALL FROM FLOOR TO DRYWALL.
- REWORK EXISTING CEILING GRID AND INSTALL SALVAGED TILES BACK INTO THE GRID SYSTEM.
- (34) CONCRETE STOOP. SEE DETAIL.
- ⟨35⟩ INSTALL CARPET TILES TO MATCH EXISTING.
- ③6 INSTALL NEW GLASS IN EXISTING FRAME TO MATCH EXISTING.
- (37) CONTRACTOR TO SEED ANY DISTURBED GRASS AREAS. VERIFY GRADES IN FIELD.
- 38) INSTALL NEW CARPET, RUBBER BASE AND TRANSITION STRIPS.
  30) AFTER INSTALLATION OF ALL ALUMINUM FRAMING PROVIDE SKIM COAT TOPPING
- 3'-0" IN FRONT OF INTERIOR DOOR @ ELEV. 0'-0" NEW 4" THICK CONCRETE TOPPING WITH WELDED WIRE REINFORCEMENT PER ASTM

 $^{>\!\!>}$  AS REQUIRED TO GRADUALLY SLOPE FROM ENTRY DOOR @ ELEV. +0-1/2" DOWN TO

A1064 - TIE INTO EXISTING FOUNDATIONS - SEE DETAIL 3/A110

SEE PLAN 3/A109 FOR PARTIAL REVISED STOOP PLAN

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**SHEET NUMBER** 

SHEET NUMBER

A110

OF

ROOM FINISH SCHEDULE ROOM NO. ROOM FLOOR BASE REMARKS NORTH SOUTH EAST WEST CEILING R101 LOBBY R102 VESTIBULE ACT WLK RB R103 VESTIBULE WLK RB EXTG/PT ACT R104 VESTIBULE WLK RB ACT **GENERAL NOTES:** 1. ALL NEW RUBBER BASE TO BE 6" HIGH EXCEPT PROVIDE 4" HIGH AT CASEWORK.

2. PAINT BOTH SIDES OF EXISTING HOLLOW METAL DOOR FRAMES AND DOORS THAT ARE IN WALLS CALLED TO BE PAINTED.

DOOR SCHEDULE																
DOOR	DOORS				DOOR TYPE		FRAMES		GLAZING		DETAILS					
NO.	SG/PR	WIDTH	HEIGHT	THICK	MTL	ELEV.	MTL	ELEV.	DOOR	FRAME	HEAD	JAMB	SILL	HDWR GROUP	LABEL	REMARKS
R102A	SG	3'-0"	7'-0"	2"	AL	D1	AL	F3	GL-1	GL-1	2/A110	9,11/A110	4/A110	13	-	
R102B	SG	3'-0"	7'-0"	2"	AL	D1	AL	F1	GL-3	GL-3	1/A110	5,6/A110	3/A110	02	-	NOTE 7
R103	SG	3'-0"	7'-0"	2"	AL	D1	AL	F3	GL-1	GL-1	2/A110	7,11/A110	4/A110	06	-	NOTE 2
R104A	SG	3'-0"	7'-0"	2"	AL	D1	AL	F2	GL-1	GL-1	2/A110	7,10/A110	4/A110	03	-	NOTE 8
R104B	SG	3'-0"	7'-0"	2"	AL	D1	AL	F1	GL-3	GL-3	1/A110	5,6/A110	3/A110	01	-	NOTE 8

## GENERAL NOTES:

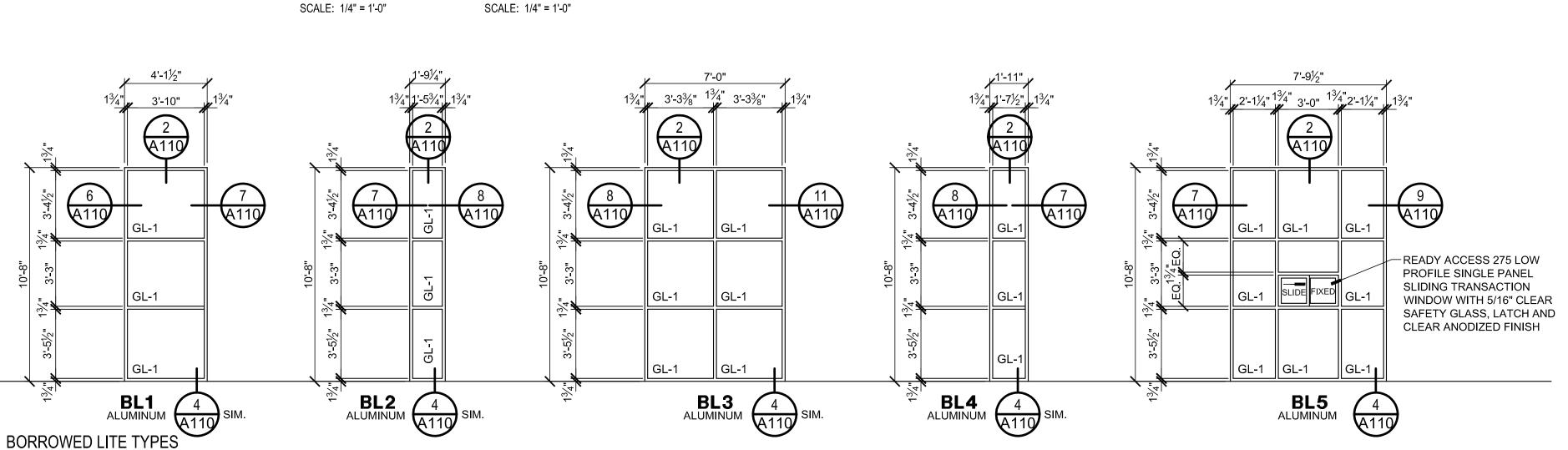
- 1. CONTRACTOR TO SALVAGE EXISTING DOORS AND HARDWARE UNTIL NEW DOORS AND HARDWARE ARRIVE FOR INSTALLATION.
- 2. NEW HOLLOW METAL FRAMES AND DOORS TO BE PAINTED BOTH SIDES.
- 3. VERIFY THE HEIGHT OF ALL DOORS IN THE FIELD BEFORE ORDERING.

## 1. EXISTING DOOR AND FRAME TO REMAIN.

- 2. DOOR TO HAVE ELECTRONIC STRIKE.
- 3. DOOR TO HAVE ELECTRIFIED EXIT DEVICE AND DOOR CONTACTS.
- 4. DOOR TO HAVE CARD READER ON INTERIOR AND EXTERIOR SIDE AND ELECTRONIC STRIKE. 5. DOOR TO HAVE CARD READER ON EXTERIOR SIDE, ELECTRIFIED PANIC DEVICE AND DOOR CONTACTS.
- 6. EXISTING FRAME TO REMAIN. MODIFY AS REQUIRED.
- 7. DOOR TO HAVE DOOR CONTACTS.
- 8. DOOR TO HAVE AN ELECTRIFIED EXIT DEVICE.
- 9. EXISTING ELECTRIC STRIKE TO REMAIN. EXISTING DOOR CONTACTS TO REMAIN.
- 10. EXISTING CARD READER AND DOOR CONTACTS TO BE REINSTALLED IN NEW MULLION LOCATION.
- 11. REMOVE THE EXISTING LOCKSET AND REPLACE WITH NEW LOCKSET. MODIFY FRAME AS REQUIRED FOR NEW ELECTRIC STRIKE.

GLA	SS TYPES						
GL-1	1/4" CLEAR TEMPERED GLASS						
GL-2	1" INSULATING TEMPERED GLASS						
GL-3	1" INSULATING LAMINATED GLASS						
GL-4	FIRE RATED GLASS						
GL-5	TRANSLUCENT FIRE RATED GLASS						
GL-6	1" INSULATED METAL PANEL						

SEE SPECIFICATIONS FOR GLASS TYPES



F1 ALUMINUI

FRAME TYPES

A110

5 A110

(10) (A110)

F2 ALUMINUM

4 A110

A110

|| GL-1

F3 ALUMINUM

SEE DOOR SCHEDULE

**D1** 

DOOR TYPES

SCALE: 1/4" = 1'-0"

FOR GLASS TYPES

