

RPS PROJECT #2125
IFB# 21-12



Rockford, Illinois

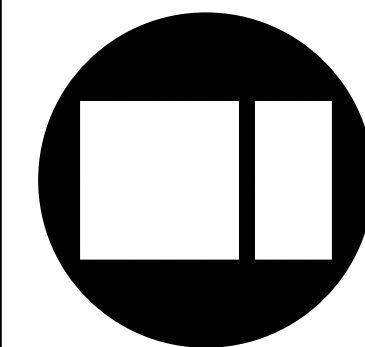
FEBRUARY 22, 2021

ADMINISTRATION BUILDING
FIRST FLOOR RENOVATIONS- ROCKFORD, ILLINOIS
ROCKFORD PUBLIC SCHOOLS 205

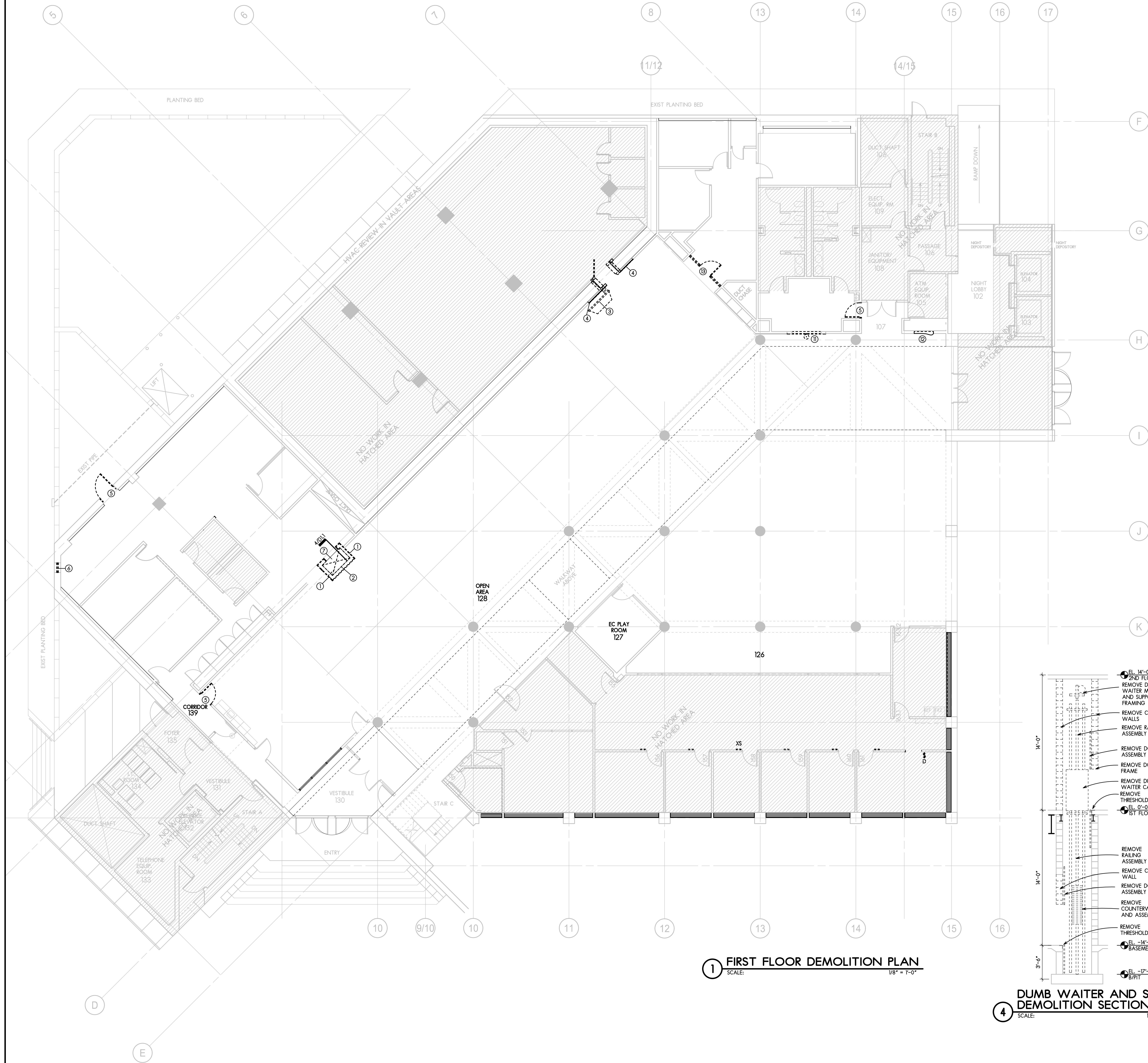
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	AH	SNI

DATE: 02-22-2021
PROJECT NUMBER 31010
SHEET NUMBER CS

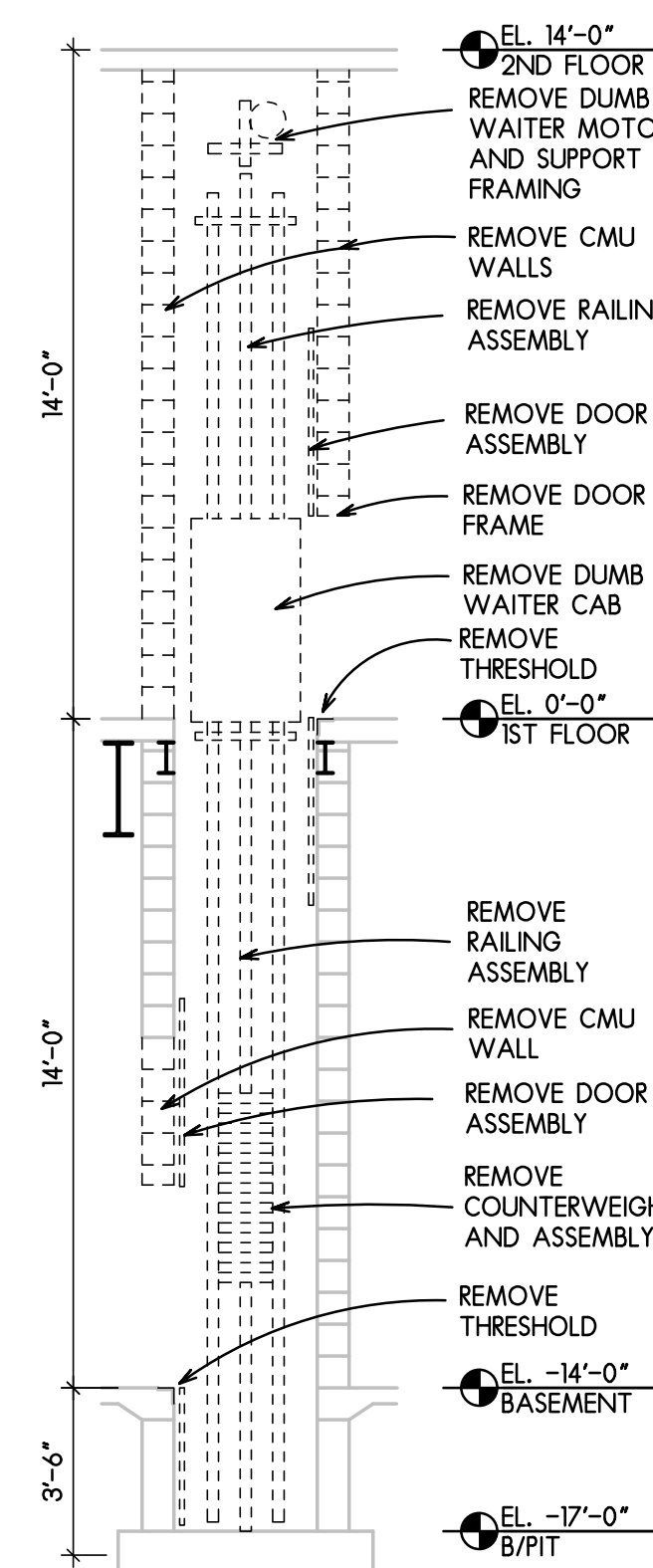


Larson & Darby Group
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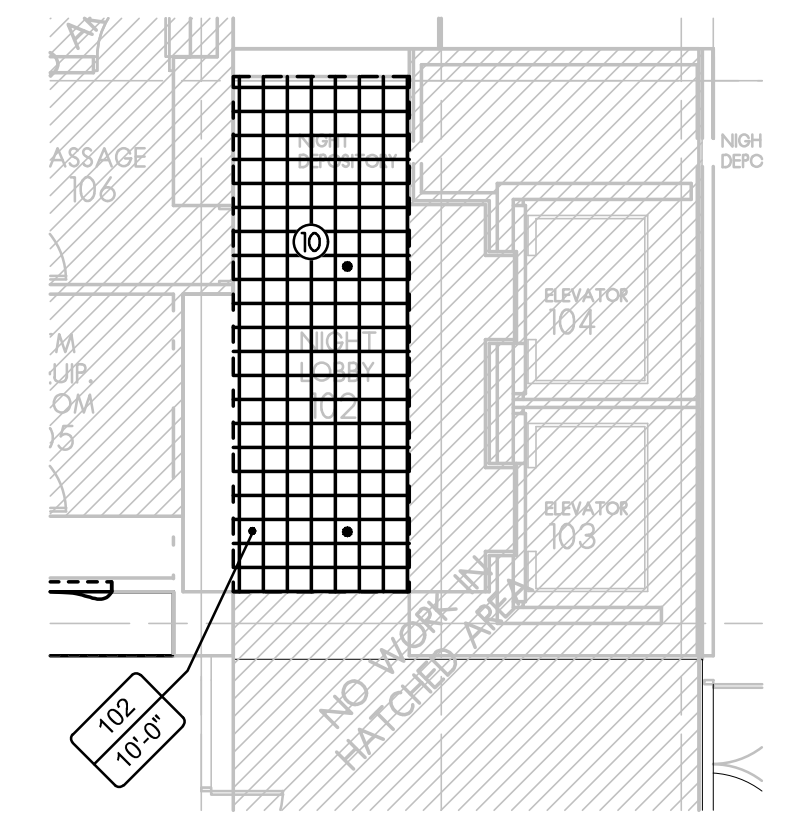


1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

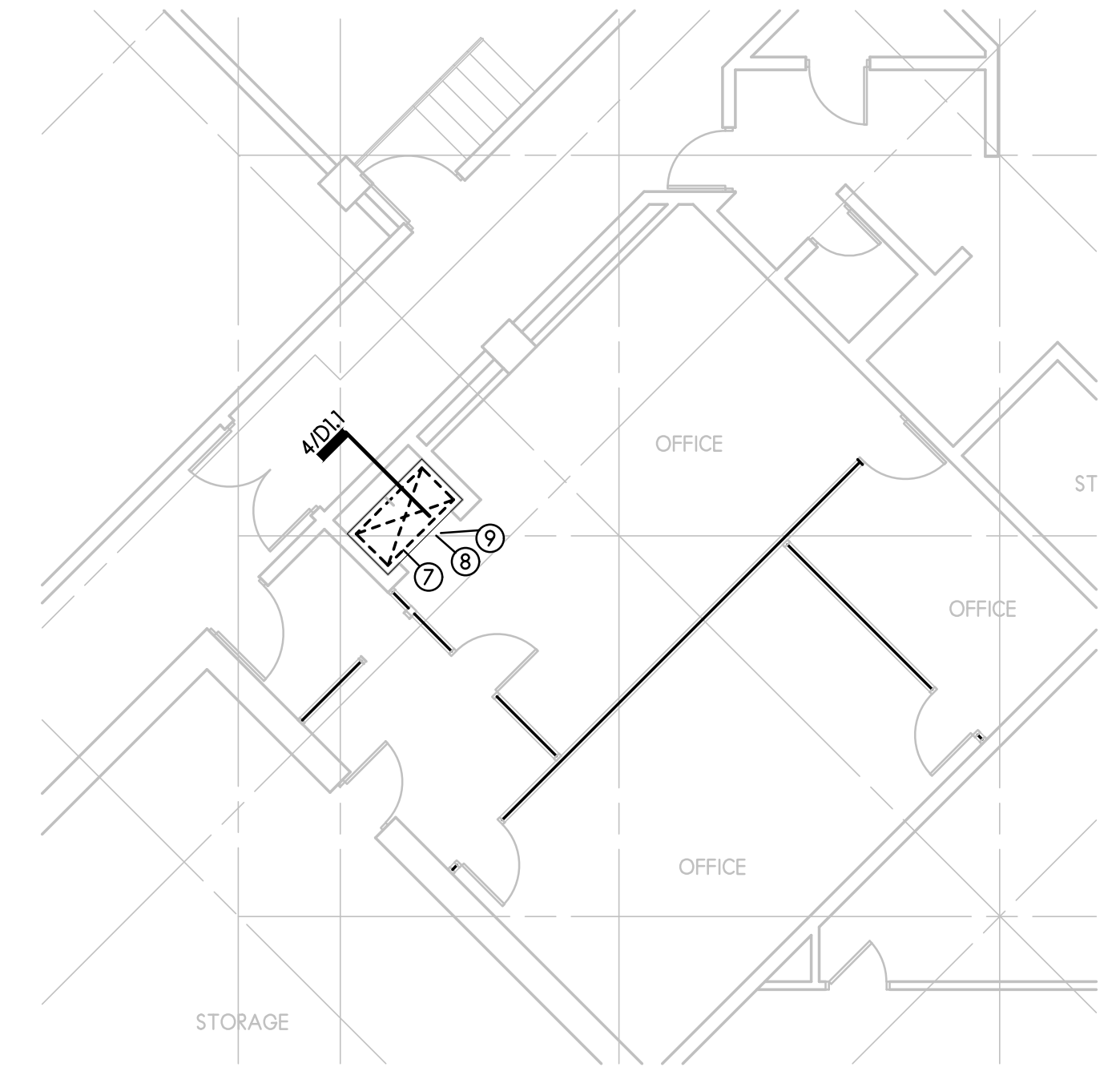
4 DUMB WAITER AND SHAFT DEMOLITION SECTION
SCALE: 1/4" = 1'-0"



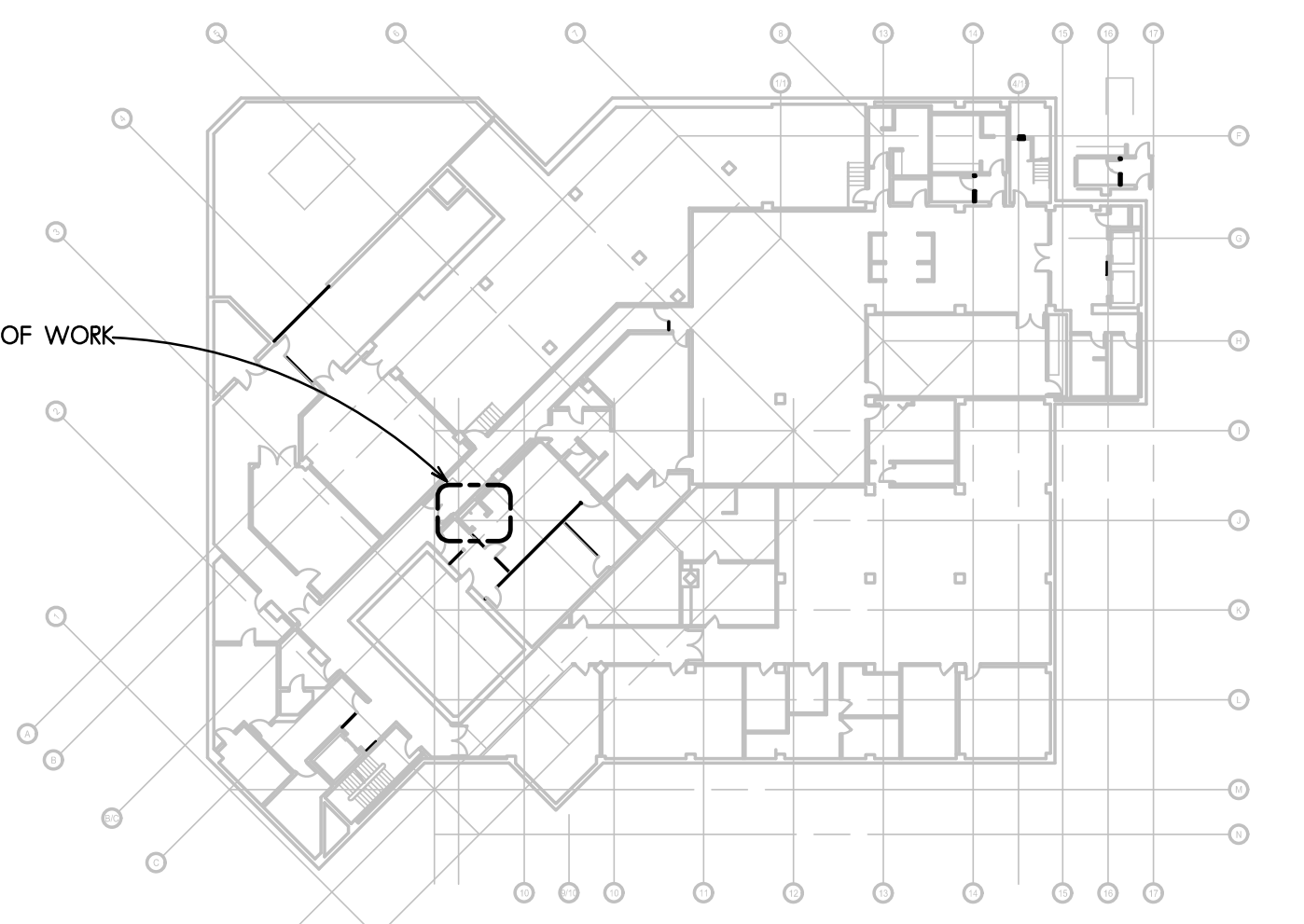
5 FIRST FLOOR CEILING DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 LOWER LEVEL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



3 LOWER LEVEL KEY PLAN
SCALE: NOT TO SCALE

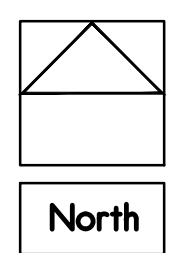


DEMOLITION KEYNOTES

- 1- REMOVE EXISTING 8" CMU DUMBWAITER SHAFT WALLS (FULL HEIGHT).
- 2- REMOVE DUMBWAITER CAB, RAILING, DOORS & ASSEMBLY IN ITS ENTIRETY.
- 3- REMOVE EXISTING SAFE DOOR AND ASSEMBLY IN ITS ENTIRETY, INCLUDING ALL COMPONENTS BACK TO EXISTING CONCRETE SAFE WALL OPENING.
- 4- REMOVE EXISTING BRONZE PANELS & ASSOCIATED ASSEMBLY AND MAKE READY FOR NEW WORK.
- 5- REMOVE DOOR ASSEMBLY IN ITS ENTIRETY AND MAKE READY FOR NEW WORK.
- 6- REMOVE GLASS/ALUMINUM WINDOW ASSEMBLY IN ITS ENTIRETY AND MAKE READY FOR NEW WORK.
- 7- REMOVE EXISTING DUMBWAITER DOOR/FRAME & COMPONENTS AND MAKE READY FOR NEW WORK.
- 8- REMOVE EXISTING DUMBWAITER DOOR/FRAME & COMPONENTS AND MAKE READY FOR NEW WORK.
- 9- PATCH WALL AND PREPARE TO RECEIVE NEW PAINT.
- 10- REMOVE EXISTING 12"x12" ACOUSTIC CEILING PANEL SYSTEM AND PREPARE TO RECEIVE NEW CEILING.
- 11- REMOVE EXISTING WATER FOUNTAIN AND PORTION OF EXISTING WALL AND MILLWORK. PREP FOR NEW WORK. REFER TO ELEVATION 2/A/5.1.
- 12- REMOVE COUNTER AND PREP FOR NEW WORK. REFER TO ELEVATION 1/A/5.1.
- 13- REMOVE FRAMELESS GLASS DOOR AND SIDELIGHTS AND ALUMINUM FRAME, PATCH EXISTING MILLWORK AS REQUIRED SEE A/6.1.

DEMOLITION PLANS

SCALE: 1/8" = 1'-0"



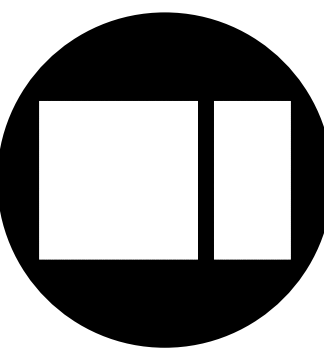
ADMINISTRATION BUILDING FIRST FLOOR RENOVATIONS- ROCKFORD, ILLINOIS ROCKFORD PUBLIC SCHOOLS 205

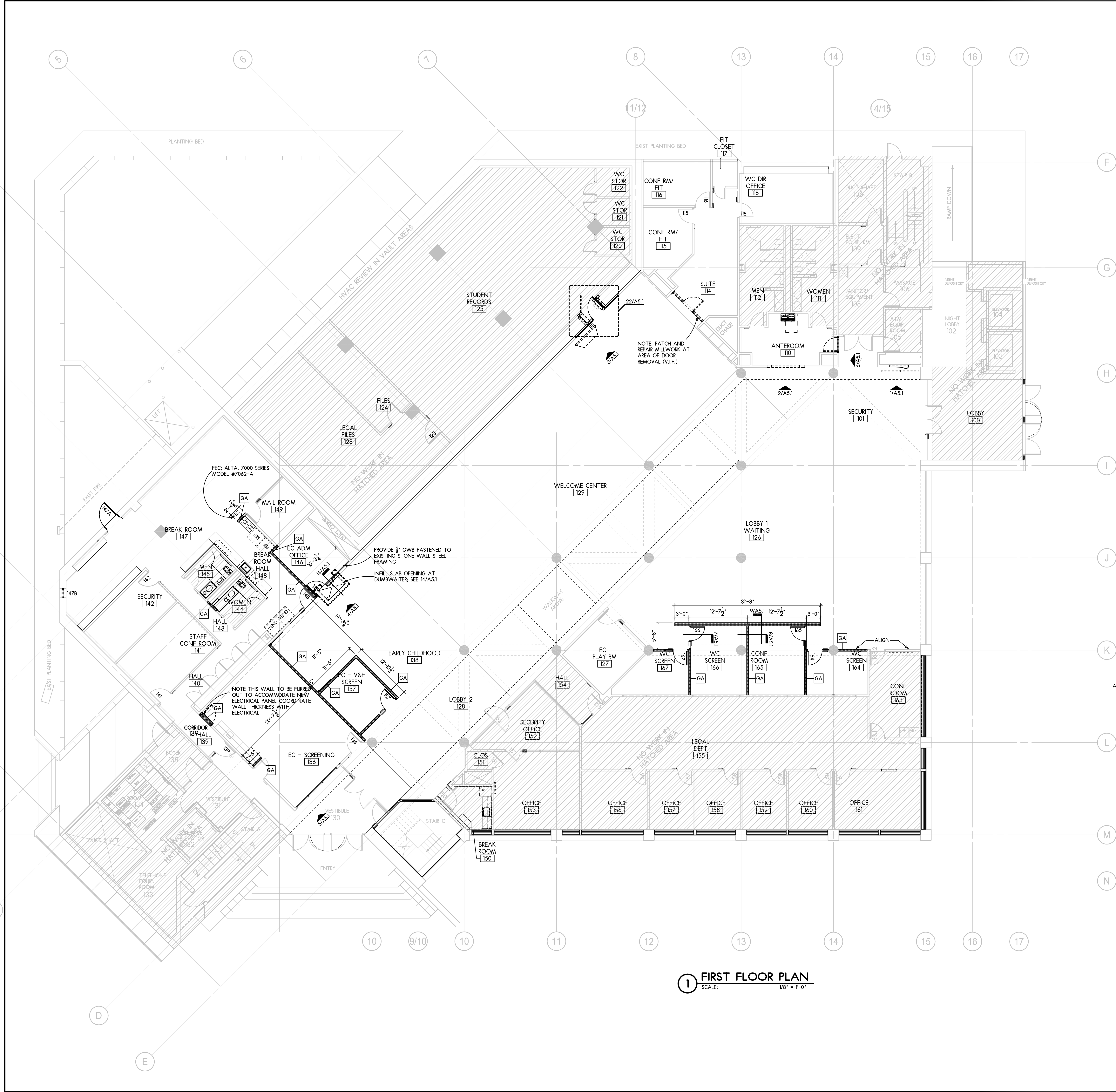
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DATE: 02-22-2021
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31010
SHEET NUMBER
D1.1

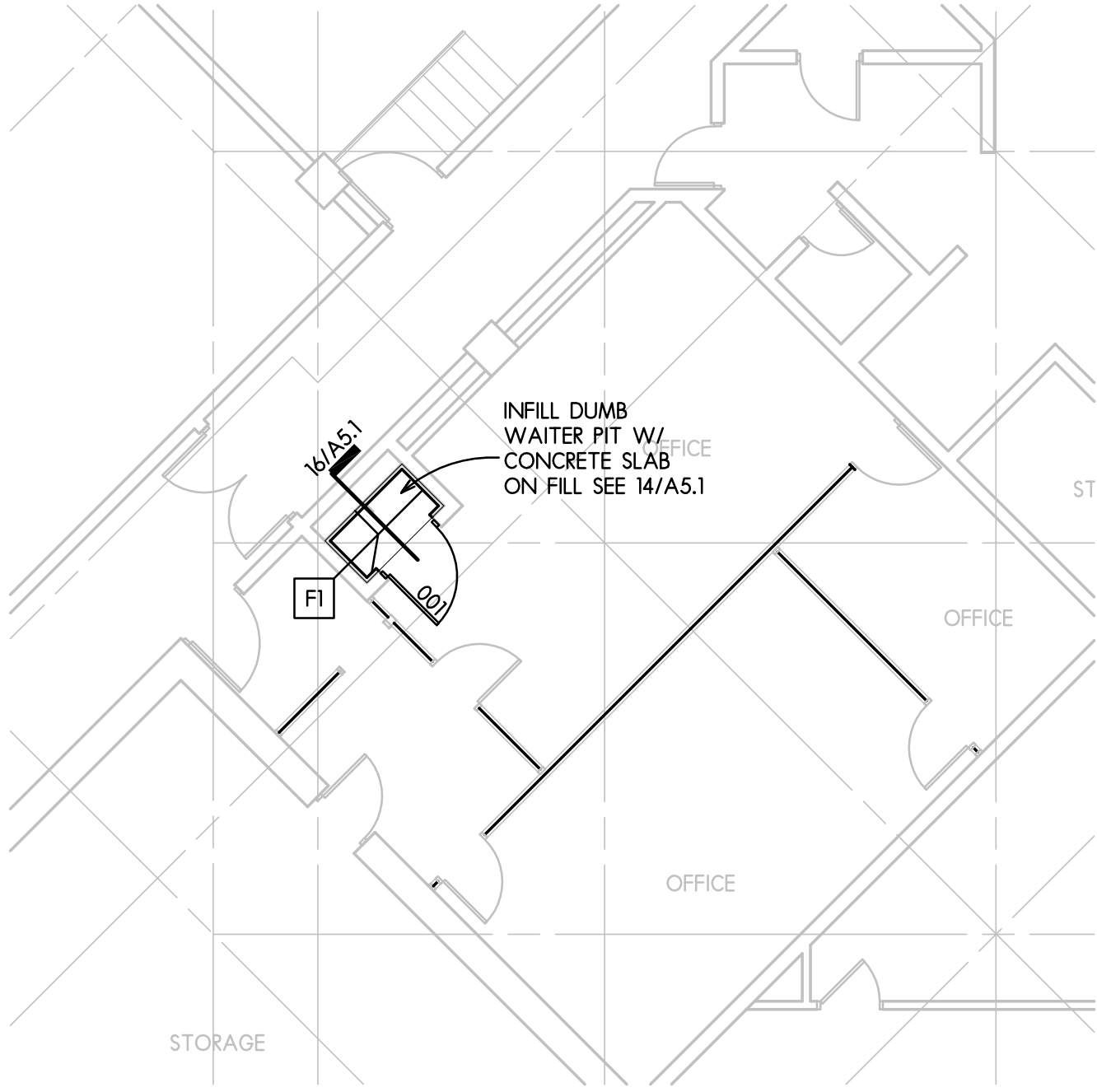
Larson & Darby Group
Architecture Engineering Interiors
Rockford Office - 4444 Harmon Ave., Suite 100, Rockford, IL 61103 Tel: (815) 484-0799 Fax: (815) 229-7867



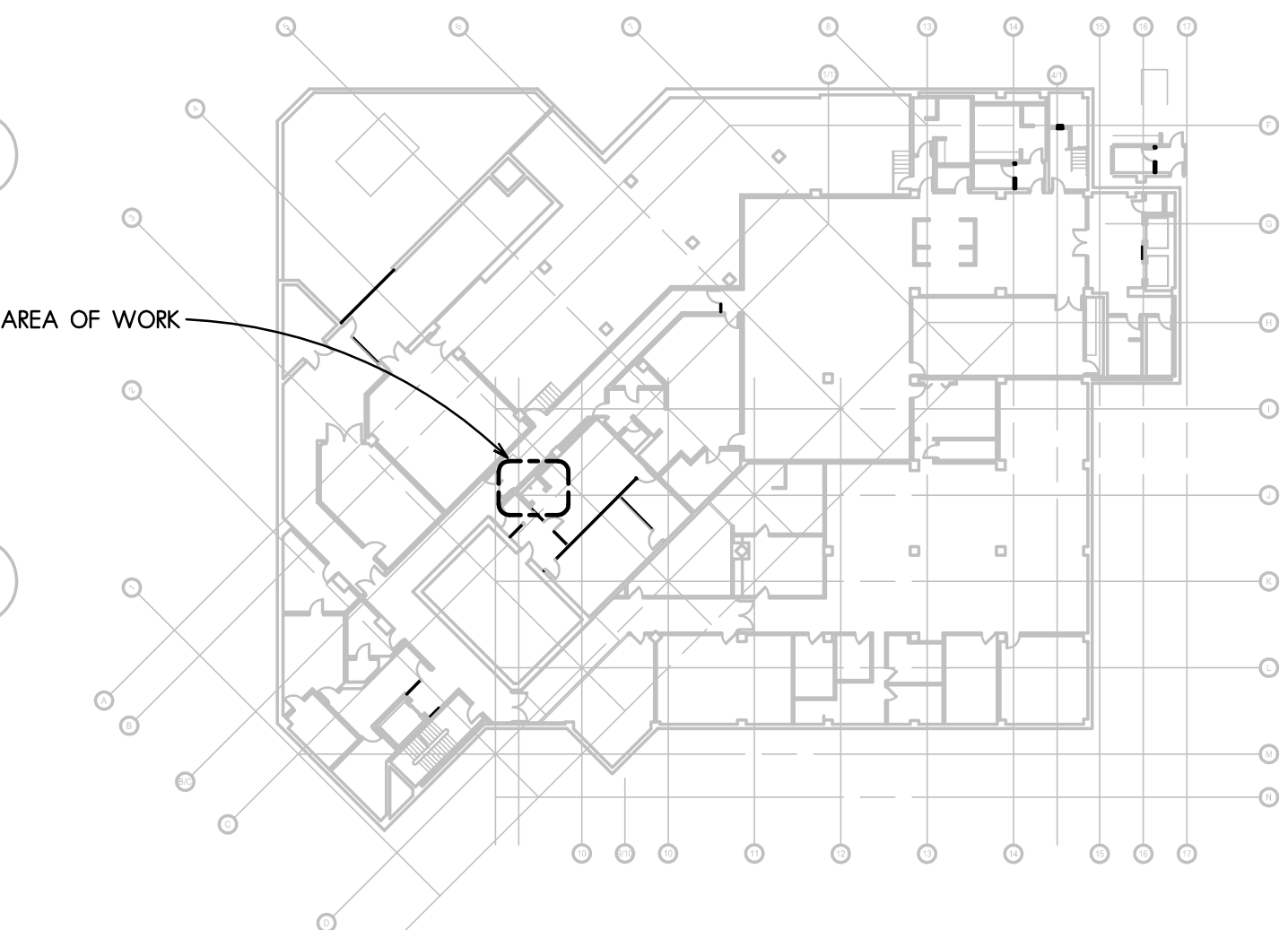


1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: ELECTRICAL AND LOW VOLTAGE WORK BY OWNER.



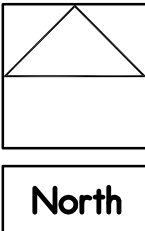
2 LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"



3 LOWER LEVEL KEY PLAN
SCALE: NOT TO SCALE

FLOOR PLANS

SCALE: 1/8" = 1'-0"



GENERAL NOTES: FINISH SCHEDULE

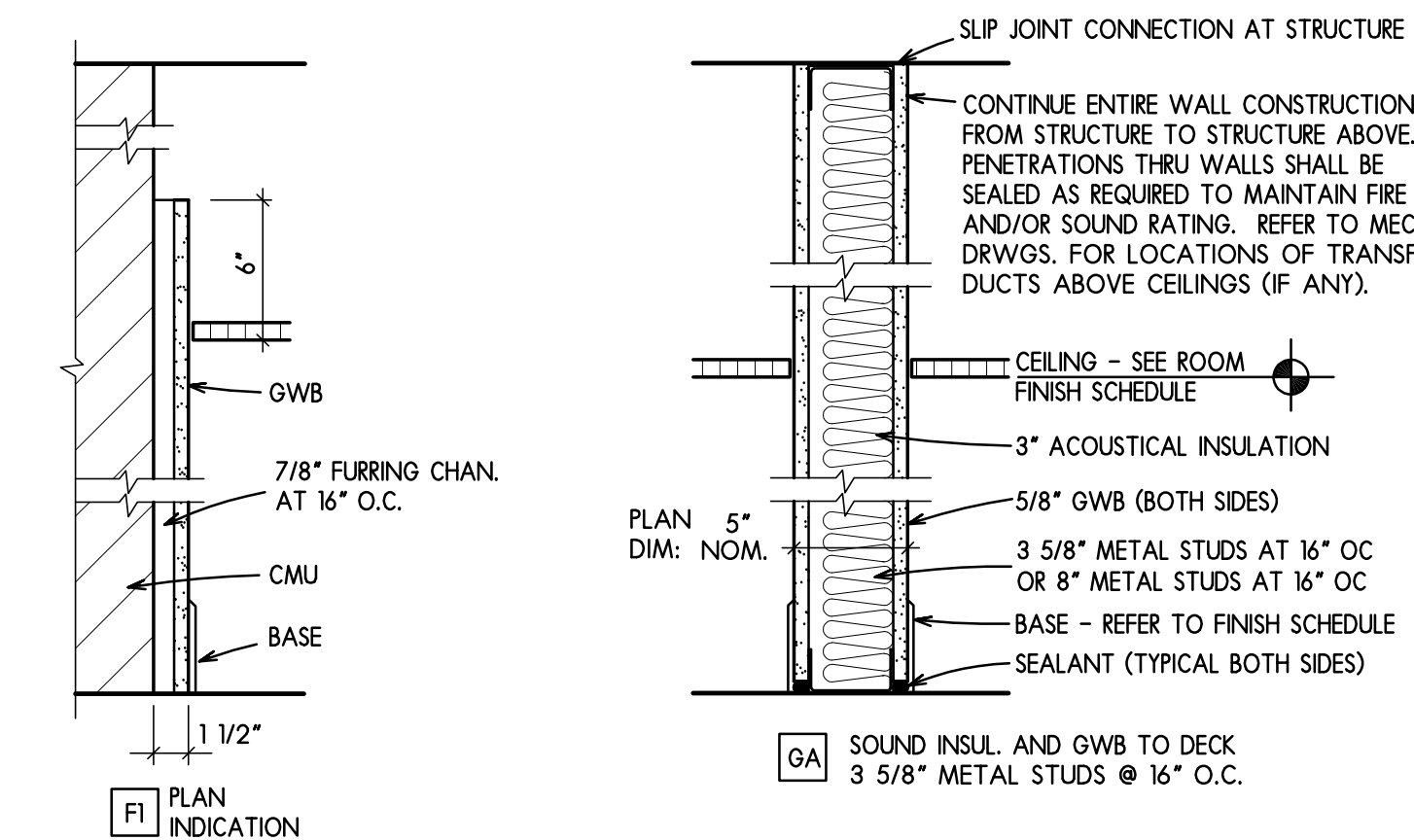
- ## FINISH SCHEDULE ABBREVIATIONS

ACP	ACOUSTICAL CEILING PANEL	MTL	METAL
AL	ALUMINUM	MIN	MINIMUM
AWP	ACOUSTIC WALL PANEL	P	PAINT
CONC	CONCRETE	PL	PLASTIC LAMINATE
CPT	CARPET	QRTZ	QUARTZ SURFACE
CT	CERAMIC TILE	RB	RESILIENT BASE
EX	EXISTING - NO WORK	RC	REFLECTED CEILING PLANK
EXP	EXPOSED	SCP	SEALED CONCRETE
GL	GLASS	SS	SOLID SURFACE
GRL	STRUCTURAL GLAZED TILE	WD	WOOD
LVT	LUXURY VINYL TILE		

FINISH MATERIAL LEGEND					
CODE	MATERIAL	MANUFACTURER	PRODUCT NO.	DESCRIPTION	REMARKS
PT1	PAINT	SHERWIN WILLIAMS	--	COLOR: #SW7015 REPOSE GRAY	PAINTING BY OWNER
PT2	PAINT	SHERWIN WILLIAMS	--	COLOR: #SW7610 TURKISH TILE	PAINTING BY OWNER
PT3	PAINT	SHERWIN WILLIAMS	--	COLOR: #SW7018 DOVETAIL	PAINTING BY OWNER
PT7	PAINT	SHERWIN WILLIAMS	--	COLOR: #SW7757 HIGH REFLECTIVE WHITE	PAINTING BY OWNER
CP1	CARPET TILE	SHAW	ANALOG TILE #5T126	COLOR: #26500 FILTER	18"x36"; CARPET BY OWNER
LVT1	LUXURY VINYL TILE	SHAW	SURFACE #0515V	COLOR: #15595 SEDIMENT	18"x36"; LVT BY OWNER
LVT2	LUXURY VINYL TILE	SHAW	SURFACE #0515V	COLOR: #15530 GRAVEL	18"x36"; LVT BY OWNER
WB1	VINYL WALL BASE	ROPPE	STANDARD TOE	COLOR: #193 BLACK BROWN	4" HIGH; WALL BASE BY OWNER
CT-F2	STONE TILE	DALTILE	NATURAL STONE LIMESTONE	COLOR: #L711 JURASTONE BEIGE	12"x24"; FOR PATCHING OF EXISTING LIMESTONE FLOORING; STONE TILE BY OWNER
SSM2	SOLID SURFACE MATERIAL	LG HAUSYS	H-MACS	COLOR: #G074 MOCHA GRANITE	-
ACP1	ACOUSTIC CEILING PANEL	ARMSTRONG CEILING	FINE FISSURED; #1717	COLOR: WHITE	2'x2'; ANGLED TEGULAR 15/16; GRID: PRELUDE XL 15/16" EXPOSED TEE- WHITE
ACP-TR	ACOUSTIC CEILING TRIM	USG	COMPASSO STANDARD	COLOR: FLAT WHITE #050	12" HEIGHT; REFER TO A.5.1 FOR LOCATIONS
PL1	PLASTIC LAMINATE	WILSONART	--	COLOR: #1500-60 GREY	MATTE FINISH
WS1	WINDOW SHADES	DRAPER	CLUTCH-OPERATED FLEXSHADE WITH HEADBOX	SHADE: PHIFER- SHEERWEAVE 2701-665 CHARCOAL/TAUPE- 1% OPENNESS	-

ROOM NO.	NAME	FLOOR MATL	BASE	N	WALL FINISH	S	E	W	NE	NW	SE	SW	CEILINGS MATL	FIN	HT	CABINET	COUNTER	NOTES	
FIRST FLOOR LEVEL																			
100	LOBBY	NO WORK																	
101	SECURITY	EX	EX/WB1	EX WD	-	PT1	-	-	-	-	-	-	EX	-	EX	-	-	3,8,14	
102	NIGHT LOBBY	EX	EX	EX	EX	EX	EX	EX	-	-	-	-	ACPI	-	9'-0"	-	-	-	
103	ELEVATOR	NO WORK																	
104	ELEVATOR	NO WORK																	
105	ATM EQUIP RM	NO WORK																	
106	PASSAGE	NO WORK																	
107	DUCT SHAFT	NO WORK																	
108	JANITOR EQUIP	NO WORK																	
109	ELECT EQUIP	NO WORK																	
110	ANTEROOM	EX	EX	PT3	PT1	PT1	PT1	-	-	-	-	-	ACPI	-	9'-0"	-	-	-	
111	WOMEN	NO WORK																	-
112	MEN	NO WORK																	-
114	SUITE	CPT1	EX	EX WD	EX WD	EX WD	EX WD	-	EX WD	EX WD	EX WD	EX WD	ACPI	-	9'-0"	-	-	8	
115	CONF RM/FIT	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	PT1	-	-	ACPI	-	9'-0"	-	-	-	
116	CONF RM/FIT	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	ACPI	-	9'-0"	-	-	-	
117	FIT CLOSET	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	ACPI	-	9'-0"	-	-	-	
118	WC DIR OFFICE	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	ACPI	-	9'-0"	-	-	-	
120	WC STORAGE	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	EX	-	EX	-	-	-	
121	WC STORAGE	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	EX	-	EX	-	-	-	
122	WC STORAGE	CPT1	WB1	PT1	PT1	PT1	PT1	-	-	-	-	-	EX	-	EX	-	-	-	
123	LEGAL FILES	NO WORK																	
124	FILES	NO WORK																	
125	STUDENT REC.	CPT1	WB1	PT1	-	PT1	-	-	PT1	PT1	PT1	PT1	EX	-	EX	-	-	-	
126	LOBBY WAIT.	CPT1	WB1	-	PT1/PT2	-	-	-	-	-	EX GL	EX	-	EX	-	-	-	-	
127	EC PLAY ROOM	CPT1	WB1	-	-	-	-	EX GL	EX GL/PT1	PT2	PT1	EX	-	EX	-	-	-	-	
128	LOBBY 2	EX	EX/WB1	-	EX GL	-	-	-	EX WD/GL/PT1	GL/PT1	GL	-	-	-	-	-	-	3,8,14	
129	WELCOME CEN.	EX/CPT1	EX/WB1	-	-	-	-	-	EX STONE	EX GL/PT1	-	ACPI	-	10'-0"	-	-	-	3,14	
130	VESTIBULE	EX/CPT1	EX	-	EX GL	-	-	EX GL	EX WD	EX GL	EX WD	EX/ACPI	-	EX	-	-	-	8	
131	VESTIBULE	NO WORK																	
132	SERV ELEVATOR	NO WORK																	
133	TELE EQUIP RM	NO WORK																	
134	IT ROOM	NO WORK																	
135	FOYER	NO WORK																	
136	EC SCREENING	LVT/LVT2	EX/WB1	-	-	-	-	PT2	EX STONE	GL/PT1	PT1	ACPI	-	10'-0"	-	-	-	14	
137	EC-V&H SCREEN	CPT1	WB1	-	-	-	-	PT1	PT1	PT1	PT1	ACPI	-	10'-0"	-	-	-	-	
138	EARLY CHILD.	CPT1	EX/WB1	-	-	-	-	-	EX STONE	PT1	PT1	ACPI	-	10'-0"	-	-	-	14	
139	HALL	LVT1	WB1	-	-	-	-	PT1	-	PT1	PT1	EX/ACPI	-	9'-0"	-	-	-	7	
140	HALL	LVT/LVT2	WB1	-	-	-	-	-	PT1	EX/PT1	PT1	EX/ACPI	-	9'-0"	-	-	-	7	
141	STAFF CONF	CPT1	WB1	-	-	-	-	PT1	PT1	PT1	PT1	EX/ACPI	-	9'-0"	-	-	-	7	
142	SECURITY	CPT1	WB1	-	-	-	-	PT1	PT1	PT1	PT1	EX/ACPI	-	9'-0"	-	-	-	7	
143	HALL	LVT1	WB1	-	-	-	-	PT1	-	-	PT1	EX	PT7	EX	-	-	-	-	
144	WOMEN	-	-	-	-	-	-	-	-	-	-	EX/GWB	PT7	EX	-	-	-	-	
145	MEN	-	-	-	-	-	-	-	-	-	-	EX	PT7	EX	-	-	-	-	
146	EC ADM OFFICE	CPT1	WB1	-	-	-	-												

DATE: 02-22-2021
PROJECT NUMBER
31010
SHEET NUMBER
A2.1



WALL TYPE NOTATIONS

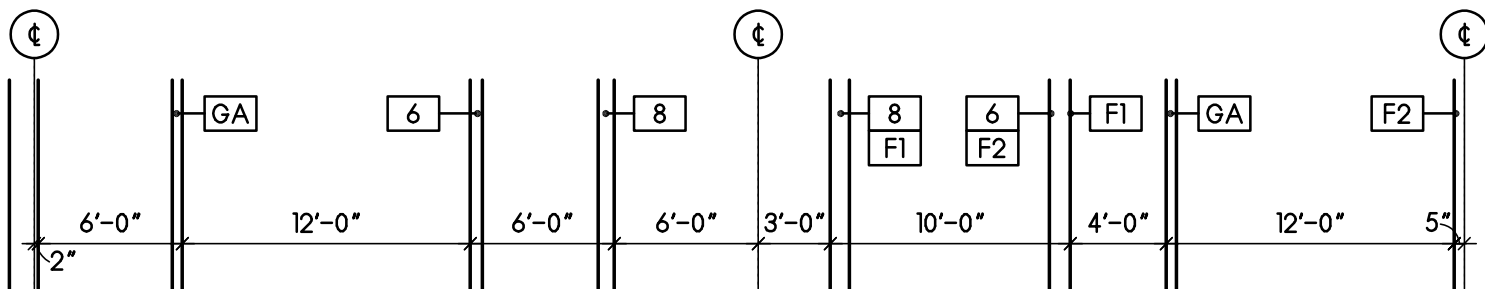
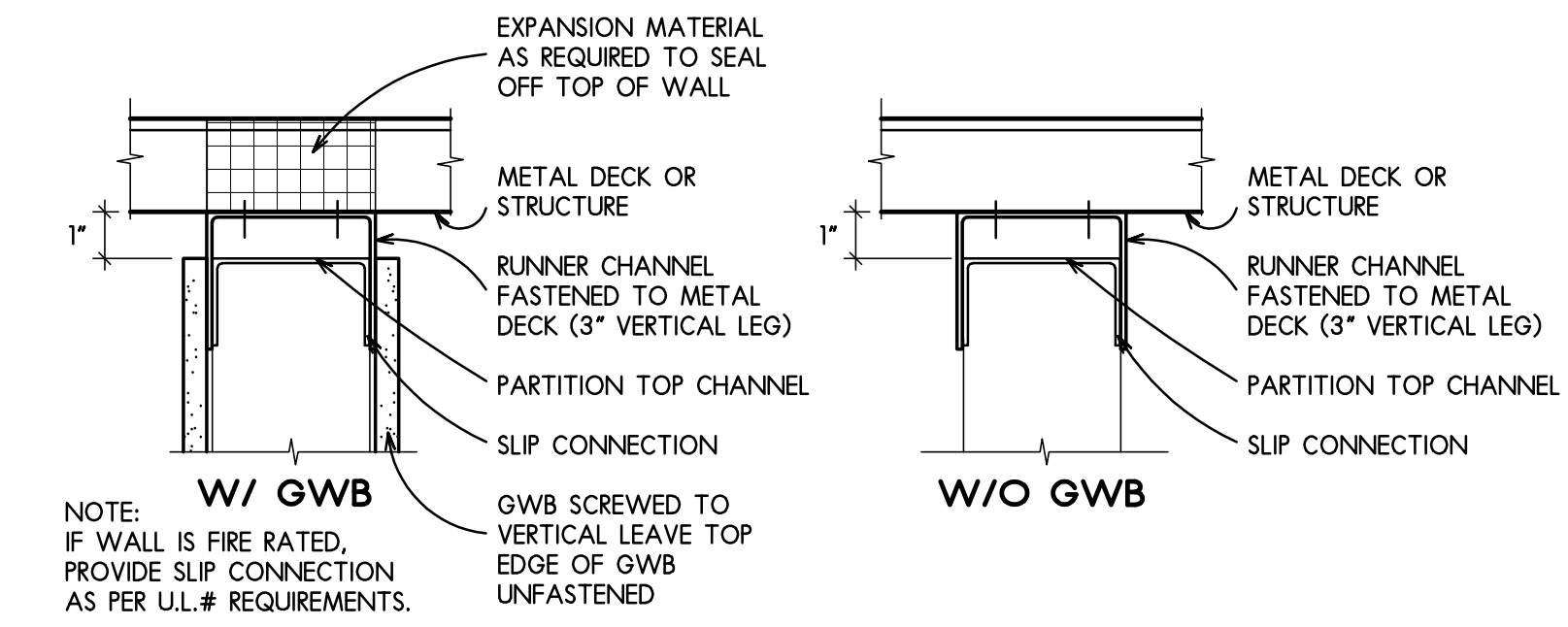
* AS SHOWN ON FLOOR PLANS

- GYPSUM WALL BOARD WALLS WITH METAL STUDS NOTED AS : [G] VARIATIONS AS : [GA] [GB] ETC.
- FURRED WALLS OVER SUBSTRATE NOTED AS : [FI] [F2] ETC.

WALL TYPE KEYNOTES

CBG CEMENTICIOUS BACKER BOARD
CBU CEMENT BACKER UNIT
CMU CONCRETE MASONRY UNIT
GBB GYPSUM BACKER BOARD
GBB/VP GYPSUM BACKER BOARD WITH VENEER PLASTER
GCMU GROUND FACE CMU
GTBB GLASS TILE BACKER BOARD
GWB GYPSUM WALLBOARD
MDF MEDIUM DENSITY FIBERBOARD
PC PORTLAND CEMENT PLASTER
SA SOUND ATTENUATION
SCMU SOLID CONCRETE MASONRY UNIT
VP VENEER PLASTER

NOTE: FOR LOCATION OF FIRE RATED WALLS, REFER TO PLAN DETAIL 20/A5.1. PROVIDE WALL ABOVE MODIFIED FOR RESPECTIVE FIRE RATING.
1) 1 HOUR : UL #U465, TYPE X GWB (BOTH SIDES) VERTICAL JOINTS STAGGERED.



NOTE: 1. DIMENSION MARKS ARE TO THE FINISH FACE OF THE WALL, ONE SIDE ONLY.
2. REFER TO WALL TYPE DETAILS THIS SHEET FOR WALL THICKNESSES.

DIMENSIONING OF WALLS ON THE FLOOR PLANS:

OPENING SCHEDULE																	
DOOR								FRAME					FIRE RTG	NOTES	HARDWARE		
OPNG NO	ROOM NAME	ROOM NO	TYPE	MATL	FINISH SIDE 1	FINISH SIDE 2	PR	SIZE	TYPE	MATL	FINISH SIDE 1	FINISH SIDE 2	DETAILS	DR.& FR.	REFERENCE NOTES		MISC
		LOWER LEVEL															
001	OFFICE	001	F	WD	-	-	-	3'-0"x7'-0"x1/4"	1	HM	-	-	-	-	-	1	-
		FIRST FLOOR LEVEL															
115	CONF RM/FIT	115	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	99	-
116	CONF RM/FIT	116	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	99	-
118	WC DIR. OFFICE	118	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	2	-
123	LEGAL FILES	123	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	-	3	-
125	STUDENT RECORDS	125	N	WD	-	-	-	3'-6"x7'-0"x1/4"	1	HM	-	-	15/A5.1 & 20/A5.1	90MIN	-	4	-
136	EC- SCREENING	136	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	99	-
137	EC-V&H SCREEN	137	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	5	-
139	HALL	139	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	-	99	-
141	STAFF CONF ROOM	141	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	99	-
142	SECURITY	142	EXIST	WD	-	-	-	-	EXIST	EXIST	-	-	-	-	3.	99	-
146	EC ADMIN OFFICE	146	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	6	-
147A	BREAK ROOM	147	AL-WS	AL/GL	-	-	-	3'-4"x7'-0"x1/4"	1	AL	-	-	J2, H2	-	-	7	-
147B	BREAK ROOM	147	-	AL/GL	-	-	-	7'-11 1/2"x3'-6"	3	AL	-	-	J2/H2	-	4.	-	-
148	BREAK ROOM HALL	148	N	WD	-	-	-	3'-0"x7'-0"x1/4"	1	HM	-	-	J1, H1	-	-	8	-
164	WC SCREEN	164	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	9	-
165	WC SCREEN	165	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	9	-
166	CONFERENCE	166	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	9	-
167	WC SCREEN	167	F	WD	-	-	-	3'-0"x7'-0"x1/4"	2	HM	-	-	J1, H1	-	-	9	-

OPENING SCHEDULE REFERENCE NOTES

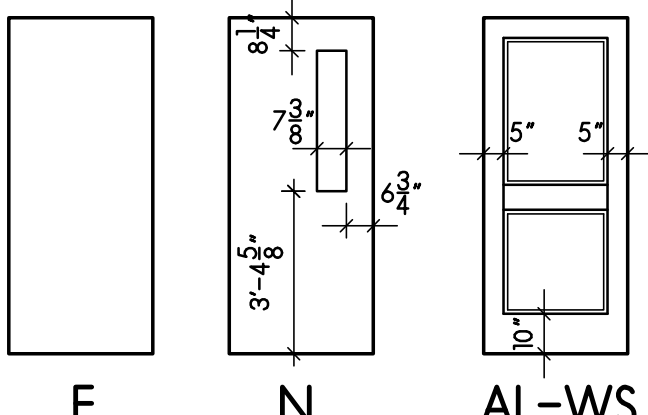
- NEW DOOR AND HARDWARE IN EXISTING FRAME
- NEW LOCKSET IN EXISTING DOOR AND FRAME
- NARROW LITE VISION PANEL TO BE ADDED TO EXISTING WOOD DOOR. FINISH SHALL BE LIGHT BRONZE.
- NEW WINDOW IN EXISTING OPENING. DARK ANODIZED ALUM FRAME AND INSULATED GLASS TO MATCH EXISTING

OPENING SCHEDULE KEYNOTES

CD COILING DOOR
EXIST EXISTING
FR FRAME
GL GLASS
HWR HARDWARE
HM HOLLOW METAL
HR HOUR
M MINUTES
MATL MATERIAL
MIN MINIMUM
MTL METAL
OH OVERHEAD DOOR
PR PAIR
RTG RATING

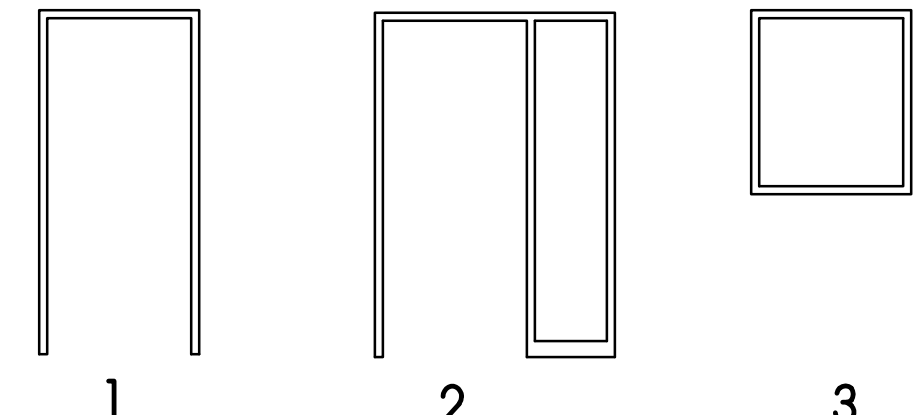
HARDWARE GENERAL NOTES

- ALL DOORS SHALL BE HUNG ON FULL MORTISE BUTT HINGES UNLESS NOTED OTHERWISE.
- ALL FRAMES SHALL HAVE SILENCERS, EXCEPT FRAMES WHICH HAVE WEATHERSTRIPPING OR SOUND SEALS.
- HARDWARE PRODUCT TYPES AND OPTIONS ARE SPECIFIED IN SPECIFICATION SECTION 08712 - DOOR HARDWARE.



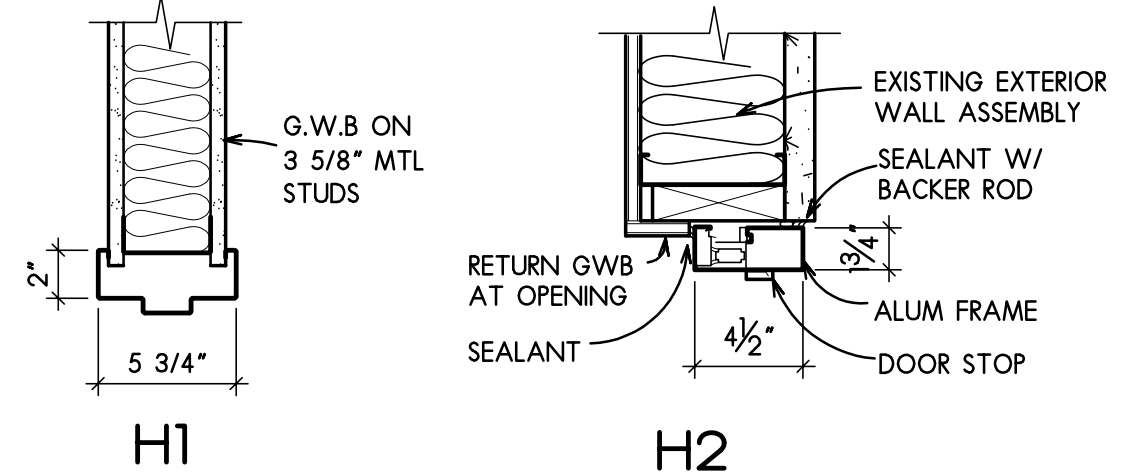
DOOR TYPES
SCALE: 1/4" = 1'-0"

NOTE: REFER TO OPENING SCHEDULE FOR OVERALL SIZES.

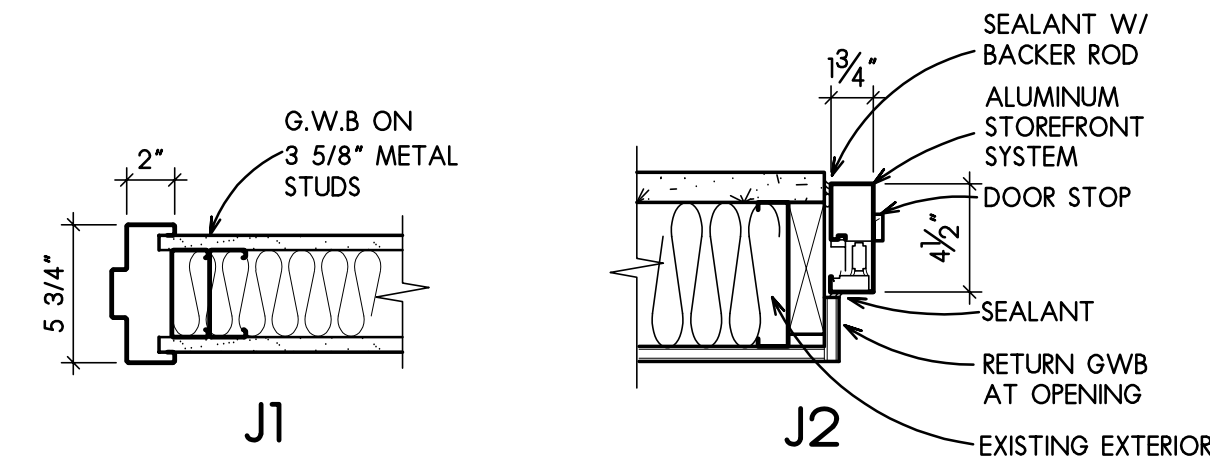


FRAME TYPES
SCALE: 1/4" = 1'-0"

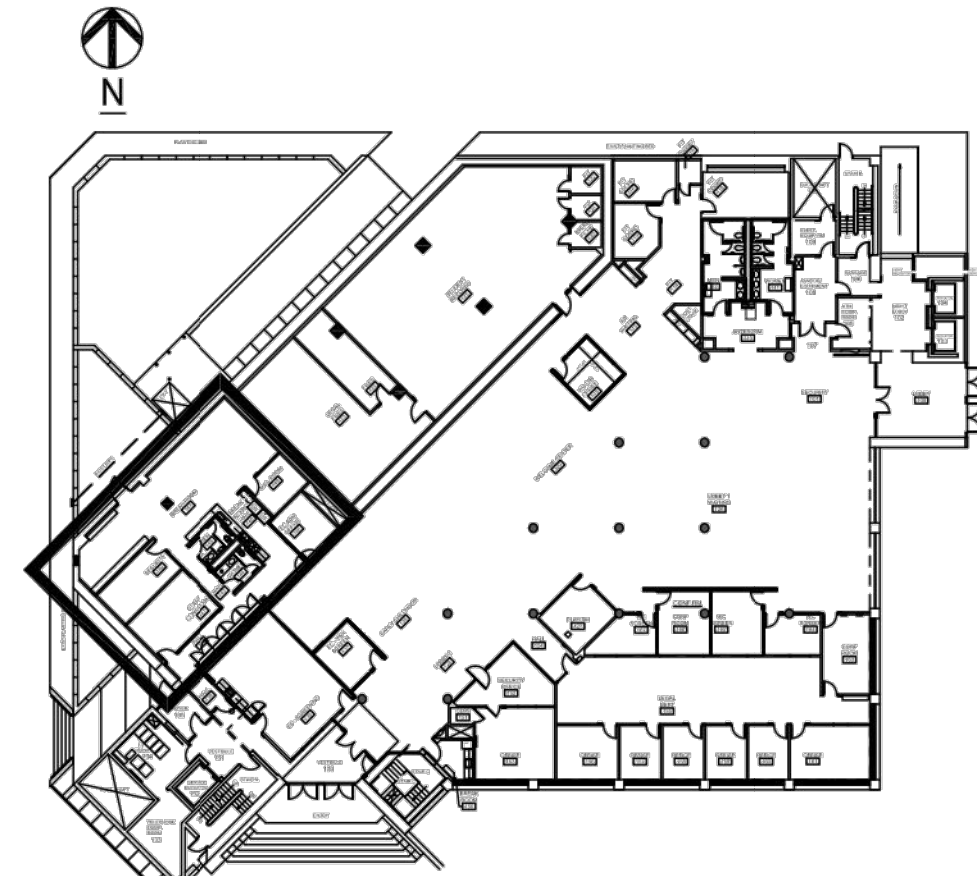
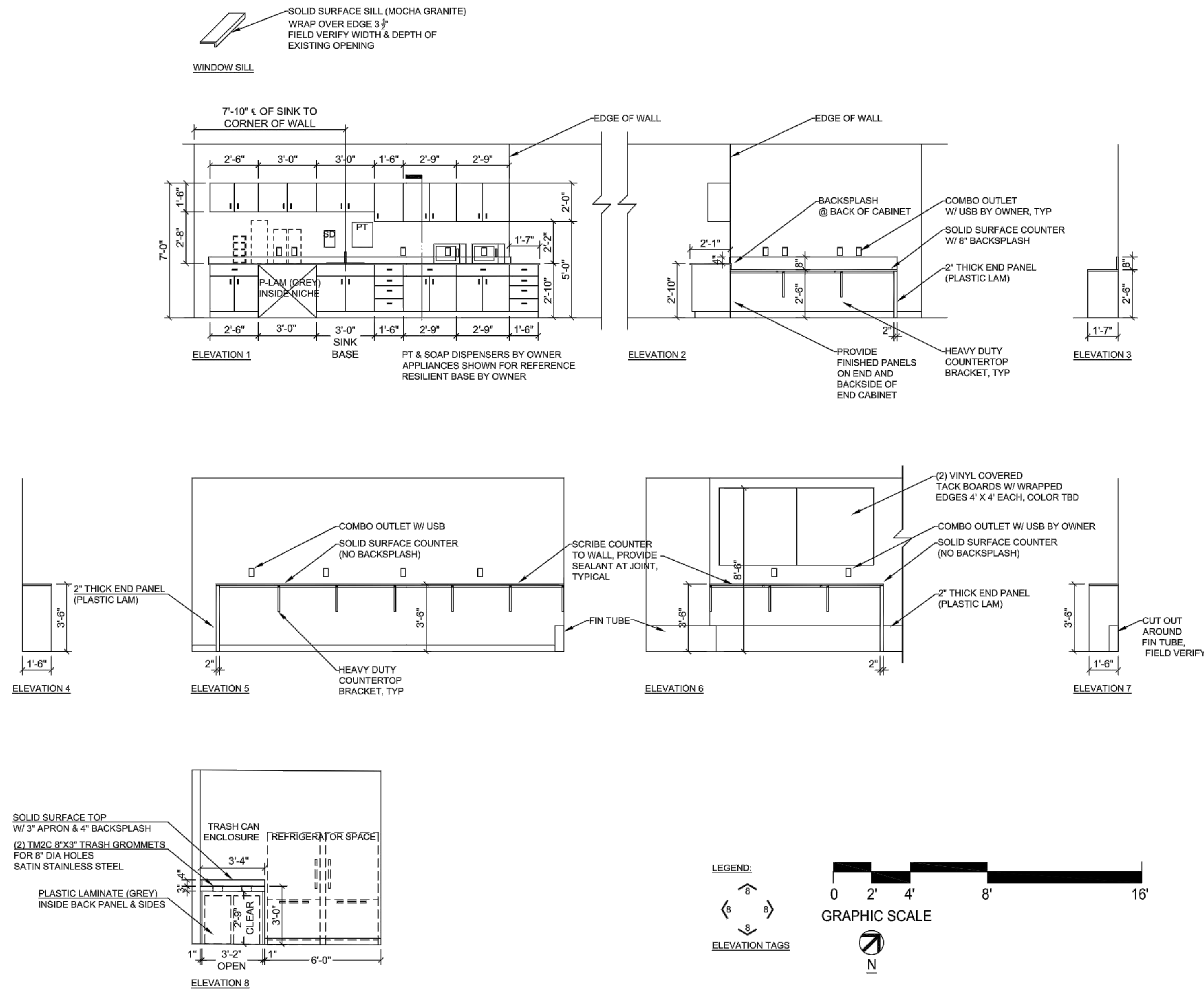
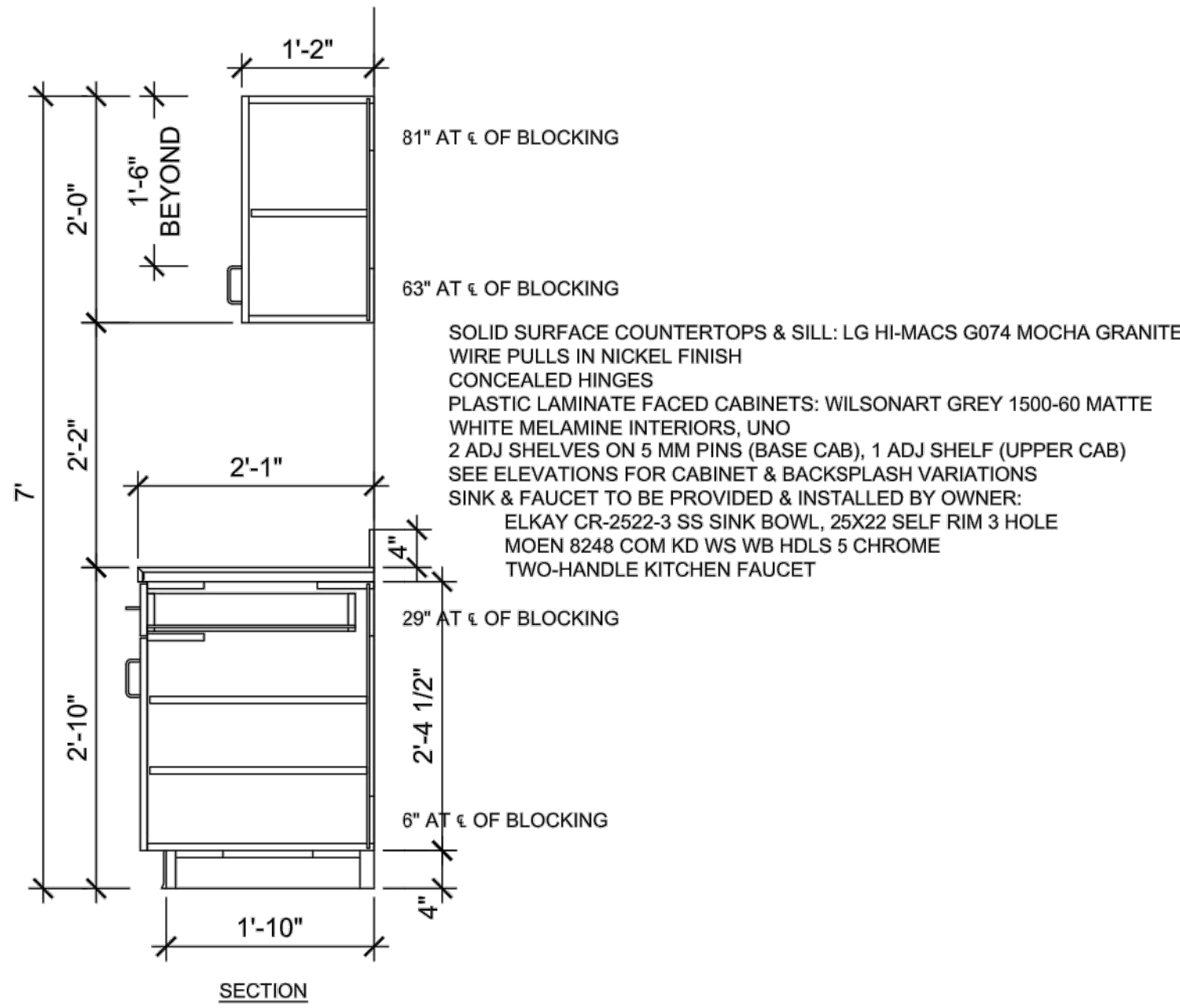
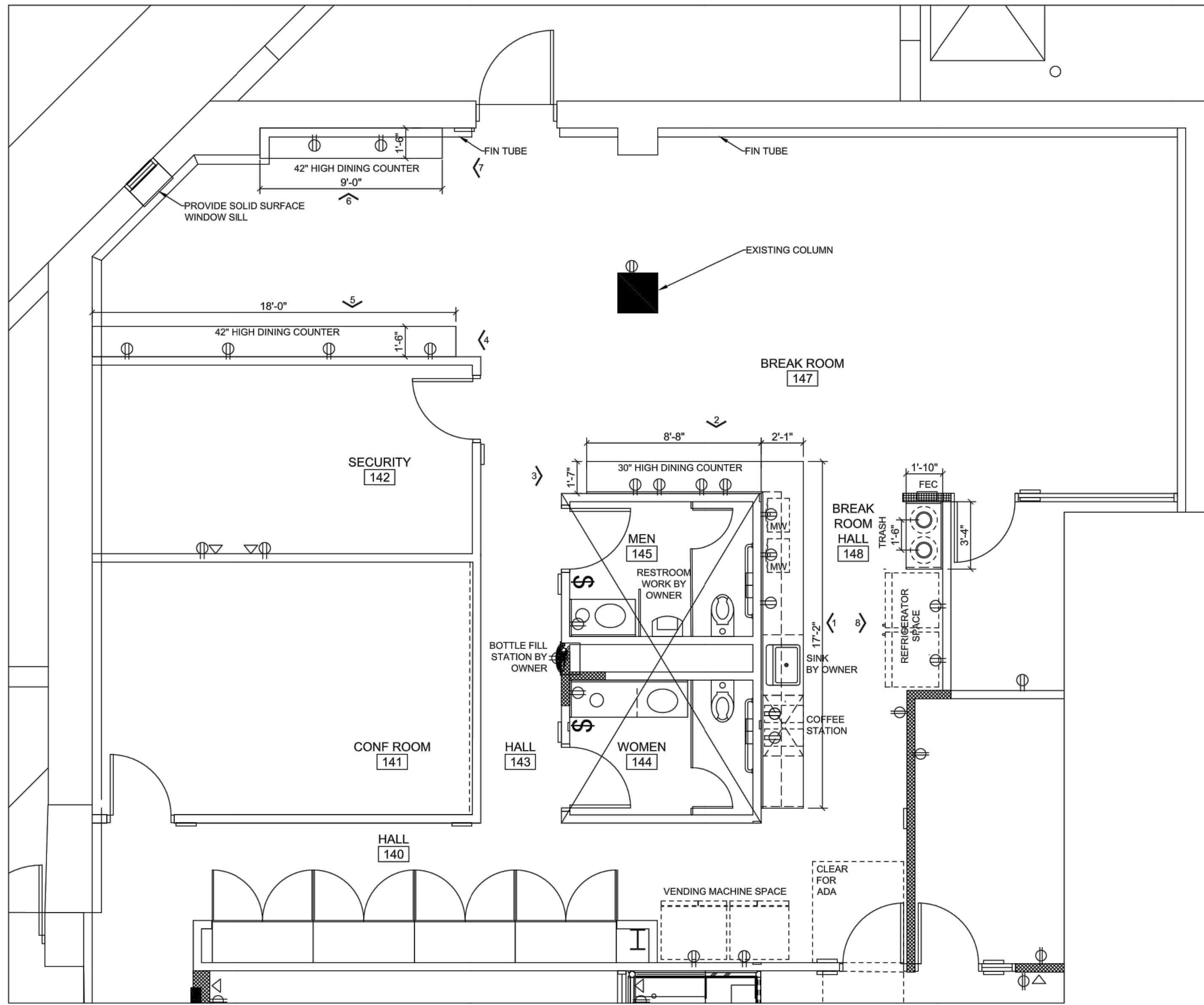
NOTE: REFER TO OPENING SCHEDULE



HEAD DETAILS
SCALE: 1 1/2" = 1'-0"



JAMB DETAILS
SCALE: 1 1/2" = 1'-0"



ADMIN 1ST FLOOR RENOVATION
BREAK ROOM - MILLWORK



501 7TH STREET ROCKFORD, IL 61104

ADMINISTRATION 1ST FLOOR RENOVATION - 2ND FLOOR RELOCATION EC WC FIT DEPARTMENTS

DATE:	02/10/2021	PROJECT:	ADM 1ST FL RENOVATION
PROJECT NUMBER:	2125	PROJECT:	BREAK ROOM - MILLWORK
SHEET NUMBER:	MW1	DRAWN BY:	JDF

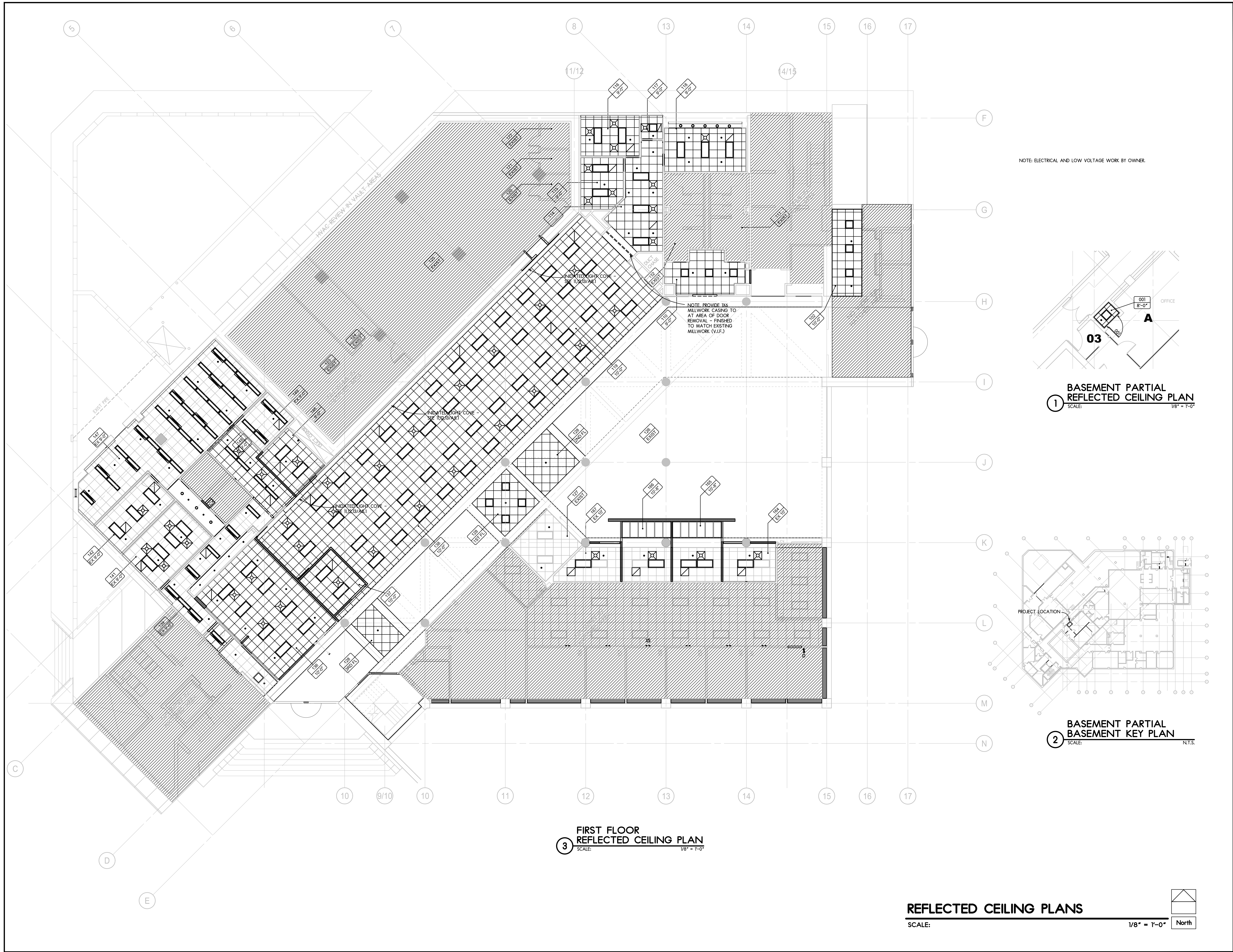
RPS CASEWORK DRAWING
SCALE: AS NOTED

ISSUED FOR:	DATE
DRAWN	APPROVED

DATE: 02-22-2021	PROJECT NUMBER	SHEET NUMBER
31010		A5.2

ADMINISTRATION BUILDING FIRST FLOOR RENOVATIONS- ROCKFORD, ILLINOIS ROCKFORD PUBLIC SCHOOLS 205

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NOTE: ELECTRICAL AND LOW VOLTAGE WORK BY OWNER.

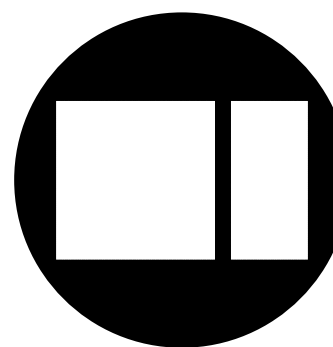
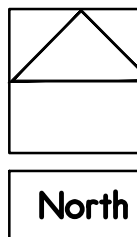
1 BASEMENT PARTIAL
REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

2 BASEMENT PARTIAL
BASEMENT KEY PLAN
SCALE: N.T.S.

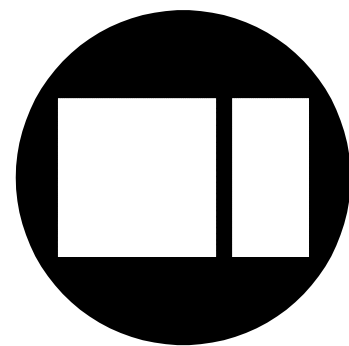
3 FIRST FLOOR
REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLANS

SCALE: 1/8" = 1'-0"



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SJM	RAS

DATE: 02-22-2021
PROJECT NUMBER
31010
SHEET NUMBER
FPI.1

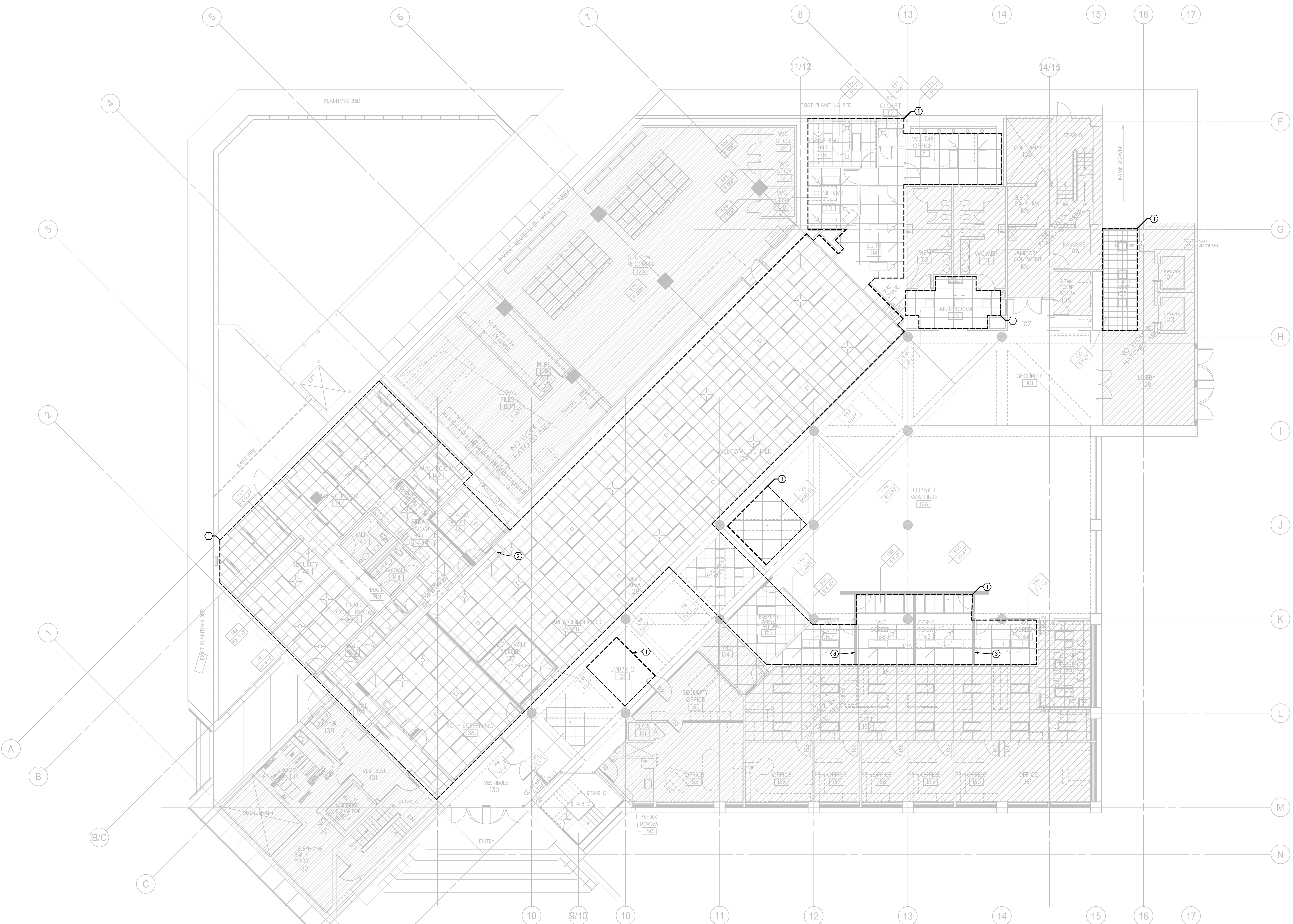


FIRE PROTECTION
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

NOTES:

- 1 PROVIDE SH-1 TYPE SPRINKLERS IN NEW CEILING WITHIN DASHED AREA, AS REQUIRED FOR PROPER COVERAGE. REVISE PRESENT SYSTEM PIPING. PROVIDE NEW CONNECTIONS AND/OR PROVIDE ADDITIONAL PIPING OF ADEQUATE SIZE AND CAPACITY AS REQUIRED. EXACT SPRINKLER LOCATIONS SHALL BE DETERMINED BY CONTRACTOR. HOWEVER LOCATIONS ARE SUBJECT TO REVIEW BY ARCHITECT AND OWNER AND SHALL BE LOCATED AS NECESSARY TO COMPLY WITH THEIR REQUIREMENTS. ENTIRE INSTALLATION SHALL COMPLY WITH NFPA 13 REQUIREMENTS.
- 2 PROVIDE NEW SH-1 IN NEW CLOSET ON FLOOR BELOW WHERE DUMBWATER WILL BE REMOVED. PROVIDE NEW CONNECTION TO EXISTING SPRINKLER PIPING AS REQUIRED.
- 3 MODIFY OR PROVIDE NEW SPRINKLERS IN EXISTING AREAS ADJACENT TO WHERE WALLS ARE BEING ADDED.



FIRE PROTECTION GENERAL NOTES,
AND SCHEDULES

SCALE: _____ NONE

FIRE PROTECTION GENERAL NOTES:

- DRAWINGS ARE GENERALLY DIAGRAMMATIC. EACH CONTRACTOR SHALL MAKE REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND THE BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- IT IS INTENDED THAT THE APPARATUS SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLARNESS OF PRESENTATION.
- EACH CONTRACTOR SHALL CHECK DRAWINGS OF THE OTHER CONTRACTORS TO VERIFY SPACES IN WHICH THEIR WORK WILL BE INSTALLED IS CLEAR OF OBSTRUCTIONS. MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS IN THE BUILDING. WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION.
- WHERE THERE IS EVIDENCE THAT THE WORK OF ONE CONTRACTOR WILL INTERFERE WITH THE WORK OF OTHER CONTRACTORS, EACH CONTRACTOR SHALL ASSIST IN WORKING OUT SPACE CONDITIONS TO MAKE SATISFACTORY ADJUSTMENTS.
- UNUSED OPENINGS IN DUCTS, SEWERS, MANHOLES, ETC. SHALL BE CAPPED; THOSE IN PIPING SHALL BE CAPPED OR PLUGGED; THOSE IN CONDUITS, BOXES, CABINETS AND PANELS SHALL BE FILLED. STRUCTURAL MEMBERS AND SUPPORTS SHALL NOT BE CUT UNLESS AUTHORIZED BY ARCHITECT, IN WRITING.
- PRESENT PAINTED CONSTRUCTION WHICH IS MARRED SHALL BE REPAINTED SAME AS NEW CONSTRUCTION.
- THE PRESENT FIRE PROTECTION SYSTEMS OF ANY TYPE, INCLUDING UTILITY SERVICES, SHALL NOT BE INTERRUPTED EXCEPT AS DIRECTED BY THE OWNER. WHEN SUCH INTERRUPTIONS ARE ALLOWED, THE SYSTEM SHALL BE PUT BACK INTO OPERATION AS SOON AS POSSIBLE, BUT NO LATER THAN AT THE END OF THE NORMAL WORKING DAY, UNLESS SPECIFIC DIRECTION IS OTHERWISE GIVEN.
- CONTRACTOR SHALL VERIFY ALL PRESENT CONDITIONS INCLUDING, BUT NOT LIMITED TO, PIPE SIZES, LOCATIONS, INVERTS, TEMPERATURES, ELEVATIONS, PRESSURES, ETC. PRIOR TO START OF CONSTRUCTION AND MAKE MODIFICATIONS FOR WORK SHOWN AS REQUIRED TO ACCOMMODATE PRESENT OR NEW CONSTRUCTION. ALL AT NO INCREASE IN CONTRACT PRICE.
- THE INSTALLATION OF ALL PIPING SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS IT PERTAINS WITH CLEARANCE OF PIPING IN RELATIONSHIP TO ELECTRICAL SWITCHGEAR, ELECTRICAL EQUIPMENT, ELECTRICAL PANELS, ETC. PIPING SHALL NOT CROSS OVER THE TOP OF OR IMPINGE UPON ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING, INCLUDING CORE DRILLING, SAW CUTTING, ETC., AS REQUIRED TO ACCOMMODATE HIS WORK.
- CONTRACTOR SHALL PROVIDE RECORD DRAWINGS INDICATING THE LOCATION OF ALL FIRE PROTECTION SYSTEMS NOTED HEREIN.
- CONTRACTOR SHALL INSTALL HIS WORK IN ACCORDANCE WITH ALL LAWS, RULES, REGULATIONS, CODES, ETC. PER ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL WARRANTY HIS SYSTEMS FOR A PERIOD OF ONE (1) YEAR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND EQUIPMENT ITEMS.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS, ETC. AS REQUIRED FOR HIS WORK.
- CONTRACTOR SHALL TEST ALL SYSTEMS PER APPLICABLE CODE.

SPRINKLER SCHEDULE							
TAG	SYMBOL	STYLE	FINISH	RESPONSE	NOMINAL K-FACTOR	TEMP. RATING, DEG. F. (NOTE-1)	ACCEPTABLE MANUFACTURERS
SH-1	☉	PENDANT, SEMI-RECESSED	CHROME	QUICK	5.6	155	GLOBE RELIABLE VIKING TYCO
NOTE-1: TEMPERATURE RATING INDICATED IS MINIMUM, RATING SHALL BE INCREASED AS REQUIRED TO BE IN COMPLIANCE WITH NFPA 13 FOR SURROUNDING AMBIENT AND/OR ENVIRONMENTAL TEMPERATURES.							
NOTE-2: ALL SPRINKLERS SHALL BE UL LISTED AND FM APPROVED FOR THE OCCUPANCY HAZARD IN WHICH THEY ARE LOCATED.							

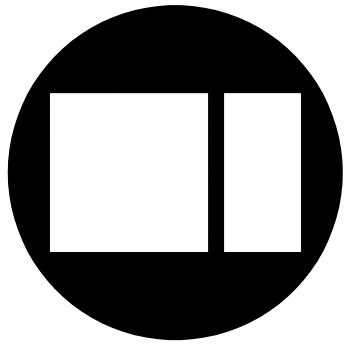
DATE: 02-16-2021	PROJECT NUMBER	SHEET NUMBER
	31010	FP2.1

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SLM	RAS

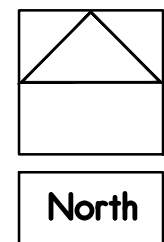
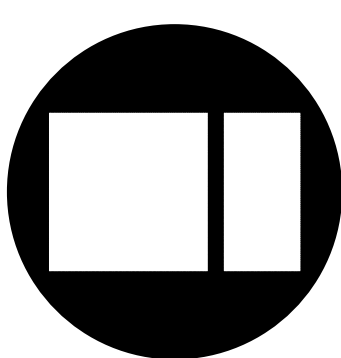
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Architecture Engineering Interiors
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FIRST FLOOR HVAC PLAN

SCALE: 1/8" = 1'-0"

HVAC GENERAL NOTES:

1. ALL NEW SUPPLY DIFFUSERS (SAD) SHALL BE TITUS MODEL TMSA OR APPROVED EQUAL. VERIFY NECK SIZES IN FIELD.
2. ALL NEW RETURN GRILLES (RAG) SHALL BE TITUS MODEL 350R OR APPROVED EQUAL. PROVIDE WITH RETURN BOOT AS SHOWN IN DETAIL.
3. FIELD VERIFY ALL EXISTING DUCTWORK. MODIFY/EXTEND DUCTING AS NEEDED TO CONNECT TO NEW DIFFUSERS/GRILLES. PROVIDE NEW FLEX DUCTING TO SUPPLY DIFFUSERS. MAX LENGTH OF FLEX DUCT NOT TO EXCEED 5'-0" IN LENGTH.

HVAC KEYED NOTES

- ① RECONNECT EXISTING DUCTWORK TO NEW DIFFUSER/LIGHT. MODIFY/EXTEND EXISTING DUCTWORK AS REQUIRED TO CONNECT NEW FLEX DUCTING (NOT TO EXCEED 5'-0" IN LENGTH) TO NEW DIFFUSER. COORDINATE DUCTING REQUIREMENTS WITH ELECTRICAL CONTRACTOR.

VARIABLE AIR VOLUME BOX (VAV) SCHEDULE

PLAN NO.	VAVR-1
SERVICE	OFFICES
MANUFACTURER	TITUS
MODEL/SIZE	DESV
INLET DIA (IN)	9
OUTLET DUCT SIZE (IN)	14x12
MAX. CFM	600
MIN. CFM	0
MAX. NC	24
MAX. S.P.	0.25
NOTES	1, 2

NOTES:
1. OTHER ACCEPTABLE MANUFACTURERS ARE: ANEMOSTAT, CARNER, KRUEGER, NAILOR, PRICE & TRANE.
2. CONDITIONS AT MAXIMUM CFM.