



**ROCKFORD BOARD OF EDUCATION
INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES
FOR SCHOOL DISTRICT NO. 205
ROCKFORD, ILLINOIS**

IFB No. 22-23 HVAC & Roofing Projects at Lincoln, East, Washington & Flinn Schools

DATE: March 11, 2022

RE: **ADDENDUM NO. 9**

To All Bidders:

Included are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 1st floor prior to coming to the bid opening. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Director of Purchasing by email at purchasingdeptstaff@rps205.com.

Modifications

Please note: "The electronic PDF version of the bid response on a flash drive" referenced on the IFB cover page must be submitted to the Purchasing Department twenty-four (24) hours after the bid opening.

The Subcontractor list shall be filled out completely and submitted within 24 hours after the bid opening. Bidder's failure to submit the completed list may result in disqualification of bid.

A revised bid offer form is also included in this addendum.

ROCKFORD BOARD OF EDUCATION

By: Dane Youngblood
Director of Purchasing

BID OFFER FORM

Bid # 22-23

BID SUBMITTED BY: _____

Date _____

The undersigned, having become familiar with the local conditions affecting cost of work and with the Bidding Documents, including the advertisement of the Invitation for Bid, the Instructions and Supplementary Instructions to Bidders, this Bid Offer Form, the General and Supplementary Conditions, the Drawings and Specifications, and Addenda issued thereto, as prepared and issued by the Board of Education of Rockford School District No. 205, Winnebago and Boone Counties, Illinois hereby agrees to furnish all labor, material and equipment necessary to do the Work required for the project and IFB identified above, for the amount shown below:

Note: Contractor to write "No Bid" in the dollar amount section for any line items not bid.

BASE BIDS

Base Bid A - Washington Elementary School HVAC Upgrades

The undersigned agrees to perform all the General, Plumbing, HVAC, and Electrical work required, exclusive of work called for in Alternate Bids, for the sum of:

TOTAL: _____ DOLLARS (\$_____).

Base Bid B-1 - Lincoln Middle School HVAC Upgrades

The undersigned agrees to perform all the General, Plumbing, HVAC, and Electrical work required, exclusive of work called for in Alternate Bids, for the sum of:

TOTAL: _____ DOLLARS (\$_____).

Base Bid B-2 - Lincoln Middle School Roofing Replacement and Parapet Repairs

The undersigned agrees to perform all the roofing replacement and parapet repair work outlined in the document volume issued by Belles Firm of Architecture for the sum of:

TOTAL: _____ DOLLARS (\$_____).

Base Bid C - Flinn Middle School HVAC Upgrades

The undersigned agrees to perform all the General, Plumbing, HVAC, and Electrical work required, exclusive of work called for in Alternate Bids, for the sum of:

TOTAL: _____ DOLLARS (\$_____).

Base Bid D-1 - East High School HVAC Upgrades

The undersigned agrees to perform all the General, Plumbing, HVAC, and Electrical work required, exclusive of work called for in Alternate Bids, for the sum of:

TOTAL: _____ DOLLARS (\$_____).

BID OFFER FORM

Base Bid D-2 - East High School Roof Replacement

The undersigned agrees to perform all the roof replacement work as shown in the IMEG Lincoln document volume for the sum of:

TOTAL: _____ DOLLARS (\$_____).

COMBINATION BID – State the lump sum amount to perform all the work required, exclusive of Alternate Bids #1 and #2, for all four schools - Washington, Lincoln, Flinn, and East - Base Bids A, B-1, B-2, C, D-1, and D-2.

TOTAL: _____ DOLLARS (\$_____).

BREAKDOWN OF COMBINATION BID:

HVAC SYSTEM UPGRADES Project at WASHINGTON ELEMENTARY SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

HVAC SYSTEM UPGRADES Project at LINCOLN MIDDLE SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

ROOF REPLACEMENT Project at LINCOLN MIDDLE SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

HVAC SYSTEM UPGRADES Project at FLINN MIDDLE SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

HVAC SYSTEM UPGRADES Project at EAST HIGH SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

ROOF REPLACEMENT Project at EAST HIGH SCHOOL:

TOTAL: _____ DOLLARS (\$_____)

ALTERNATE BIDS

ALTERNATE BID NO. #1: State the amount to be added to the base bid for all work associated with replacing the existing air handling units that serve the East High School Fieldhouse as shown on the drawings.

(Add): _____ DOLLARS (\$_____).

ALTERNATE BID NO. #2: State the amount to be deducted from the base bid for all work associated with replacing the existing HVAC system within the 1980 Addition at East High School as shown on the drawings.

(Deduct): _____ DOLLARS (\$_____).

BID OFFER FORM

UNIT PRICES

Should the net result of change for any of the following categories of work require more or less quantity of work than originally indicated in the Drawings and/or Specifications, the price for such added or deducted work will be as follows:

ALL IMEG ESSER HVAC Projects	UNIT	UNIT PRICE
Add for removing and relocating bell for new ceiling install	Per Unit	\$ _____
Add for removing and relocating existing camera for new ceiling install	Per Unit	\$ _____
Add for removing and relocating fire alarm devices for new ceiling install	Per Unit	\$ _____
Add for removing and relocating clocks for new ceiling install	Per Unit	\$ _____
Add for removing and relocating wireless access points for new ceiling install	Per Unit	\$ _____
Add for removing and relocating speakers/intercom for new ceiling install	Per Unit	\$ _____
Add for providing new receptacle where an existing receptacle is being covered by new wall furring	Per Unit	\$ _____
Add for acoustic panel ceiling installation	Sq.ft.	\$ _____

ITEMS - LINCOLN ROOF REPLACEMENT AND REPAIR	UNIT	UNIT PRICE
Add/Deduct for masonry cleaning	Sq.ft.	\$ _____
Add/Deduct for stone repointing	Lineal Ft.	\$ _____
Add/Deduct for unit masonry repointing	Sq.ft.	\$ _____
Add/Deduct for common brick masonry replacement	Per unit	\$ _____
Add/Deduct for masonry re-consolidation	Sq.ft.	\$ _____
Add/Deduct for sealant repair/replacement	Lineal Ft.	\$ _____
Add for masonry sealer	Sq.ft.	\$ _____

MINORITY PARTICIPATION: _____%

ALLOWANCES: Not Applicable

ADDENDUM RECEIPT

The undersigned acknowledges receipt of Addenda _____ to _____ inclusive.

PRE-BID MEETING ATTENDANCE

A Bidder representative attended the Pre-Bid Meeting? YES _____ OR No _____.

BID OFFER FORM

SITE VISIT

Existing premises and conditions were checked by an on-site inspection on _____.

CONTRACTOR'S QUALIFICATION STATEMENT

A fully completed AIA Document A305-1986 Contractor's Qualification Statement is **required** AND MUST BE SUBMITTED WITH THE BID. Include at least three references from projects completed in the past five (5) years with phone number, date of completion, description of work, and project architect (or engineer) contact name with phone number. Projects must be similar to the scope of this bid, and the bidder must have acted in the capacity of prime or general contractor.

Contractor has adequate equipment to perform the work properly and expeditiously: ____ Yes ____ No.

COMMENCEMENT AND COMPLETION OF CONTRACT

The undersigned agrees, if awarded the Contract, to commence the contract work within five (5) days of receipt of Order to Proceed or if required, upon execution of a formal written contract and to complete said Work within the specified completion time. The undersigned further agrees to execute the Contract, furnish satisfactory performance and payment bond as well as insurance coverage, as specified in strict accordance with the Contract Documents.

Date of Commencement of Construction: _____

Date of Substantial Completion: August 19, 2023

Date of Final Completion: September 30, 2023

BID OFFER FORM

BIDDER: _____
(Corporation) (Partnership) (Individual) Circle One

Address _____

Street

City

State

Zip Code

Phone No.

Email address

BIDDER FEIN/SSN NO. _____

By: _____
Bidder or Authorized Agent Signature

Print name

Title: _____

Subscribed and sworn to before be this ____ day of _____, _____.

Notary Public

My commission expires: _____

BID DEPOSIT CERTIFICATION

A Bid Deposit is required in the amount of 5% of the total Bid including Alternate Bids. This Bid Deposit is to be a Bid Bond, Bank Draft or Certified Check made payable to the "Rockford School District No. 205", as a guarantee that if awarded all or part of the Bid, the firm will enter into a contract to perform with the Board of Education.

Amount of Total Bid \$ _____

Amount of Bank draft or Certified Check \$ _____

BIDDER: _____

Signature of Bidder or Authorized Agent

BID OFFER FORM

SUBCONTRACTOR LISTING

The Subcontractor list shall be filled out completely and submitted within 24 hours after the bid opening. Bidder's failure to submit the completed list may result in disqualification of bid.

<u>SUBCONTRACTOR LIST</u>	<u>COMPANY NAME</u>
Plumbing	
Piping	
HVAC	
Temperature Controls	
Electrical	
Earthwork/Excavation	
Paving	
Concrete Formwork	
Concrete	
Concrete Reinforcement	
Masonry	
Structural Steel	
Misc. Metals	
Steel Erection	
Carpentry & Millwork	
Roofing	
Sheet Metal	
Hollow Metal Work	
Glass/Glazing	
Acoustical Ceilings	
Tile	
Carpet	
Painting	

Bidder:

By: _____
Bidder or Authorized Agent Signature

-END OF BID OFFER FORM-



ADDENDUM #9

DATE: March 11, 2022

PROJECT: IFB #22-23
RPS 205 HVAC Improvements:
2224 Washington Elementary School
2245 Lincoln Middle School
2246 Flinn Middle School
2233 East High School
IMEG #21002885.01, .02, .03, .04

BID DUE DATE: March 17, 2022

ARCHITECT: IMEG Corp.
623 26th Avenue
Rock Island, IL 61201
Phone: 309-788-0673
Fax: 309-786-5967

TO: All Contract Document Holders of Record.

This Addendum forms a part of the bidding and construction documents. This Addendum supersedes and supplements all portions of the original bidding and construction documents dated January 28, 2022, with which it conflicts. Please attach this Addendum to the Project Manual(s) in your possession.

ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED ON THE BID FORM.
FAILURE TO DO SO MAY SUBJECT BIDDER TO DISQUALIFICATION.

A. QUESTIONS/CLARIFICATIONS

1. Washington Elementary School Project 2224:
 - a. Keynote D3 on the demo drawings states "remove existing 1x1 ceiling tile system to accommodate new work and salvage for reinstallation". The 1x1 ceiling tile system is spline tiles that are glued directly to a plaster ceiling. It is highly unlikely that we would be able to scrape the spline tiles off the plaster ceiling without damaging the majority of the tiles. Also is the intent of the ceiling demo to remove the plaster ceiling system as well? If so, is this plaster ceiling part of the fire rated system for the corridor? If the corridor walls are not full height the plaster ceiling may be part of the fire rated system for the corridor.
Response: The 1x1 ceiling tile system will not be salvaged. We updated the ceiling system to Gypsum Board to maintain the fire rating. Corridor on the north portion of the building goes up to the underside of the existing roof deck; therefore, we are utilizing 2x2 ACT ceiling system. Refer to updated drawings.

- b. D1.03B calls for removal of spline ceiling over the auditorium in its entirety. Is the ceiling a spline system only, or is there another ceiling system above the spline tiles similar to the corridors that have plaster above?
Response: Per the existing drawings, it appears to be attached to plaster.
- c. The auditorium floor is covered in fixed seating, and the ceilings are 20'+ above the floor. How are we supposed to get multiple trades access to the ceilings in order to demo ceiling, install new mechanicals and electrical work, and install new ceiling? There is no access to get a lift into this space since the entrances are on the second floor.
Response: We had envisioned setting up scaffolding in a large area of the auditorium as one option. Contractor to determine means of installing.
- d. A1.01A keynote 13 calls for new palm shield atlas industrial aluminum fencing around perimeter and over top of chiller. Is the intent to span the pal shield fencing over the top of the chiller? At Lincoln this is called out to be galvanized chain link fence over the chiller. Is this school meant to be different?
Response: Washington and Lincoln should have a Palm Shield Atlas fence as noted, for the top, it should be a galvanized chain link fence over the chiller for both schools. The top fence should slope to the edge of the fence.
- e. Auditorium – how is access going to be gained for me to get my ductwork above this ceiling? Is there an attic space that can be reached?
Response: Refer also to question c above, access is planned to be via removing large areas of the ceiling. Refer to architectural ceiling drawings. The attic space above the auditorium ceiling is approximately 7 feet tall.

2. Flinn Middle School Project Number 2246:

- a. Revisions to note RCP2 state “scrape popcorn ceiling in entire room in its entirety. Patch, repair, and paint existing ceiling in the entire room.” The textured ceilings are not a popcorn ceiling. They are thick plaster on metal lathe with a heavy texture. There is no backing to remove or scrape the texture off of. The ceilings are plaster all the way through. Please revisit this design specification and advise on how to proceed.
Response: The ceiling will not be scrapped in its entirety. Instead we will unitize acoustical ceiling panels. Please refer to revised drawings.
- b. In the auditorium there is an area where it is noted to remove and replace a section of the plaster ceiling. Based on note RCP2 we would need to repaint the ceiling in the entire auditorium space. This ceiling was just painted two years ago. Are we to include in our bid to repaint the entire auditorium ceiling?
Response: The entire ceiling does not need to be painted. We decided to use ACT ceiling system. Refer to revised attached drawings.
- c. There is new duct that is to be installed over the stage area. This area has a significant amount of stage equipment hanging from steel cables from the structure above. There are no notes on the drawings that tell us we are to remove and reinstall the stage equipment or do anything with the stage equipment. There is not enough space between all the cables and hanging structures to be able to install the duct as shown on the mechanical drawings. Are we supposed to include in our bid to rework, or remove any of the hanging stage equipment?
Response: The Contractor shall engage a specialty contractor approved by the Owner to remove, store, and reinstall stage curtains, stage rigging, and theater lighting for an allowance of \$30,000. Refer to allowance section of the addendum.
- d. Keynote 1 on A1.00D calls for a new access door. Addendum #5 provided a spec for the door. Is the intent to replace the existing door and frame in the floor? Or just the door? The existing frames appear to be cast into the concrete slab. The

only way to remove these frames may be to saw cut around them and remove, but this will compromise the opening. There are no structural details showing us how to install a new frame, and tie into the existing slab.

Response: The intent of the design is to provide an access door that is easy to open by one person. If by replacing just the door meets such requirements, then just replacing the door is fine.

- e. G0.01 has a detail for an overhead sectional door. Specification section 08-33-00 has information for coiling doors, so this does not match the overhead sectional door detail shown. There is no sectional door, or overhead door listed in the door schedule. I do not see any sectional doors, or overhead doors shown on the floor plans. Are there any sectional doors, or overhead doors being added at this school?

Response: Overhead door on sheet G0.01 has been changed to be a coiling door. The coiling door is located in the basement – area C in the Fan Room 008 with note #15.

- f. Architectural drawings keynote 7 states patch concrete slab as required to match adjacent surface in locations where piping and or ductwork was removed. Do holes need to be patched when they will be under a new pipe chase framed wall?

Response: No, if the opening is covered by the proposed chase walls, the hole does not need to be patched.

- g. For the stage mechanical work: Is the stage equipment (curtains, curtain rigging, lighting, and school owned properties) going to be removed by the district?

Response: Contractor to carry an allowance. The stage equipment will be removed and salvaged for reinstallation by the Contractor. Refer to updated drawings attached.

3. East High School Project 2223:

- a. A2.01B keynote RCP3 calls for painting exposed structure above pool. What specifically are we to paint in the pool area? Ceiling demo in this area was removed from scope in addendum #4, so there will be no newly exposed structure. The new duct in the area will be a duct sock, so that would not be painted. What else needs to be painted?

Response: The ceiling will not be removed, there is no exposed structure. Refer to updated attached drawings.

- b. D1.03A and D1.03B keynote D13 call for existing ceiling in its entirety to be demolished. The Ceilings are a spline ceiling tile glued directly to a plaster ceiling system. Is the intent to remove entirely the spline ceiling tiles, and the plaster ceiling system? Is this plaster ceiling part of the fire rated system for the corridor? We are installing new ceiling grid and ACT in the corridor which would not provide a fire rating if the walls are not full height.

Response: Per the life safety plans, the corridors are not fire rated.

4. Lincoln Middle School Project 2245:

- a. D1.04A and D1.04C call for removal of existing ceilings in the corridor and library. The Ceilings are a spline ceiling tile glued directly to a plaster ceiling system. Is the intent to remove entirely the spline ceiling tiles, and the plaster ceiling system? Is this plaster ceiling part of the fire rated system for the corridor? We are installing new ceiling grid and ACT in the corridor which would not provide a fire rating if the walls are not full height.

Response Reflected Ceiling Plans have been updated to reflect gypsum board ceiling system to meet the required 1-hour fire rating. The fire rated walls that separate the corridor from the Library and the cafeteria from the corridor will extend to the underside of the existing roof deck. Refer to drawings attached.

- b. D1.04C calls for ceilings to be demoed in rooms 331, 331.2, 330.7, 330.6, and 330.8. No new ceilings called for in these rooms on the reflected ceiling plan on A2.04C. Are we to install new ceilings in these rooms?

Response: The ceilings in Rooms 331, 331.2, 330.7, 330.6, and 330.8 will not be demolished.

- c. Will the school district be moving everything out of the library to allow ceiling work and HVAC work without having to protect and work around books and shelving?

Response: The Owner will remove items out of the Library or place in the center of the room under the skylight where no work is scheduled in the ceiling above.

5. All Four Schools:

- a. Are we able to use the elevators at the schools for transporting materials?

Response: The Contractor may use the elevator when the building is not occupied. The Contractor is required to protect all elevator finishes including hoistway doors and frames while not exceeding the posted weight limit. Coordination for access may be made with the Owner's Representative.

B. SPECIFICATIONS

1. Bid Offer Form

- a. Add unit cost per square foot for acoustic panel ceiling installation. Refer to revised bid form.

2. SECTION 08 11 13 HOLLOW METAL DOORS & FRAMES

- a. **ADD** entire specification section.

3. Section 08 31 13 Access Doors

- a. **REPLACE** entire specification section.

4. SECTION 09 84 33 ACOUSTICAL TREATMENT

- a. **ADD** entire specification section.

5. SECTION 01 21 00 - ALLOWANCES

- a. **REVISE** Paragraph 3.1B.1 to read: "Flinn Middle School: The Contractor shall engage a specialty contractor approved by the Owner to remove, store and reinstall stage curtains, stage rigging, and theater lighting for an allowance of \$30,000."

6. SECTION 01 50 00 - CONSTRUCTION FACILITIES & TEMPORARY CONTROLS

- a. **ADD** Paragraph 1.7A: "Provide protection of existing building including, but not limited to, existing flooring, walls, etc. as required for areas of work and pathways for transporting materials." Renumber subsequent paragraphs.

7. SECTION 23 09 00 – CONTROLS

- a. **REVISE** Paragraph 1.8A to read as follows:

A. New Building Systems (compatible with Owner's existing control system):

- 1. All new Niagara system for this project as required per building with JACE communicating to the District-wide system. Existing control components connected to the existing DDC control system that remain outside the scope of this project within the buildings shall be integrated into the new system. Contractor shall coordinate the integration of the JACE with the Owner for connection to the District system, as this will be performed by the Owner.
- 2. All controllers and accessories shall interface with the existing Tridium platform.

8. SECTION 23 31 00 - DUCTWORK

- a. Paragraph 2.2C.5: **ADD** Fabric Air as an acceptable fabric ductwork manufacturer.

C. DRAWINGS

East High School

1. DRAWING A2.01B – FIRST FLOOR REFLECTED CEILING PLAN – AREA B **REPLACE** entire sheet with A2.01B – FIRST FLOOR REFLECTED CEILING PLAN – AREA B dated 03/10/2022.
 - a. **DELETE** tag RCP3 in the swimming pool.

Lincoln Middle School

2. DRAWING A2.04A THIRD FLOOR REFLECTED CEILING PLAN – AREA A **REPLACE** entire sheet with A2.04A THIRD FLOOR REFLECTED CEILING PLAN – AREA A dated 03/10/2022.
 - a. **ADD** note “Extend existing fire rated wall to the bottom of existing roof deck” between Cafeteria 349 and Corridor.
3. DRAWING A2.04C THIRD FLOOR REFLECTED CEILING PLAN – AREA A C **REPLACE** entire sheet with A2.04C THIRD FLOOR REFLECTED CEILING PLAN – AREA C dated 03/10/2022.
 - a. **ADD** note “Extend existing fire rated wall to the bottom of existing roof deck” between Library 330 and Corridor.
4. DRAWING M206A - MECHANICAL SCHEDULES
 - a. **ADD** fire dampers where fire walls will be extended to roof deck, refer to architectural drawings.
 - b. Refer to attached updated drawing M206A.
5. DRAWING M206C - MECHANICAL SCHEDULES
 - a. **ADD** fire dampers where fire walls will be extended to roof deck, refer to architectural drawings.
 - b. Refer to attached updated drawing M206C.
6. DRAWING M600 - MECHANICAL SCHEDULES
 - a. **ADD** sound attenuator criteria to DOAS-7L.
 - b. Refer to attached updated drawing M600.
7. DRAWING E105A - THIRD FLOOR DEMOLITION - ELECTRICAL - AREA A
 - a. **REVISE** Keynote #2 as shown on revised drawing E105A.
8. DRAWING E105C - THIRD FLOOR DEMOLITION - ELECTRICAL - AREA C
 - a. **REVISE** Keynote #2 as shown on revised drawing E105C.
9. DRAWING E205A - THIRD FLOOR - ELECTRICAL - AREA A
 - a. **ADD** Keynote #3 as shown on revised drawing E205A.
 - b. **ADD** new fixtures as shown on revised drawing E205A.
10. DRAWING E205C - THIRD FLOOR - ELECTRICAL - AREA C
 - a. **ADD** Keynote #4 as shown on revised drawing E205C.
 - b. **ADD** new fixtures as shown on revised drawing E205C.
11. DRAWING E600 - ELECTRICAL SCHEDULES
 - a. **ADD** fixture F3 to LED Luminaire Schedule.

Washington Elementary School

12. DRAWING A1.01A GROUND FLOOR PLAN – AREA A **REPLACE** entire sheet with A1.01A GROUND FLOOR PLAN – AREA A dated 03/10/2022.
 - a. **REVISE** note 13” Install new 8’-0” high palm shield atlas industrial horizontal aluminum fencing around perimeter and over top of chiller” to read as follows. “Install new 8’-0” high palm shield atlas industrial horizontal aluminum fencing around perimeter of mechanical equipment per fence manufacturer recommendations. Install steel chain link fence on top of mechanical equipment”.
13. DRAWING A1.04B ATTIC FLOOR PLAN – AREA B **REPLACE** entire sheet with A1.04B ATTIC FLOOR PLAN – AREA B dated 03/10/2022.
 - a. **ADD** note 27 “Provide fire rated access door”.

14. DRAWING A2.03A THIRD FLOOR REFLECTED CEILING PLAN – AREA A **REPLACE** entire sheet with A2.03A THIRD FLOOR REFLECTED CEILING PLAN – AREA dated 03/10/2022.
 - a. **REVISE** ceiling system at Corridor 200. Change from Acoustic Ceiling Tile to Gypsum Board.
15. DRAWING A2.03B THIRD FLOOR REFLECTED CEILING PLAN – AREA B **REPLACE** entire sheet with A2.03B THIRD FLOOR REFLECTED CEILING PLAN – AREA dated 03/10/2022.
 - a. **REVISE** ceiling system at Corridor 200. Change from Acoustic Ceiling Tile to Gypsum Board.

Flinn Middle School

16. DRAWING D1.01D – FIRST FLOOR DEMOLITION PLAN – AREA D **REPLACE** entire sheet with D1.01D – FIRST FLOOR DEMOLITION PLAN – AREA D dated 03/10/2022.
 - a. **ADD** note D28 “Carefully remove portion of existing ceiling system to accommodate new work”.
 - b. **ADD** note D29 “Carefully remove curtains, curtain rigging, lighting and equipment and salvage for reinstallation”.
17. DRAWING D1.01E – FIRST FLOOR DEMOLITION PLAN – AREA E & F **REPLACE** entire sheet with D1.01E – FIRST FLOOR DEMOLITION PLAN – AREA E & F dated 03/10/2022.
 - a. **ADD** note D28 “Carefully remove portion of existing ceiling system to accommodate new work”.
 - b. **ADD** note D29 “Carefully remove curtains, curtain rigging, lighting and equipment and salvage for reinstallation”.
18. DRAWING D1.02A – SECOND FLOOR DEMOLITION PLAN – AREA A **ADD** entire sheet with D1.02A – SECOND FLOOR DEMOLITION PLAN – AREA A dated 03/10/2022.
 - a. **ADD** note “Remove existing aluminum ceiling in its entirety”.
19. DRAWING A1.00B – BASEMENT FLOOR PLAN – AREA B & C **REPLACE** entire sheet with A1.00B – BASEMENT FLOOR PLAN – AREA B & C dated 03/10/2022.
 - a. **REVISE** note 1 “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4/A4.00 for additional information”, to read as follows. “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4A/A4.00 for additional information”.
 - b. **ADD** note 25 “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4B/A4.00 for additional information”.
20. DRAWING A1.00D – BASEMENT FLOOR PLAN – AREA D **REPLACE** entire sheet with A1.00D – BASEMENT FLOOR PLAN – AREA D dated 03/10/2022.
 - a. **REVISE** note 1 “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4/A4.00 for additional information”, to read as follows. “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4A/A4.00 for additional information”.
 - b. **ADD** note 25 “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4B/A4.00 for additional information”.
21. DRAWING A1.00E – BASEMENT FLOOR PLAN – AREA E **REPLACE** entire sheet with A1.00E – BASEMENT FLOOR PLAN – AREA E dated 03/10/2022.
 - a. **REVISE** note 1 “New 2’x3’ access door with a hinged and lockable door at the school district’s direction. Typical at all locations indicated. See detail 4/A4.00 for additional information”, to read as follows. “New 2’x3’ access door with a hinged

- and lockable door at the school district's direction. Typical at all locations indicated. See detail 4A/A4.00 for additional information".
- b. **ADD** note 25 "New 2'x3' access door with a hinged and lockable door at the school district's direction. Typical at all locations indicated. See detail 4B/A4.00 for additional information".
22. DRAWING A2.01B – FIRST FLOOR REFLECTED CEILING PLAN - AREA B & C
REPLACE entire sheet A2.01B – FIRST FLOOR REFLECTED CEILING PLAN - AREA B & C dated 03/10/2022
- a. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panels. Refer to detail 2/A2.02A".
 - b. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", to read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - c. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - d. **ADD** note RCP 13 "Acoustical ceiling panels".
23. DRAWING A2.01D – FIRST FLOOR REFLECTED CEILING PLAN - AREA D **REPLACE** entire sheet A2.01D – FIRST FLOOR REFLECTED CEILING PLAN - AREA D dated 03/10/2022.
- a. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panels. Refer to detail 2/A2.02A".
 - b. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", to read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - c. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - d. **ADD** note RCP 13 "Acoustical ceiling panels".
24. DRAWING A2.01E – FIRST FLOOR REFLECTED CEILING PLAN - AREA E **REPLACE** entire sheet A2.01E – FIRST FLOOR REFLECTED CEILING PLAN - AREA E dated 03/10/2022.
- a. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panels. Refer to detail 2/A2.02A".
 - b. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", to read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - c. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - d. **ADD** note RCP 13 "Acoustical ceiling panels".
25. DRAWING A2.02A – SECOND FLOOR REFLECTED CEILING PLAN - AREA A
REPLACE entire sheet A2.01A – SECOND FLOOR REFLECTED CEILING PLAN - AREA A dated 03/10/2022.
- a. **ADD** detail 2.

- b. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panels. Refer to detail 2/A2.02A".
 - c. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", to read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - d. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - e. **ADD** note RCP 13 "Acoustical ceiling panels".
 - f. **ADD** note RCP 14 "Paint exposed structure and the new ductwork".
- 26. DRAWING A2.02B – SECOND FLOOR REFLECTED CEILING PLAN - AREA B & C
REPLACE entire sheet A2.01B – SECOND FLOOR REFLECTED CEILING PLAN - AREA B & C dated 03/10/2022.
 - a. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panels. Refer to detail 2/A2.02A".
 - b. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", to read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - c. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - d. **ADD** note RCP 13 "Acoustical ceiling panels".
- 27. DRAWING A2.02D – SECOND FLOOR REFLECTED CEILING PLAN - AREA D
REPLACE entire sheet A2.01D – SECOND FLOOR REFLECTED CEILING PLAN - AREA D dated 03/10/2022.
 - a. **REVISE** note RCP2 "Existing plaster ceiling to be patched, prep and paint with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Refer to detail 2/A2.02A", to read as follows "Existing plaster ceiling to be patched, prep and with gypsum board system. Provide a clean expansion joint between existing plaster ceiling and new gypsum board. Provide acoustical ceiling panesl. Refer to detail 2/A2.02A".
 - b. **REVISE** note RCP3 "Install new gypsum board ceiling to match exiting ceiling height", tp read as follows, "Install new gypsum board ceiling to match exiting ceiling height. Paint to match existing adjacent surface".
 - c. **ADD** note RCP 12 "Carefully reinstall salvaged curtains, curtain rigging, lighting and equipment".
 - d. **ADD** note RCP 13 "Acoustical ceiling panels".
- 28. DRAWING A4.00 – DETAILS **REPLACE** entire sheet A4.00 – DETAILS dated 03/10/2022.
 - a. **REVISE** detail "4/A4.00" to read as follows, "4A/A4.00"
 - b. **ADD** detail "4B/A4.00".
- 29. DRAWING E102B - SECOND FLOOR DEMOLITION - ELECTRICAL - AREA B & C
 - a. **ADD** existing fixtures and Keynote #1 to Area B.
 - b. **ADD** Keynote #1 to sheet.
- 30. DRAWING E102D - SECOND FLOOR DEMOLITION - ELECTRICAL - AREA D
 - a. **ADD** Keynote #2 to upper stage. Refer to revised drawing E102D.
- 31. DRAWING E203B - SECOND FLOOR - ELECTRICAL - AREA B & C
 - a. **ADD** existing fixtures and Keynote #1 to Area B.

- b. **ADD** Keynote #1 to sheet.

END OF ADDENDUM #9

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Enclosures:

1. Section 08 11 13 Hollow Metal Doors & Frames
2. Section 08 31 13 Access Doors
3. Section 09 84 33 Acoustical Treatment
4. RPS EAST HS ADDENDUM 5-03-10-2022
5. RPS LINCOLN MS ADDENDUM 5-03-10-2022, M206A, M206C, M600, E105A, E105C, E205A, E205C, E600
6. RPS WASHINGTON ADDENDUM 5-03-10-2022
7. RPS FLINN MS ADDENDUM 5-03-10-2022, E102B, E102D, E203B

DIVISION 8 - OPENINGS

Section 08 11 13 - Hollow Metal Doors & Frames

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

- 1. Standard and custom hollow metal doors and frames.
 - 2. Steel sidelight, borrowed lite and transom frames.
 - 3. Louvers installed in hollow metal doors.
 - 4. Light frames and glazing installed in hollow metal doors.

- B. Related Sections:

- 1. Division 01 Section "General Conditions".
 - 2. Division 04 Section "Unit Masonry" for embedding anchors for hollow metal work into masonry construction.
 - 3. Division 08 Section "Flush Wood Doors".
 - 4. Division 08 Section "Glazing" for glass view panels in hollow metal doors.
 - 5. Division 08 Section "Door Hardware".
 - 6. Division 09 Sections "Exterior Painting" and "Interior Painting" for field painting hollow metal doors and frames.

- C. Codes and References: Comply with the version year adopted by the Authority Having Jurisdiction.

- 1. ANSI/SDI A250.8 - Recommended Specifications for Standard Steel Doors and Frames.
 - 2. ANSI/SDI A250.4 - Test Procedure and Acceptance Criteria for Physical Endurance for Steel Doors, Frames, Frames Anchors and Hardware Reinforcing.
 - 3. ANSI/SDI A250.6 - Recommended Practice for Hardware Reinforcing on Standard Steel Doors and Frames.
 - 4. ANSI/SDI A250.10 - Test Procedure and Acceptance Criteria for Prime Painted Steel Surfaces for Steel Doors and Frames.
 - 5. ANSI/SDI A250.11 - Recommended Erection Instructions for Steel Frames.
 - 6. ASTM A1008 - Standard Specification for Steel Sheet, Cold-Rolled, Carbon, Structural, High-Strength Low-Alloy and High-Strength Low-Alloy with Improved Formability.
 - 7. ASTM A653 - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process.
 - 8. ASTM A924 - Standard Specification for General Requirements for Steel Sheet, Metallic-Coated by the Hot-Dip Process.

9. ASTM C 1363 - Standard Test Method for Thermal Performance of Building Assemblies by Means of a Hot Box Apparatus.
10. ANSI/BHMA A156.115 - Hardware Preparation in Steel Doors and Frames.
11. ANSI/SDI 122 - Installation and Troubleshooting Guide for Standard Steel Doors and Frames.
12. ANSI/NFPA 80 - Standard for Fire Doors and Fire Windows; National Fire Protection Association.
13. ANSI/NFPA 105: Standard for the Installation of Smoke Door Assemblies.
14. NFPA 252 - Standard Methods of Fire Tests of Door Assemblies; National Fire Protection Association.
15. UL 10C - Positive Pressure Fire Tests of Door Assemblies.
16. UL 1784 - Standard for Air Leakage Tests of Door Assemblies.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated. Include construction details, material descriptions, core descriptions, hardware reinforcements, profiles, anchors, fire-resistance rating, and finishes.
- B. Door hardware supplier is to furnish templates, template reference number and/or physical hardware to the steel door and frame supplier in order to prepare the doors and frames to receive the finish hardware items.
- C. Shop Drawings: Include the following:
 1. Elevations of each door design.
 2. Details of doors, including vertical and horizontal edge details and metal thicknesses.
 3. Frame details for each frame type, including dimensioned profiles and metal thicknesses.
 4. Locations of reinforcement and preparations for hardware.
 5. Details of anchorages, joints, field splices, and connections.
 6. Details of accessories.
 7. Details of moldings, removable stops, and glazing.
 8. Details of conduit and preparations for power, signal, and control systems.
- D. Samples for Verification:
 1. Samples are only required by request of the architect and for manufacturers that are not current members of the Steel Door Institute.

1.4 QUALITY ASSURANCE

- A. Source Limitations: Obtain hollow metal doors and frames through one source from a single manufacturer wherever possible.
- B. Quality Standard: In addition to requirements specified, furnish SDI-Certified manufacturer products that comply with ANSI/SDI A250.8, latest edition, "Recommended Specifications for Standard Steel Doors and Frames".

- C. Fire-Rated Door Assemblies: Assemblies complying with NFPA 80 that are listed and labeled by a qualified testing agency, for fire-protection ratings indicated, based on testing at positive pressure according to UL10C (neutral pressure at 40" above sill) or UL 10C.
 - 1. Oversize Fire-Rated Door Assemblies Construction: For units exceeding sizes of tested assemblies, attach construction label certifying doors are built to standard construction requirements for tested and labeled fire rated door assemblies except for size.
 - 2. Temperature-Rise Limit: Where indicated and at vertical exit enclosures (stairwell openings) and exit passageways, provide doors that have a maximum transmitted temperature end point of not more than 450 deg F (250 deg C) above ambient after 30 minutes of standard fire-test exposure.
 - 3. Smoke Control Door Assemblies: Comply with NFPA 105.
 - a. Smoke "S" Label: Doors to bear "S" label, and include smoke and draft control gasketing applied to frame and on meeting stiles of pair doors.
- D. Fire-Rated, Borrowed-Light Frame Assemblies: Assemblies complying with NFPA 80 that are listed and labeled, by a testing and inspecting agency acceptable to authorities having jurisdiction, for fire-protection ratings indicated, based on testing according to NFPA 257. Provide labeled glazing material.
- E. Pre-Submittal Conference: Conduct conference in compliance with requirements in Division 01 Section "Project Meetings" with attendance by representatives of Supplier, Installer, and Contractor to review proper methods and procedures for installing hollow metal doors and frames and to verify installation of electrical knockout boxes and conduit at frames with electrified or access control hardware.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver hollow metal work palletized, wrapped, or crated to provide protection during transit and Project site storage. Do not use non-vented plastic.
- B. Deliver welded frames with two removable spreader bars across bottom of frames, tack welded to jambs and mullions.
- C. Store hollow metal work under cover at Project site. Place in stacks of five units maximum in a vertical position with heads up, spaced by blocking, on minimum 4-inch high wood blocking. Do not store in a manner that traps excess humidity.
 - 1. Provide minimum 1/4-inch space between each stacked door to permit air circulation. Door and frames to be stacked in a vertical upright position.

1.6 PROJECT CONDITIONS

- A. Field Measurements: Verify actual dimensions of openings by field measurements before fabrication.

1.7 COORDINATION

- A. Coordinate installation of anchorages for hollow metal frames. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors. Deliver such items to Project site in time for installation.
- B. Building Information Modeling (BIM) Support: Utilize designated BIM software tools and obtain training needed to successfully participate in the Project BIM processes. All technical disciplines are responsible for the product data integration and data reliability of their Work into the coordinated BIM applications.

1.8 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace doors that fail in materials or workmanship within specified warranty period.
- B. Warranty includes installation and finishing that may be required due to repair or replacement of defective doors.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, provide steel doors and frames from a SDI Certified manufacturer:
 - 1. CECO Door Products (C).
 - 2. Curries Company (CU).
 - 3. Pioneer Industries (PI).

2.2 MATERIALS

- A. Cold-Rolled Steel Sheet: ASTM A 1008/A 1008M, Commercial Steel (CS), Type B; suitable for exposed applications.
- B. Metallic-Coated Steel Sheet: ASTM A 653/A 653M, Commercial Steel (CS), Type B; with minimum G60 (Z180) or A60 (ZF180) metallic coating.
- C. Frame Anchors: ASTM A 653/A 653M, Commercial Steel (CS), Commercial Steel (CS), Type B; with minimum G60 (Z180) or A60 (ZF180) metallic coating.

2.3 HOLLOW METAL DOORS

- A. General: Provide 1-3/4 inch doors of design indicated, not less than thickness indicated; fabricated with smooth surfaces, without visible joints or seams on exposed faces unless otherwise indicated. Comply with ANSI/SDI A250.8 and ANSI/NAAMM HMMA 867.

- B. Exterior Doors (Energy Efficient): Face sheets fabricated of commercial quality hot-dipped zinc coated steel that complies with ASTM A924 A60. Provide doors complying with requirements indicated below by referencing ANSI/SDI A250.8 for level and model, ANSI/SDI A250.4 for physical performance level, and HMMA 867 for door construction.
1. Design: Flush panel.
 2. Core Construction: Foamed in place polyurethane and steel stiffened laminated core with no stiffener face welds, in compliance with HMMA 867 "Laminated Core".
 - a. Provide 22 gauge steel stiffeners at 6 inches on-center internally welded at 5" on-center to integral core assembly, foamed in place polyurethane core chemically bonded to all interior surfaces. No stiffener face welding is permitted.
 - b. Thermal properties to rate at a fully operable minimum U-Factor 0.37 and R-Value 2.7, including insulated door, thermal-break frame and threshold.
 - c. Kerf Type Frames: Thermal properties to rate at a fully operable minimum U-Factor 0.38 and R-Value 2.6, including insulated door, kerf type frame, and threshold.
 3. Level/Model: Level 3 and Physical Performance Level A (Extra Heavy Duty), Minimum 16 gauge (0.053 inch - 1.3-mm) thick steel, Model 2.
 4. Vertical Edges: Vertical edges to be mechanically interlocked with hairline seam. Beveled Lock Edge, 1/8 inch in 2 inches (3 mm in 50 mm).
 5. Top and Bottom Edges: Reinforce tops and bottoms of doors with a continuous steel channel not less than 16 gauge, extending the full width of the door and welded to the face sheet. Doors with an inverted top channel to include a steel closure channel, screw attached, with the web of the channel flush with the face sheets of the door. Plastic or composite channel fillers are not acceptable.
 6. Hinge Reinforcement: Minimum 7 gauge (3/16") plate 1-1/4" x 9".
 7. Hardware Reinforcements: Fabricate according to ANSI/SDI A250.6 with reinforcing plates from same material as door face sheets.
- C. Interior Doors: Face sheets fabricated of commercial quality cold rolled steel that complies with ASTM A 1008/A 1008M. Provide doors complying with requirements indicated below by referencing ANSI/SDI A250.8 for level and model and ANSI/SDI A250.4 for physical performance level:
1. Design: Flush panel.
 - a. Fire Door Core: As required to provide fire-protection and temperature-rise ratings indicated.
 2. Level/Model: Level 2 and Physical Performance Level B (Heavy Duty), Minimum 18 gauge (0.042-inch - 1.0-mm) thick steel, Model 2.
 3. Top and Bottom Edges: Reinforce tops and bottoms of doors with a continuous steel channel not less than 16 gauge, extending the full width of the door and welded to the face sheet.
 4. Hinge Reinforcement: Minimum 7 gauge (3/16") plate 1-1/4" x 9" or minimum 14 gauge continuous channel with pierced holes, drilled and tapped.

5. Hardware Reinforcements: Fabricate according to ANSI/SDI A250.6 with reinforcing plates from same material as door face sheets.

D. Manufacturers Basis of Design:

1. Curries Company (CU) - Polystyrene Core - 707 Series.
2. Curries Company (CU) - Energy Efficient - 777 Trio-E Series.

2.4 HOLLOW METAL FRAMES

A. General: Comply with ANSI/SDI A250.8 and with details indicated for type and profile.

B. Thermal Break Frames: Subject to the same compliance standards and requirements as standard hollow metal frames. Tested for thermal performance in accordance with NFRC 102, and resistance to air infiltration in accordance with NFRC 400. Where indicated provide thermally broken frame profiles available for use in both masonry and drywall construction. Fabricate with 1/16" positive thermal break and integral vinyl weatherstripping.

C. Exterior Frames: Fabricated of hot-dipped zinc coated steel that complies with ASTM A 653/A 653M, Coating Designation A60.

1. Fabricate frames with mitered or coped corners. Profile as indicated on drawings.
2. Frames: Minimum 14 gauge (0.067-inch -1.7-mm) thick steel sheet.
3. Manufacturers Basis of Design:

a. Curries Company (CU) – Thermal Break TQ Series.

D. Interior Frames: Fabricated from cold-rolled steel sheet that complies with ASTM A 1008/A 1008M.

1. Fabricate frames with mitered or coped corners. Profile as indicated on drawings.
2. Manufacturers Basis of Design:

- a. CECO Door Products (C) - BU DU Series.
- b. CECO Door Products (C) - SU Series.
- c. Curries Company (CU) - M Series.

E. Fire rated frames: Fabricate frames in accordance with NFPA 80, listed and labeled by a qualified testing agency, for fire-protection ratings indicated.

F. Hardware Reinforcement: Fabricate according to ANSI/SDI A250.6 Table 4 with reinforcement plates from same material as frames.

2.5 FRAME ANCHORS

A. Jamb Anchors:

1. Masonry Type: Adjustable strap-and-stirrup or T-shaped anchors to suit frame size, formed from A60 metallic coated material, not less than 0.042 inch thick,

- with corrugated or perforated straps not less than 2 inches wide by 10 inches long; or wire anchors not less than 0.177 inch thick.
 - 2. Stud Wall Type: Designed to engage stud and not less than 0.042 inch thick.
 - 3. Compression Type for Drywall Slip-on (Knock-Down) Frames: Adjustable compression anchors.
- B. Floor Anchors: Floor anchors to be provided at each jamb, formed from A60 metallic coated material, not less than 0.042 inches thick.
- C. Mortar Guards: Formed from same material as frames, not less than 0.016 inches thick.

2.6 LOUVERS

- A. Metal Louvers: Unless otherwise indicated provide louvers to meet the following requirements.
- 1. Blade Type: Vision proof inverted V or inverted Y.
 - 2. Metal and Finish: Galvanized steel, 0.040 inch thick, factory primed for paint finish with baked enamel or powder coated finish. Match pre-finished door paint color where applicable.
- B. Louvers for Fire Rated Doors: Metal louvers with fusible link and closing device, listed and labeled for use in doors with fire protection rating of 1-1/2 hours and less.
- 1. Manufacturers: Subject to compliance with requirements, provide louvers to meet rating indicated.
 - 2. Metal and Finish: Galvanized steel, 0.040 inch thick, factory primed for paint finish with baked enamel or powder coated finish. Match pre-finished door paint color where applicable.

2.7 LIGHT OPENINGS AND GLAZING

- A. Stops and Moldings: Provide stops and moldings around glazed lites where indicated. Form corners of stops and moldings with butted or mitered hairline joints at fabricator's shop. Fixed and removable stops to allow multiple glazed lites each to be removed independently. Coordinate frame rabbet widths between fixed and removable stops with the type of glazing and installation indicated.
- B. Moldings for Glazed Lites in Doors and Loose Stops for Glazed Lites in Frames: Minimum 20 gauge thick, fabricated from same material as door face sheet in which they are installed.
- C. Fixed Frame Moldings: Formed integral with hollow metal frames, a minimum of 5/8 inch (16 mm) high unless otherwise indicated. Provide fixed frame moldings and stops on outside of exterior and on secure side of interior doors and frames.
- D. Preformed Metal Frames for Light Openings: Manufacturer's standard frame formed of 0.048-inch-thick, cold rolled steel sheet; with baked enamel or powder coated finish;

and approved for use in doors of fire protection rating indicated. Match pre-finished door paint color where applicable.

2.8 ACCESSORIES

- A. Mullions and Transom Bars: Join to adjacent members by welding or rigid mechanical anchors.
- B. Grout Guards: Formed from same material as frames, not less than 0.016 inches thick.

2.9 FABRICATION

- A. Fabricate hollow metal work to be rigid and free of defects, warp, or buckle. Accurately form metal to required sizes and profiles, with minimum radius for thickness of metal. Where practical, fit and assemble units in manufacturer's plant. When shipping limitations so dictate, frames for large openings are to be fabricated in sections for splicing or splining in the field by others.
- B. Tolerances: Fabricate hollow metal work to tolerances indicated in ANSI/SDI A250.8.
- C. Hollow Metal Doors:
 - 1. Exterior Doors: Provide optional weep-hole openings in bottom of exterior doors to permit moisture to escape where specified.
 - 2. Glazed Lites: Factory cut openings in doors with applied trim or kits to fit. Factory install glazing where indicated.
 - 3. Astragals: Provide overlapping astragals as noted in door hardware sets in Division 08 Section "Door Hardware" on one leaf of pairs of doors where required by NFPA 80 for fire-performance rating or where indicated. Extend minimum 3/4 inch beyond edge of door on which astragal is mounted.
 - 4. Continuous Hinge Reinforcement: Provide welded continuous 12 gauge strap for continuous hinges specified in hardware sets in Division 08 Section "Door Hardware".
- D. Hollow Metal Frames:
 - 1. Shipping Limitations: Where frames are fabricated in sections due to shipping or handling limitations, provide alignment plates or angles at each joint, fabricated of same thickness metal as frames.
 - 2. Welded Frames: Weld flush face joints continuously; grind, fill, dress, and make smooth, flush, and invisible.
 - a. Welded frames are to be provided with two steel spreaders temporarily attached to the bottom of both jambs to serve as a brace during shipping and handling. Spreader bars are for bracing only and are not to be used to size the frame opening.
 - 3. Sidelight and Transom Bar Frames: Provide closed tubular members with no visible face seams or joints, fabricated from same material as door frame. Fasten members at crossings and to jambs by butt welding.

4. High Frequency Hinge Reinforcement: Provide high frequency hinge reinforcements at door openings 48-inches and wider with mortise butt type hinges at top hinge locations.
 5. Continuous Hinge Reinforcement: Provide welded continuous 12 gauge straps for continuous hinges specified in hardware sets in Division 08 Section "Door Hardware".
 6. Provide countersunk, flat- or oval-head exposed screws and bolts for exposed fasteners unless otherwise indicated for removable stops, provide security screws at exterior locations.
 7. Mortar Guards: Provide guard boxes at back of hardware mortises in frames at all hinges and strike preps regardless of grouting requirements.
 8. Floor Anchors: Weld anchors to bottom of jambs and mullions with at least four spot welds per anchor.
 9. Jamb Anchors: Provide number and spacing of anchors as follows:
 - a. Masonry Type: Locate anchors not more than 18 inches from top and bottom of frame. Space anchors not more than 32 inches o.c. and as follows:
 - 1) Two anchors per jamb up to 60 inches high.
 - 2) Three anchors per jamb from 60 to 90 inches high.
 - 3) Four anchors per jamb from 90 to 120 inches high.
 - 4) Four anchors per jamb plus 1 additional anchor per jamb for each 24 inches or fraction thereof above 120 inches high.
 - b. Stud Wall Type: Locate anchors not more than 18 inches from top and bottom of frame. Space anchors not more than 32 inches o.c. and as follows:
 - 1) Three anchors per jamb up to 60 inches high.
 - 2) Four anchors per jamb from 60 to 90 inches high.
 - 3) Five anchors per jamb from 90 to 96 inches high.
 - 4) Five anchors per jamb plus 1 additional anchor per jamb for each 24 inches or fraction thereof above 96 inches high.
 - 5) Two anchors per head for frames above 42 inches wide and mounted in metal stud partitions.
 10. Door Silencers: Except on weatherstripped or gasketed doors, drill stops to receive door silencers. Silencers to be supplied by frame manufacturer regardless if specified in Division 08 Section "Door Hardware".
 11. Bituminous Coating: Where frames are fully grouted with an approved Portland Cement based grout or mortar, coat inside of frame throat with a water based bituminous or asphaltic emulsion coating to a minimum thickness of 3 mils DFT, tested in accordance with UL 10C and applied to the frame under a 3rd party independent follow-up service procedure.
- E. Hardware Preparation: Factory prepare hollow metal work to receive template mortised hardware; include cutouts, reinforcement, mortising, drilling, and tapping according to the Door Hardware Schedule and templates furnished as specified in Division 08 Section "Door Hardware."
1. Locate hardware as indicated, or if not indicated, according to ANSI/SDI A250.8.

2. Reinforce doors and frames to receive non-template, mortised and surface mounted door hardware.
3. Comply with applicable requirements in ANSI/SDI A250.6 and ANSI/DHI A115 Series specifications for preparation of hollow metal work for hardware.
4. Coordinate locations of conduit and wiring boxes for electrical connections with Division 26 Sections.

2.10 STEEL FINISHES

- A. Prime Finishes: Doors and frames to be cleaned, and chemically treated to insure maximum finish paint adhesion. Surfaces of the door and frame exposed to view to receive a factory applied coat of rust inhibiting shop primer.
 1. Shop Primer: Manufacturer's standard, fast-curing, lead and chromate free primer complying with ANSI/SDI A250.10 acceptance criteria; recommended by primer manufacturer for substrate; and compatible with substrate and field-applied coatings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. General Contractor to verify the accuracy of dimensions given to the steel door and frame manufacturer for existing openings or existing frames (strike height, hinge spacing, hinge back set, etc.).
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Remove welded in shipping spreaders installed at factory. Restore exposed finish by grinding, filling, and dressing, as required to make repaired area smooth, flush, and invisible on exposed faces.
- B. Prior to installation, adjust and securely brace welded hollow metal frames for square, level, twist, and plumb condition.
- C. Tolerances shall comply with SDI-117 "Manufacturing Tolerances Standard Steel Doors and Frames."
- D. Drill and tap doors and frames to receive non-template, mortised, and surface-mounted door hardware.

3.3 INSTALLATION

- A. General: Install hollow metal work plumb, rigid, properly aligned, and securely fastened in place; comply with Drawings and manufacturer's written instructions.
- B. Hollow Metal Frames: Install hollow metal frames of size and profile indicated. Comply with ANSI/SDI A250.11 and NFPA 80 at fire rated openings.
 - 1. Set frames accurately in position, plumbed, leveled, aligned, and braced securely until permanent anchors are set. After wall construction is complete and frames properly set and secured, remove temporary braces, leaving surfaces smooth and undamaged. Shim as necessary to comply with installation tolerances.
 - 2. Floor Anchors: Provide floor anchors for each jamb and mullion that extends to floor, and secure with post-installed expansion anchors.
 - 3. Masonry Walls: Coordinate installation of frames to allow for solidly filling space between frames and masonry with mortar.
 - 4. Grout Requirements: Do not grout head of frames unless reinforcing has been installed in head of frame. Do not grout vertical or horizontal closed mullion members.
- C. Hollow Metal Doors: Fit hollow metal doors accurately in frames, within clearances specified below. Shim as necessary.
 - 1. Non-Fire-Rated Standard Steel Doors:
 - a. Jambs and Head: 1/8 inch plus or minus 1/16 inch.
 - b. Between Edges of Pairs of Doors: 1/8 inch plus or minus 1/16 inch.
 - c. Between Bottom of Door and Top of Threshold: Maximum 3/8 inch.
 - d. Between Bottom of Door and Top of Finish Floor (No Threshold): Maximum 3/4 inch.
 - 2. Fire-Rated Doors: Install doors with clearances according to NFPA 80.
- D. Field Glazing: Comply with installation requirements in Division 08 Section "Glazing" and with hollow metal manufacturer's written instructions.

3.4 ADJUSTING AND CLEANING

- A. Final Adjustments: Check and readjust operating hardware items immediately before final inspection. Leave work in complete and proper operating condition. Remove and replace defective work, including hollow metal work that is warped, bowed, or otherwise unacceptable.
- B. Remove grout and other bonding material from hollow metal work immediately after installation.
- C. Prime-Coat and Painted Finish Touchup: Immediately after erection, sand smooth rusted or damaged areas of prime coat, or painted finishes, and apply touchup of compatible air drying, rust-inhibitive primer, zinc rich primer (exterior and galvanized openings) or finish paint.

3.5 FIELD QUALITY CONTROL

- A. Field Inspection (Punch Report): Reference Division 01 Sections “Closeout Procedures”. Produce project punch report for each installed door opening indicating compliance with approved submittals and verification hardware is properly installed, operating and adjusted. Include list of items to be completed and corrected, indicating the reasons or deficiencies causing the Work to be incomplete or rejected.
 - 1. Organization of List: Include separate Door Opening and Deficiencies and Corrective Action Lists organized by Mark, Opening Remarks and Comments, and related Opening Images and Video Recordings.

END OF SECTION 081113

DIVISION 8 - OPENINGS
Section 08 31 13 - Access Doors

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Provide labor, materials, equipment and incidentals required for the completion of the work shown on the drawings and/or specified in this section.

1.02 SUBMITTALS

- A. Product Data
- B. Schedule: Complete schedule, including types, general locations, sizes, construction details, latching or locking provisions, and other data pertinent to installation.
- C. Keying Schedule
- D. Written verification of key delivery to Owner's representative.

1.03 QUALITY ASSURANCE

- A. Fire-Rated Access Doors: Units complying with NFPA 80 that are identical to access door and frame assemblies tested for fire-test-response characteristics per the following test method and that are labeled and listed by UL, Warnock Hersey or another certified testing and inspecting agency acceptable to authorities having jurisdiction:
 - 1. NFPA 252 for vertical access doors.
 - 2. ASTM E 119 for horizontal access doors and frames.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

- A. Floor Access Door
 - 1. Karp Associates, Inc.; KFD-SD
 - 2. Milcor; Products to match "A" above
- B. Walls, and Gypsum Board Ceiling/Soffit – Fire Rated; flush type with 1" exposed one piece frame, concealed anchorage, concealed heavy duty piano hinge, self-closing door with springs, 20 gage welded pan steel door with 2" nominal fire rated mineral fiber insulation core and 16 gage steel frame. Testing agency ratings: Wall 1-1/2 hour and Ceiling 3 hour rated.
 - 1. Karp Associates, Inc.; KRP-150 FR
 - 2. Larsens Mfg. Co.; L-FRAP
 - 3. Milcor; UFR
 - 4. J.L. Industries, FD
- C. Finish: Factory primed for field paint.

- D. Operation:
 - 1. Manufacturers standard latching with tamperproof spanner head operation.
- E. Sizes:
 - 1. Walls: Sizes access door 24"x48" verify in field.

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Coordinate location of access doors in field with Architect to avoid conflict with aesthetics of architectural features.
- B. Install product in strict accordance with manufacturer's instructions and approved submittals. Locate units level, plumb, and in proper alignment with adjacent work.
 - 1. Test units for proper function and adjust until proper operation is achieved.
 - 2. Repair finishes damaged during installation.
 - 3. Restore finishes so no evidence remains of corrective work.

3.02 ADJUSTING AND CLEANING

- A. Adjust access panels to operate easily without binding. Verify that integral locking/latching devices operate properly.
- B. Remove panels and frames that are warped, bowed, or otherwise damaged, and replace with new components.
- C. On completion of access panel installation, clean interior and exterior surfaces as recommended by manufacturer.

END 08 31 13

DIVISION 9 – FINISHES
Section 09 84 33 - Acoustical Treatment

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Provide labor, materials, equipment and incidentals required for the completion of the work shown on the drawings and/or specified under this section.

1.02 SUBMITTALS

- A. Product data
- B. Fabric samples

PART 2 - PRODUCTS

2.01 ACOUSTICAL WALL PANELS

- A. Acoustical panels shall be as per:
 - 1. Conwed; Rebound
 - 2. Quiet Concepts; High Impact Quiet Panels
 - 3. ESSI Acoustical Products Co.; W-104 Series
 - 4. Lamvin Inc.; Tackable High Impact Acoustical Panels
- B. Panels shall be dimensionally stable fiberglass, non-combustible acoustical core 7 lbs. density, laminated with 1/8" high impact molded glass fiber board substrate faced with fabric. Panels shall be minimum 2-1/8" thick with an NRC of 1.00 minimum per ASTM C423-81a.
- C. Fabric to be manufacturers standard comparable to Guilford FR701, colors shall be as selected by Architect.
- D. Wall/Ceiling panels shall be sizes as indicated. Attachment shall be by use of concealed clip system. Vertical edges butt tight.
- E. Panels shall have a composite flame-spread rating of 25 or less and a typical composite smoke-developed rating according to ASTM E-84 test "Surface Burning Characteristics of Building Materials" to meet Class A rating for entire assembly as substantiated by independent laboratory tests.
- F. Panels shall be square-edged, with chemically hardened edges and with fully finished fabric edges and centers. Provide internal wood edges at horizontal edges.

2.02 ACOUSTICAL SEALANT

- A. Gun grade, permanently resilient, non-hardening, non-bleeding sealant.
 - 1. USG, Acoustical Sealant
 - 2. Tremco, Acoustical Sealant

2.03 ACOUSTICAL INSULATION

- A. Insulation to be 1/2" unfaced fiberglass, 10 PCF.
 - 1. USG
 - 2. Goldbond

3. Flintkote

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Acoustic wall panels shall be concealed mounting installation as per manufacturer's requirements.
- B. Damaged, soiled, or discolored wall panels installed under work of this section shall be cleaned or removed and replaced at no additional cost to the owner.

END 09 84 33

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REFLECTED CEILING PLAN KEY NOTES

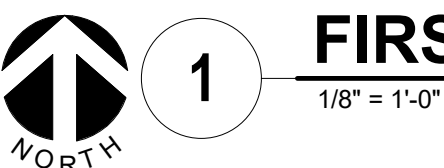
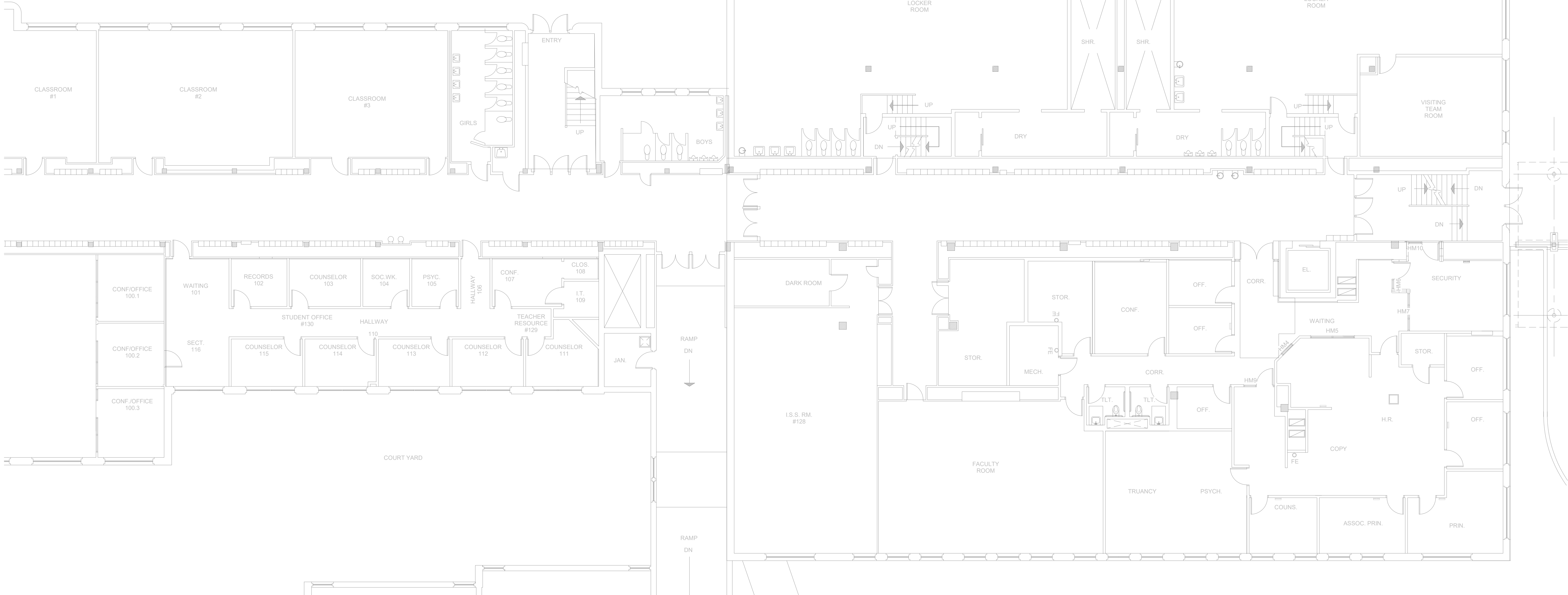
- RCP1 INSTALL NEW ACOUSTICAL CEILING SYSTEM WITH 2x2 ACOUSTICAL CEILING TILES AND INTERMEDIATE GRID.
- RCP2 REINSTALL SALVAGED CEILING SYSTEM AND LIGHTING.
- RCP3 PAINT EXPOSED **EXISTING** STRUCTURE, ELECTRICAL CONDUITS, MECHANICAL DUCTS, ETC., MATCH EXISTING WALL SURFACE.
- RCP4 REINSTALL CEILING SYSTEM AS REQUIRED AROUND AREAS OF NEW WORK. CEILING SYSTEM TO MATCH EXISTING.

GENERAL NOTES

1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE NEW WORK.
3. THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION.

RCP LEGEND

- 2 x 2 SUSPENDED CEILING GRID WITH ACOUSTICAL CEILING TILE
- 1 x 1 SUSPENDED CEILING GRID WITH ACOUSTICAL CEILING TILE
- INDUSTRIAL LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
- TROFFER - REFER TO ELECTRICAL DRAWINGS.
- WALL SCONCE - REFER TO ELECTRICAL DRAWINGS.
- SINGLE FACE EXIT SIGN - REFER TO ELECTRICAL DRAWINGS.
- DOUBLE FACE EXIT SIGN - REFER TO ELECTRICAL DRAWINGS.
- EMERGENCY EGRESS LIGHT FIXTURE- REFER TO ELECTRICAL DRAWINGS.
- OCCUPANCY SENSOR
- SUPPLY AIR GRILLE - REFER TO MECHANICAL DRAWINGS.
- RETURN AIR GRILLE - REFER TO MECHANICAL DRAWINGS



FIRST FLOOR REFLECTED CEILING PLAN - AREA B

1/8" = 1'-0"



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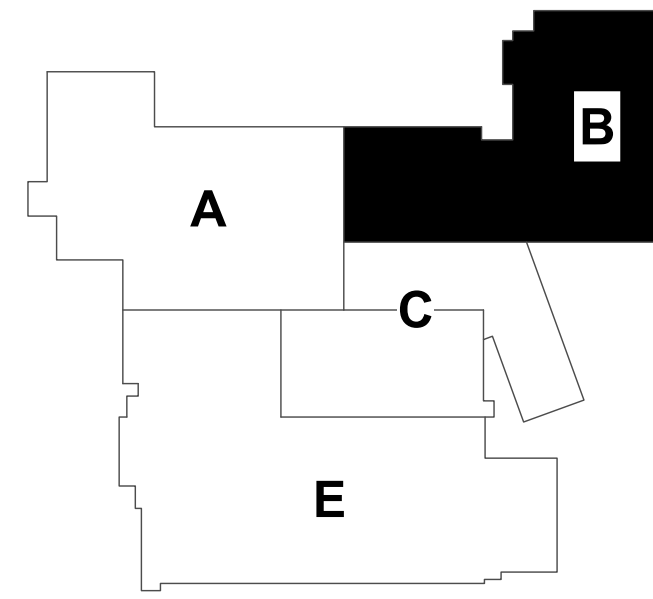
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KEY PLAN



KEYPLAN

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REVISIONS

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Checked	Checker
Approved	Approver

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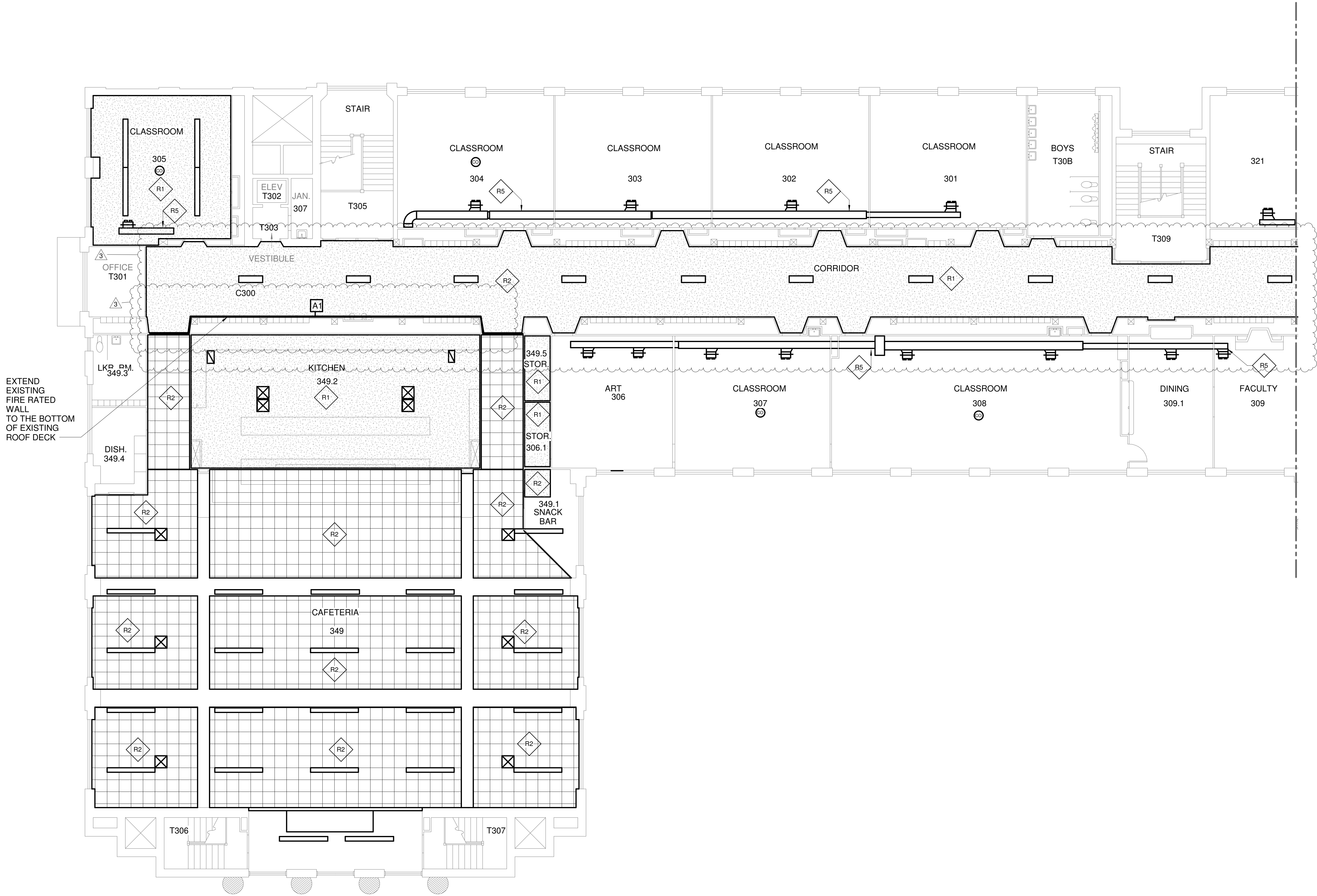
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SCALE

Scale: As Indicated

SHEET NUMBER

A2.01B



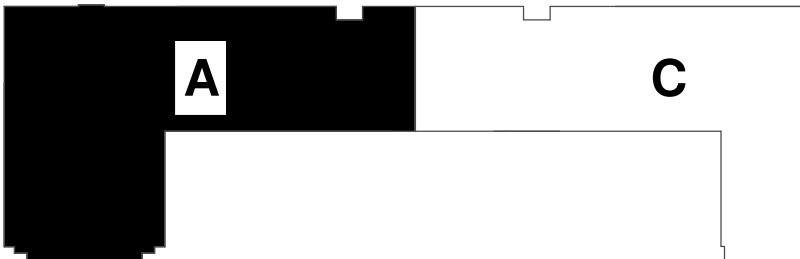
- REFLECTED CEILING PLAN KEY NOTES**
- R1 - AFTER NEW MECHANICAL WORK HAS BEEN PERFORMED, PATCH, PREP AND PAINT GYPSUM BOARD/PLASTER TO MATCH COLOR, THICKNESS, AND TEXTURE OF ADJACENT SURFACE.
- R2 - AFTER NEW MECHANICAL WORK HAS BEEN PERFORMED, INSTALL NEW 2x2 ACOUSTIC CEILING TILE SYSTEM.
- R3 - AFTER NEW MECHANICAL WORK HAS BEEN PERFORMED, INSTALL NEW 2x2 CEILING TILES TO MATCH EXISTING IN COLOR, SIZE, AND TEXTURE.
- R4 - EXPOSED PIPING TO BE PAINTED - REFER TO MECHANICAL DRAWINGS
- R5 - EXPOSED MECHANICAL DUCTWORK TO BE PAINTED - REFER TO MECHANICAL DRAWINGS

LEGEND	
	2X2 SUSPENDED ACT CEILING SYSTEM
	GYPSUM BOARD CEILING SYSTEM

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REVISIONS

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1	02-24-2022	Addendum # 4
3	03-10-2022	Addendum # 9

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Job Number	21011.20
Drawn	MI
Checked	MS
Approved	Approver:

THIRD FLOOR REFLECTED CEILING PLAN - AREA A

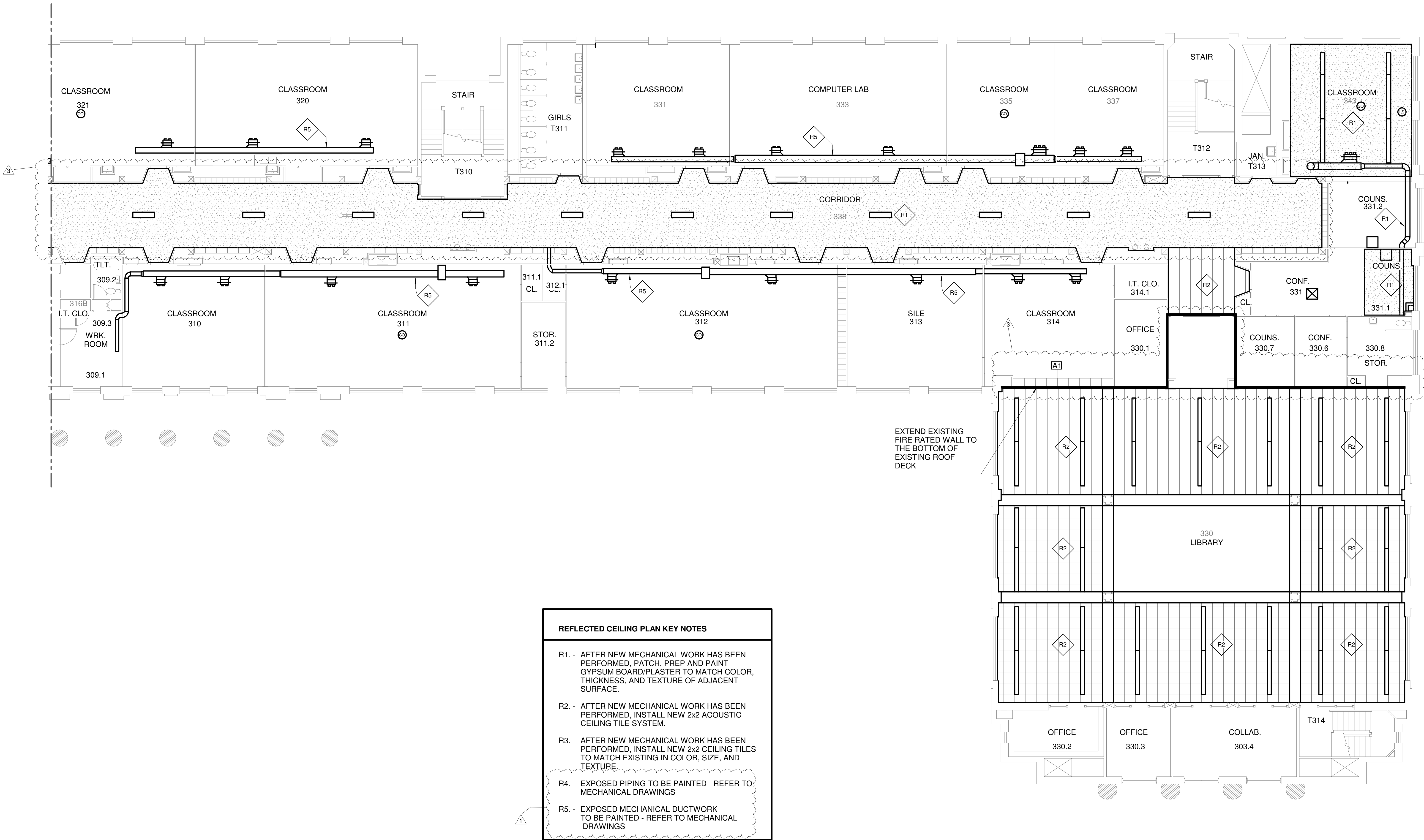
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1

THIRD FLOOR REFLECTED CEILING PLAN - AREA C

1/8" = 1'-0"

LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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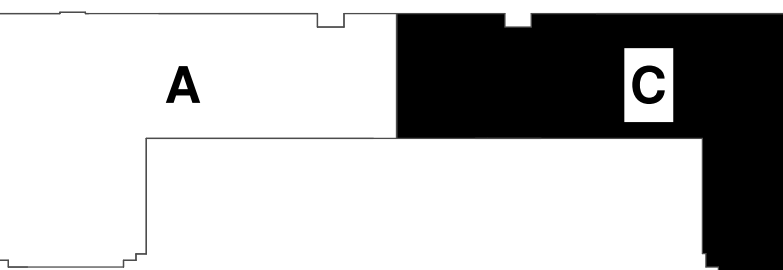
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No.	Date	Revision / Issue
1	02-24-2022	Addendum # 4
3	03-10-2022	Addendum # 9

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Drawn **MI**

Checked **MS**

Approved **Approver:**

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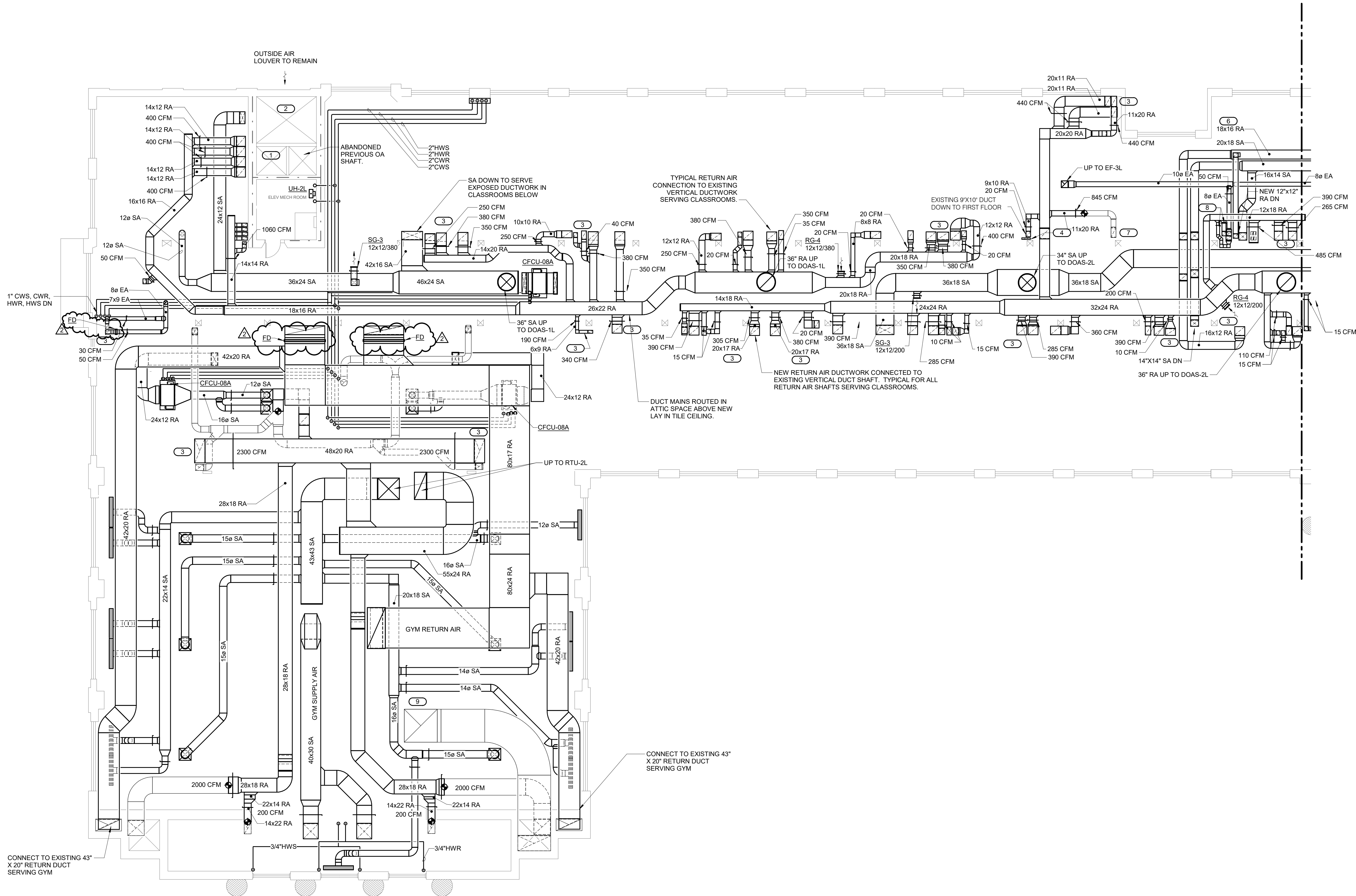
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REFLECTED
CEILING
PLAN - AREA C**

SCALE

Scale: **As Indicated**

SHEET NUMBER

A2.04C



1 ATTIC - MECHANICAL - AREA A
1/8" = 1'-0"

KEYNOTES: (#)

1. MEDIUM SIZE SHAFT WAS PREVIOUSLY USED AS OUTSIDE AIR FOR SUPPLY FAN S2 SERVING POOL AND LOCKER ROOMS. EXISTING DRAWINGS NOTE THAT IT INCLUDED RECIRCULATION DAMPERS THAT OPENED TO ATTIC AIR. CLOSE THESE DAMPERS AND PERMANENTLY SEAL THEM SHUT. SHAFT IS NOW USED AS OUTSIDE AIR FOR POOL UNIT DOAS-6L.
2. LARGE SHAFT WAS PREVIOUSLY USED AS OUTSIDE AIR FOR GENERAL BUILDING VENTILATION. EXISTING DRAWINGS NOTE RECIRCULATION DAMPERS AT THE TOP OF THE SHAFT THAT OPEN TO THE ATTIC AIR. CLOSE THESE DAMPERS AND PERMANENTLY SEAL THEM SHUT. SHAFT IS NOW USED AS OUTSIDE AIR FOR LOCKER ROOM UNIT DOAS-5L.
3. CONNECT NEW RA DUCT TO THE TOP OF EXISTING VERTICAL DUCTWORK. MATCH SIZE UNLESS NOTED OTHERWISE.
4. CAP AND ABANDON EXISTING 17" X 3" DUCT.
5. CAP AND ABANDON EXISTING 10" X 7" DUCT.
6. SERVING ASSOC. PR. 112.2 AND COPY 112A.
7. EXISTING 20"x10" DUCT DOWN TO LOWER LEVEL RESTROOM/STORAGE ROOM.
8. CONNECT NEW RA DUCT TO EXISTING LOCKER EXHAUST DUCTS. BALANCE TO 20 CFM.
9. REVISE DUCTWORK TO CONNECT WITH NEW EXHAUST HOOD.



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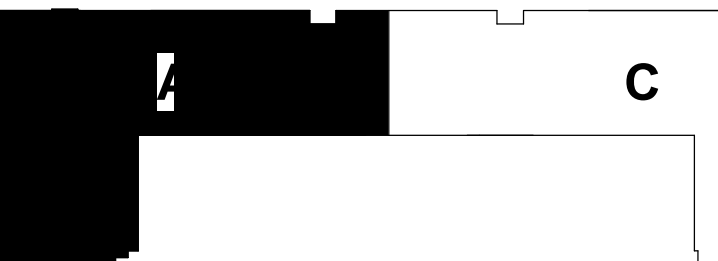
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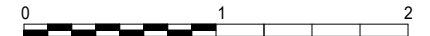


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REVISIONS

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1	02/15/2022	Addendum 3
2	03/10/2022	Addendum 9

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Checked	OEUMAZ
Approved	ERIBUS

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**ATTIC -
MECHANICAL
- AREA A**

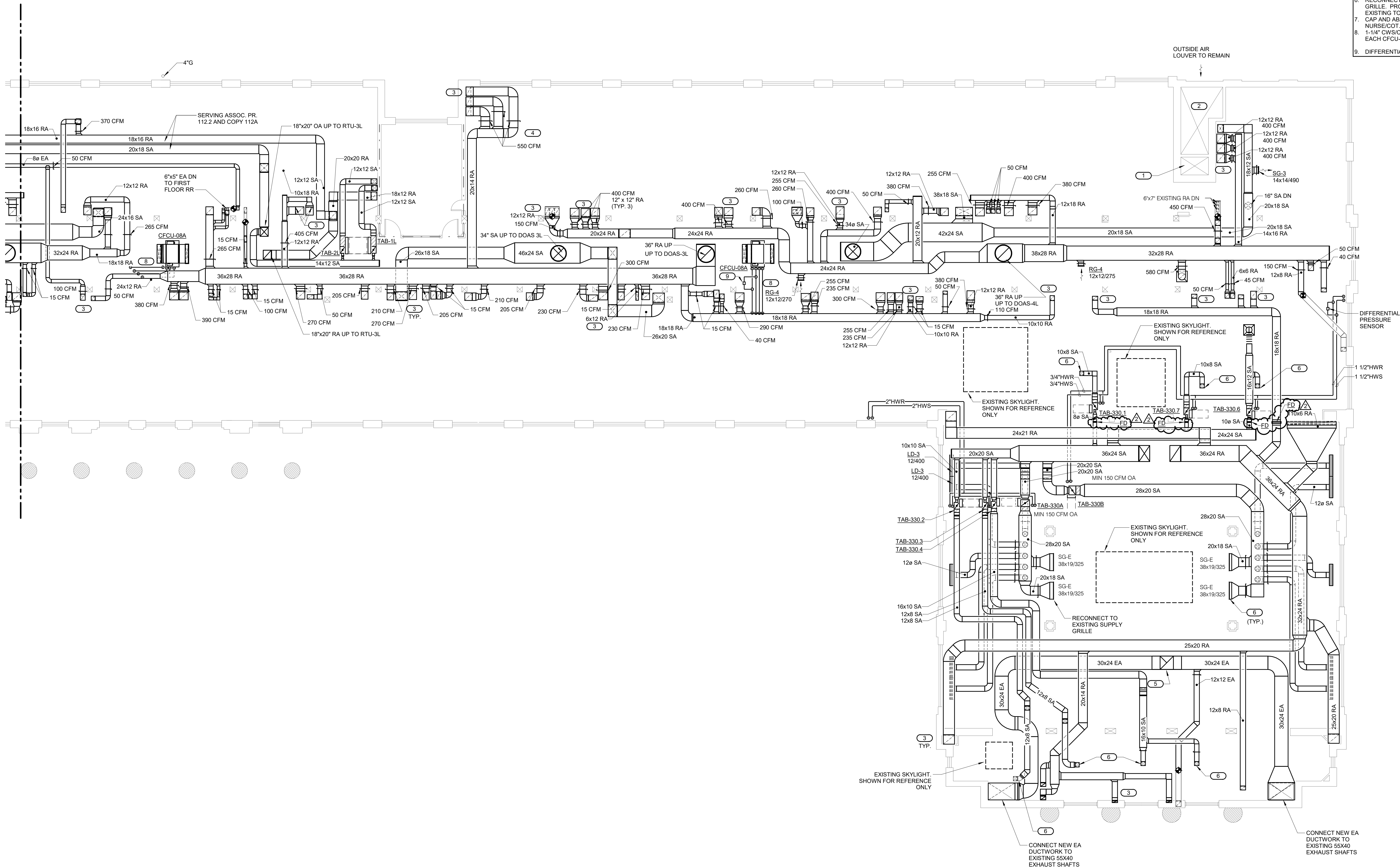
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SHEET NUMBER

M206A

1 ATTIC - MECHANICAL - AREA C
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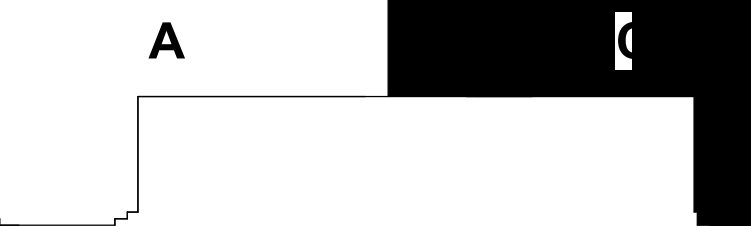


- KEYNOTES: (#)
1. SMALL SHAFT WAS PREVIOUSLY USED AS OUTSIDE AIR FOR AUDITORIUM. EXISTING DRAWINGS NOTE THAT IT INCLUDED RECIRCULATION DAMPERS THAT OPENED TO ATTIC AIR. CLOSE THESE DAMPERS AND PERMANENTLY SEAL THEM SHUT. SHAFT IS NOW USED AS EXHAUST AIR FOR WRESTLING AND WEIGHT ROOMS UNIT DOAS-8L.
 2. LARGE SHAFT WAS PREVIOUSLY USED AS OUTSIDE AIR FOR GENERAL BUILDING VENTILATION. EXISTING DRAWINGS NOTE RECIRCULATION DAMPERS AT THE TOP OF THE SHAFT THAT OPEN TO THE ATTIC AIR. CLOSE THESE DAMPERS AND PERMANENTLY SEAL THEM SHUT. SHAFT IS NOW USED AS OUTSIDE AIR FOR DOAS-7L AND DOAS-8L.
 3. CONNECT NEW RA DUCT TO THE TOP OF EXISTING VERTICAL DUCTWORK. MATCH SIZE UNLESS NOTED OTHERWISE.
 4. BALANCE EACH DAMPER TO 400 CFM.
 5. 30"x24" EA UP TO 30"x30" EA CONNECTING TO EF-1L. REDUCE DUCTWORK SIZE AS NECESSARY TO UTILIZE EXISTING 30X30 ROOF OPENING.
 6. RECONNECT TO EXISTING SUPPLY DUCT AND GRILLE. PROVIDE NEW INSULATION FOR ANY EXISTING TO REMAIN SUPPLY AIR DUCTWORK. CAP AND ABANDON 10"x11" DUCT SERVING RM NURSE/COT.
 7. 1-1/4" CWS/CWR AND 3/4" HWS/HWR SERVING EACH CFCU-08A.
 8. DIFFERENTIAL PRESSURE SENSOR



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REVISIONS		
No.	Date	Revision / Issue
1	02/19/2022	Addendum 3
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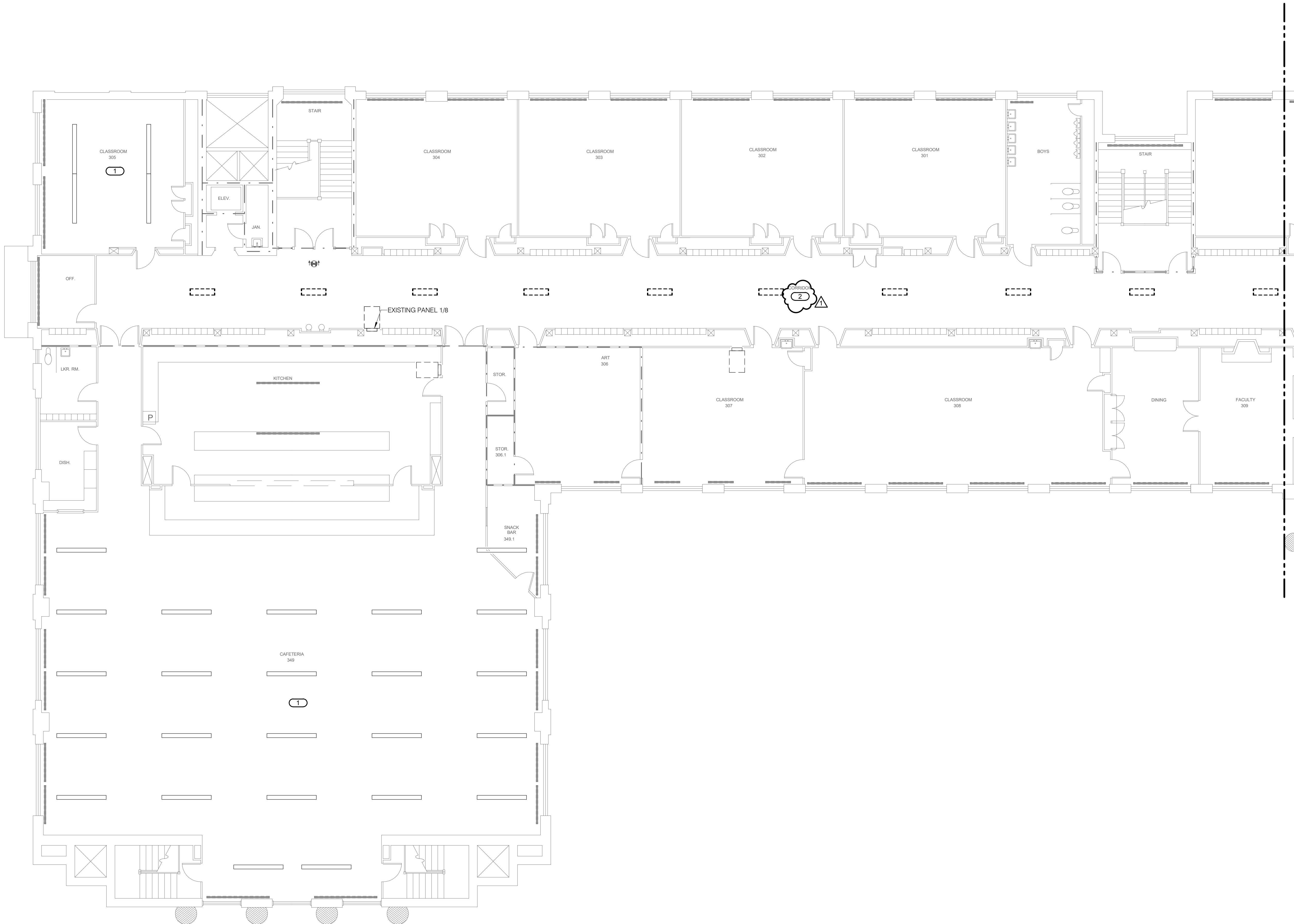
SHEET INFORMATION	
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Job Number	21002885.02
Drawn	ZACMAN
Checked	OEUMAZ
Approved	ERIBUS

SHEET TITLE
ATTIC - MECHANICAL - AREA C

SCALE
As Indicated

SHEET NUMBER

M206C



1

THIRD FLOOR DEMOLITION - ELECTRICAL - AREA A

1/8" = 1'-0"

KEYNOTES: (#)

1. DISCONNECT AND REMOVE LIGHTING IN SPACE. SALVAGE FIXTURES FOR REINSTALLATION IN NEW CEILING. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR RECONNECTION TO FIXTURES.
2. DISCONNECT AND REMOVE LIGHTING IN SPACE. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR RECONNECTION TO NEW FIXTURES.



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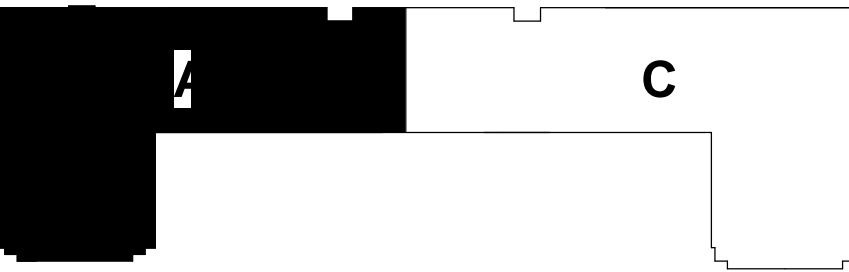
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Checked	BRILEA
Approved	JERVET

SHEET TITLE

THIRD FLOOR DEMOLITION ELECTRICAL - AREA A

SCALE

Scale: As indicated

SHEET NUMBER

E105A

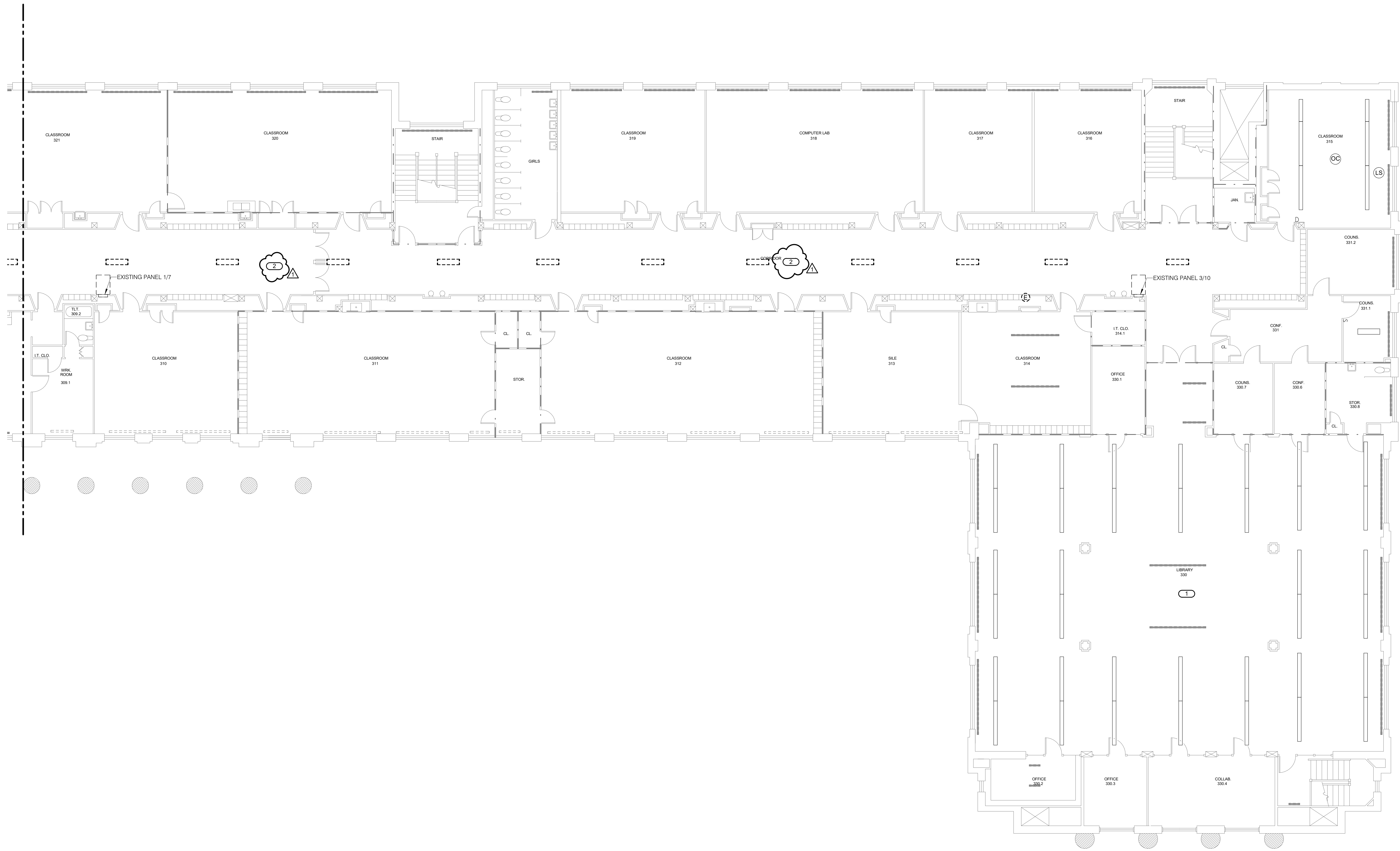
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1

THIRD FLOOR DEMOLITION - ELECTRICAL - AREA C

1/8" = 1'-0"



KEYNOTES: (#)

1. DISCONNECT AND REMOVE LIGHTING IN SPACE. SALVAGE FIXTURES FOR REINSTALLATION IN NEW CEILING. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR RECONNECTION TO FIXTURES.
2. DISCONNECT AND REMOVE LIGHTING IN SPACE. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR RECONNECTION TO NEW FIXTURES.



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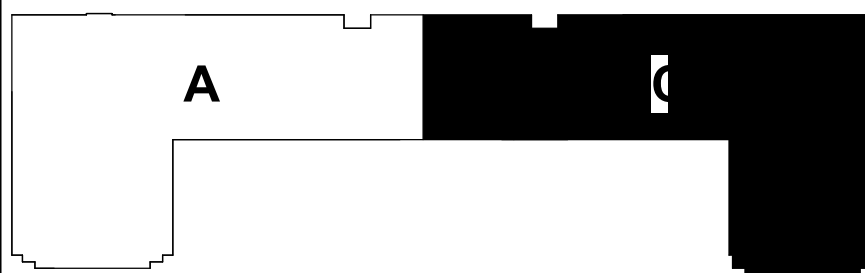
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Checked	BRILEA
Approved	JERVET

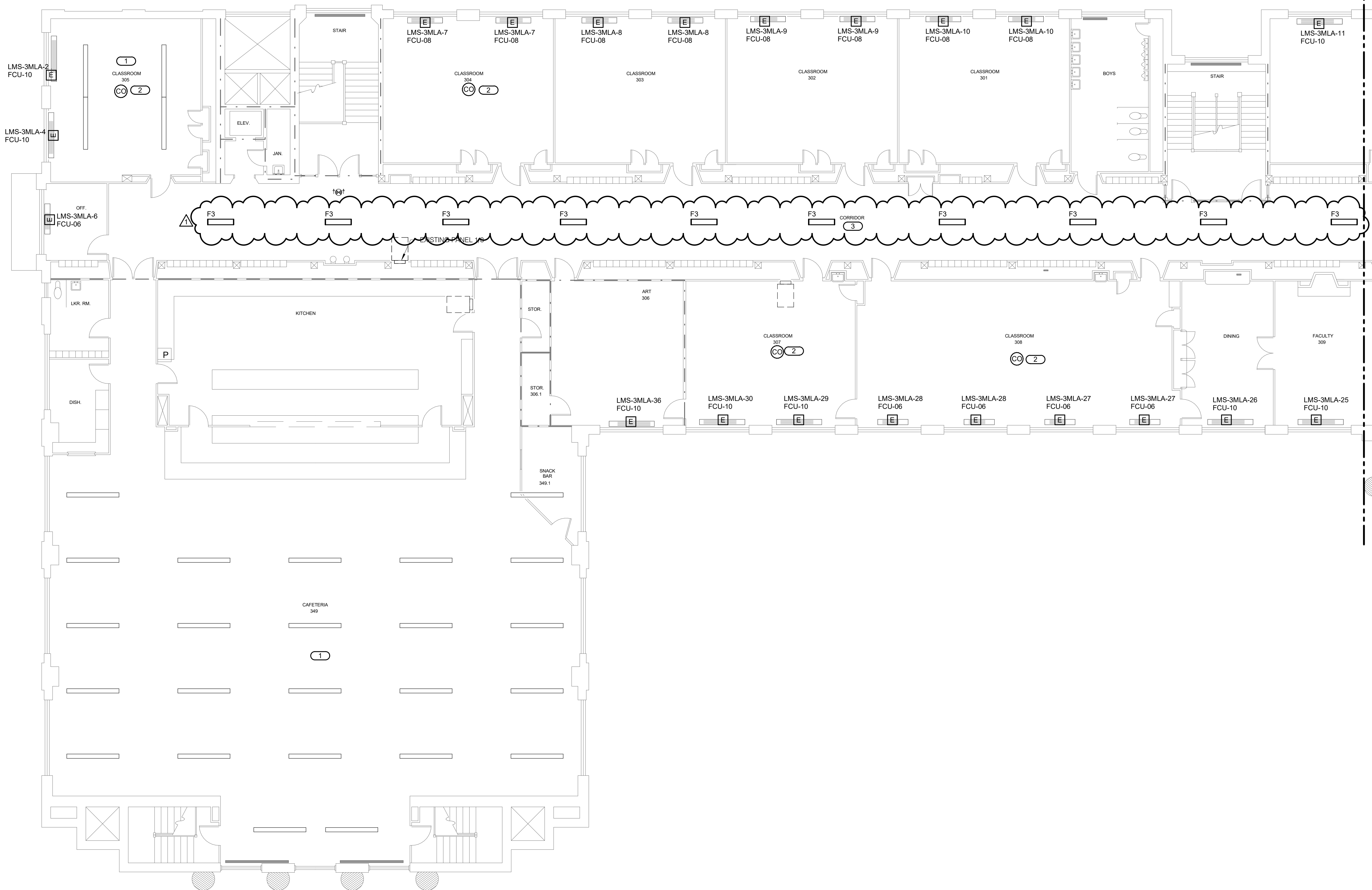
SHEET TITLE
**THIRD FLOOR
DEMOLITION**
**ELECTRICAL
- AREA C**

SCALE
Scale: **As Indicated**

SHEET NUMBER

E105C

21002885.02 3/10/2022 8:17:20 AM ESSER HVAC Improvements - Lincoln Middle School



1

THIRD FLOOR - ELECTRICAL - AREA A

1/8" = 1'-0"

SHEET NOTES:

1. BRANCH CIRCUITS TO FOLLOW MECHANICAL PIPING. UTILIZE ATTIC SPACE TO REACH EQUIPMENT.
2. REFER TO E205C FOR LOCATION OF PANEL 'LMS-3MLA'.
3. DISCONNECTS AND STARTERS ARE FURNISHED BY OTHERS UNLESS NOTED OTHERWISE.

KEYNOTES: (B)

1. REINSTALL FIXTURES SALVAGED FROM DEMOLITION ON NEW CEILING. UTILIZE CIRCUIT SALVAGED FROM DEMOLITION TO FEED FIXTURES.
2. CONNECT TO THE EXISTING FIRE ALARM DETECTION CIRCUIT AVAILABLE ON THIS FLOOR AS RECOMMENDED BY THE FIRE ALARM MANUFACTURER.
3. UTILIZE LIGHTING CIRCUIT SALVAGED FROM DEMOLITION TO FEED NEW FIXTURES.



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ESSER HVAC Improvements - Lincoln Middle School

1500 Charles St, Rockford, IL 61104

ROCKFORD PUBLIC SCHOOL DISTRICT 205

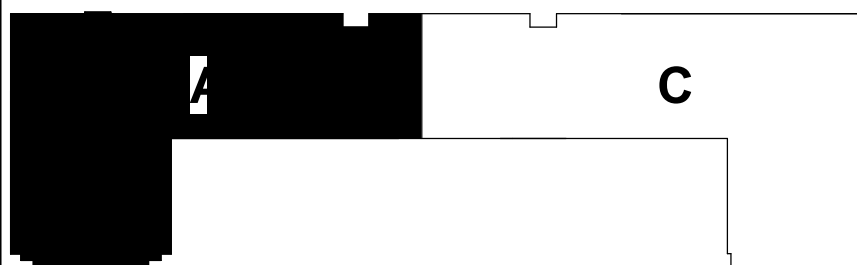
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REFERENCE SCALE IN INCHES
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REVISIONS

No.	Date	Revision / Issue
1	03/10/2022	Addendum 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	JANUARY 28, 2022
Job Number	21002885.02
Drawn	JERVET
Checked	BRILEA
Approved	JERVET

SHEET TITLE

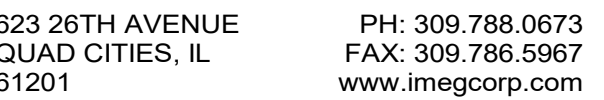
THIRD FLOOR
ELECTRICAL
- AREA A

SCALE

Scale: As Indicated

SHEET NUMBER

E205A



(DESC) DOOR:		DISTRIBUTION:	BEAMWIDTH:	(L/L) LENS/LOUVER:	K19 - KSH19 156" ACRYLIC
FA - FLAT ALUMINUM		I - ANSI/IES TYPE 2 DISTRIBUTION	NSP - VERY NARROW SPOT	A - 125" ACRYLIC	M - MATTE DIFFUSE CLEAR
FS - FLAT STEEL		II - ANSI/IES TYPE 3 DISTRIBUTION	SP - SPOT	B - BAFFLE/FLUOR	N - NONE
RA - RECESSED ALUMINUM		III - ANSI/IES TYPE 4 DISTRIBUTION	MD - MEDIUM	C - CLEAR ALZAK	P - POLYCARBONATE
RS - RECESSED STEEL		V - ANSI/IES TYPE 5 DISTRIBUTION	WD - WIDE	F - FROSTED ACRYLIC	R - HIGH IMPACT DR ACRYLIC
FINISH:			VWD - VERY WIDE	G - TEMPERED GLASS	SS - SEMI-SPECULAR CLEAR
PAF - PAINT AFTER FABRICATION			WW - WALL WASH	K - KSH12 125" ACRYLIC	O - OTHER (SEE DESCRIPTION)
CPSA - COLOR-FINISH SELECTION BY ARCHITECT					[DESIGN SPECIFIC BLANKS]
(MTO) MOUNTING:		RE - RECESSED		(WATT) PER:	FIX - FIXTURE, FT - FOOT, LAMP
CL - CEILING SURFACE		SP - SUSPENDED		(TYPE) LED:	RGB - COLOR CHANGING LED
CY - COWL SURFACE		UC - UNDER CABINET		LED - LIGHT EMITTING DIODE	RGBW - COLOR CHANGING + WHITE
FR - FLANGED RECESSED		WL - WALL		TLED - TUBULAR LED LAMP	RGBA - COLOR CHANGING + AMBER
P - PERIMETER		O - OTHER (SEE DESCRIPTION)		OLED - ORGANIC LED	RLED - RETROFIT LED
PL - POLE				DLED - DYNAMIC TUNABLE LED	WLED - WARM DIM LED

CATALOG NUMBER SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBER ONLY. THE COMPLETE DESCRIPTION AND THE SPECIFICATION SHALL BE COORDINATED WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.

REFER TO SPECIFICATION SECTIONS LIGHTING 26 51 00 (AND EMERGENCY LIGHTING EQUIPMENT 26 52 00) FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
INTERIOR CORRELATED COLOR TEMPERATURE 4000/4100K, COLOR RENDERING INDEX (CRI) AT OR ABOVE 80, UNLESS NOTED OTHERWISE.

ITEM	VOLTAGE	MAINS RATING / XFMR RATING	FEEDER			CONNECTED LOAD	ESTIMATED DEMAND LOAD	CONNECTED CURRENT	ESTIMATED DEMAND CURRENT	ESTIMATED ISC	SCCR	LEVEL	LOCATION	COMMENTS
			FROM	UPSTREAM OPD OR TERMINATION	WIRE AND RACEWAY									
DISTRIBUTION PANEL(S)														
LMS-3MHA	480/277V, 3Ø4W	600 A MCB	LMS-SBHA-DIST2	600 A	(2) SETS OF 4#350 & 1#1 EGC EACH IN 3" C.	277 97 KVA	277 97 KVA	334.3 A	334.3 A	17.02 KA	22 KA	LEVEL 04		
LMS-3MHB	480/277V, 3Ø4W	600 A MCB	LMS-SBHA-DIST2	600 A	(2) SETS OF 4#350 & 1#1 EGC EACH IN 3" C.	216 24 KVA	216 24 KVA	260.1 A	260.1 A	17.09 KA	22 KA	LEVEL 04		
PANEL BOARD(S)														
LMS-BMHA	480/277V, 3Ø4W	125 A MLO	LMS-SBHA-DIST2	125 A CB	4#1 & 1#6 EGC IN 1 1/2" C.	91.45 kVA	56.53 kVA	110 A	68 A	6.77 KA	14 KA	LEVEL 00		
LMS-LMHA	480/277V, 3Ø4W	125 A MLO	LMS-SBHA-DIST2	125 A CB	4#1 & 1#6 EGC IN 1 1/2" C.	52.88 kVA	52.88 kVA	63.6 A	63.6 A	17.74 KA	22 KA	LEVEL 01		
LMS-1MLA	120/2Ø8V, 3Ø4W	300 A MLO	LMS-SBLA-SECT 2	300 A CB	4#350 & 1#4 EGC IN 2 1/2" C.	59.31 kVA	59.31 kVA	164.6 A	164.6 A	0.00 KA	22 KA	LEVEL 01		
LMS-2MLA	120/2Ø8V, 3Ø4W	150 A MLO	LMS-SBLA-SECT 2	150 A CB	4#110 & 1#6 EGC IN 1 1/2" C.	28.62 kVA	28.62 kVA	79.5 A	79.5 A	0.00 KA	22 KA	LEVEL 01		
LMS-3MLA	120/2Ø8V, 3Ø4W	200 A MCB	LMS-SBLA-SECT 2	200 A CB	4#80 & 1#6 EGC IN 2" C.	45.19 kVA	44.66 kVA	125.4 A	124 A	0.00 KA	22 KA	LEVEL 04		
LMS-4MLA	120/2Ø8V, 3Ø4W	150 A MLO	LMS-SBLA-SECT 2	150 A CB	4#110 & 1#6 EGC IN 1 1/2" C.	29.28 kVA	29.28 kVA	81.3 A	81.3 A	0.00 KA	22 KA	LEVEL 01		
SWITCHBOARD(S)														
LMS-SBHA	480/277V, 3Ø4W	2,500 A LSI	MAIN-SWITCH	2,500 A FU	(8) SETS OF 4#750 & 1#500 EGC EACH IN 4" C.	1276.22 KVA	1241.30 KVA	1,535.1 A	1,493.1 A	20.00 KA	35 KA	LEVEL 01		
MAIN-SWITCH TRANSFORMER(S)	480/277V, 3Ø4W	2,500 A LSGI	UTILITY TRANSFORMER	2,500 A XFMR LUGS	(8) SETS OF 4#750 EACH IN 4" C.	1276.22 KVA	1241.30 KVA	1,535.1 A	1,493.1 A	20.62 KA	35 KA	LEVEL 02		
UTILITY TRANSFORMER	4160-480/277V, 3Ø4W	1500 KVA				1276.22 KVA	1241.30 KVA	1,535.1 A	1,493.1 A	0.00 KA PRIMARY, 0.00 KA SECONDARY		LEVEL 02		

ITEM	LINE DISC.	DRIVE BYPASS	SCCR	CIRCUIT VOLTAGE	POLES	HP RATING	DRIVE		ENCLOSURE	REQUIRED ACCESSORIES & OPTIONS	COMMENTS
							TORQUE TYPE				
VFD-HWP-1L	OS	NONE	100 kA	480 V	3	15	PWM	VARIABLE	NEMA 1	SA (LR)	
VFD-HWP-2L	OS	NONE	100 kA	480 V	3	15	PWM	VARIABLE	NEMA 1	SA (LR)	
VFD-CWP-1L	OS	NONE	100 kA	480 V	3	25	PWM	VARIABLE	NEMA 1	SA (LR)	
VFD-CWP-2L	OS	NONE	100 kA	480 V	3	25	PWM	VARIABLE	NEMA 1	SA (LR)	

NOTE: ALL DISCONNECTS (EXCEPT MANUAL STARTERS) SHALL BE HEAVY DUTY TYPE.									
DISCONNECT TYPE:			ACCESSORIES & OPTIONS						
FU - FUSED			SA - STANDARD ACCESSORIES (INCLUDES * ITEMS)				PF - PHASE LOSS PROTECTION (5 HP OR GREATER, 3 PHASE)		
NF - NON-FUSED			*CT - CONTROL TRANSFORMER, FUSED 120V				TO - MELTING THERMAL OVERLOADS (1 PHASE)		
CB - CIRCUIT BREAKER			*EO - ELECTRONIC OVERLOAD (3 PHASE MOTORS)				TS - 2 SPEED SELECTOR SWITCH IN DOOR		
			*HA - HAND-OFF-AUTO IN DOOR				GP - GREEN (OFF) PILOT LIGHT IN DOOR		
STARTER TYPE:			*RP - RED (RUN) PILOT LIGHT IN DOOR				FA - 4-CONVERTIBLE AUXILIARY CONTACTS		
FV - FULL VOLTAGE			*TA - TWO CONVERTIBLE AUXILIARY CONTACTS				EI - ELECTRICAL INTERLOCK (2)-N.O. & (2)-N.C.		
YD - WYE - DELTA			S/N - INSULATED NEUTRAL ASSEMBLY				SS - START-STOP PUSHBUTTON IN DOOR		
RE - REVERSING							HL - HANDLE PADLOCK HASP		
TW - 2 SPEED, 2 WINDING									
SW - 2 SPEED, 2 WINDING									
RV - REDUCED VOLTAGE AUTOXFMR									
SS - SOLID STATE									
MS - MANUAL STARTER									
MX - MANUAL SWITCH									
FS - FUSED SWITCH									
ITEM	DISCONNECT TYPE & RATING		CIRCUIT VOLTAGE	POLES	STARTER		ENCLOSURE	REQUIRED ACCESSORIES & OPTIONS	COMMENTS
	TYPE	RATING			NEMA SIZE	TYPE			
DS-SS-314.1	NF	30 A	480 V	3			NEMA 3R		



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REVISIONS

No.	Date	Revision / Issue
1	03/10/2022	Addendum 9

SHEET INFORMATION

Issue **BID DOCUMENTS**

Date JANUARY 28, 2022

Job Number **21002885.02**

Drawn _____ JERVEY

Checked	BRILEA
Approved	JERVET

SHEET TITLE
**ELECTRICAL
SCHEDULES**

SCALE

Scale: _____

SHEET NUMBER

E600



$1/8" = 1'-0"$

$1/8" = 1'-0"$

A1 01A



A1.01A



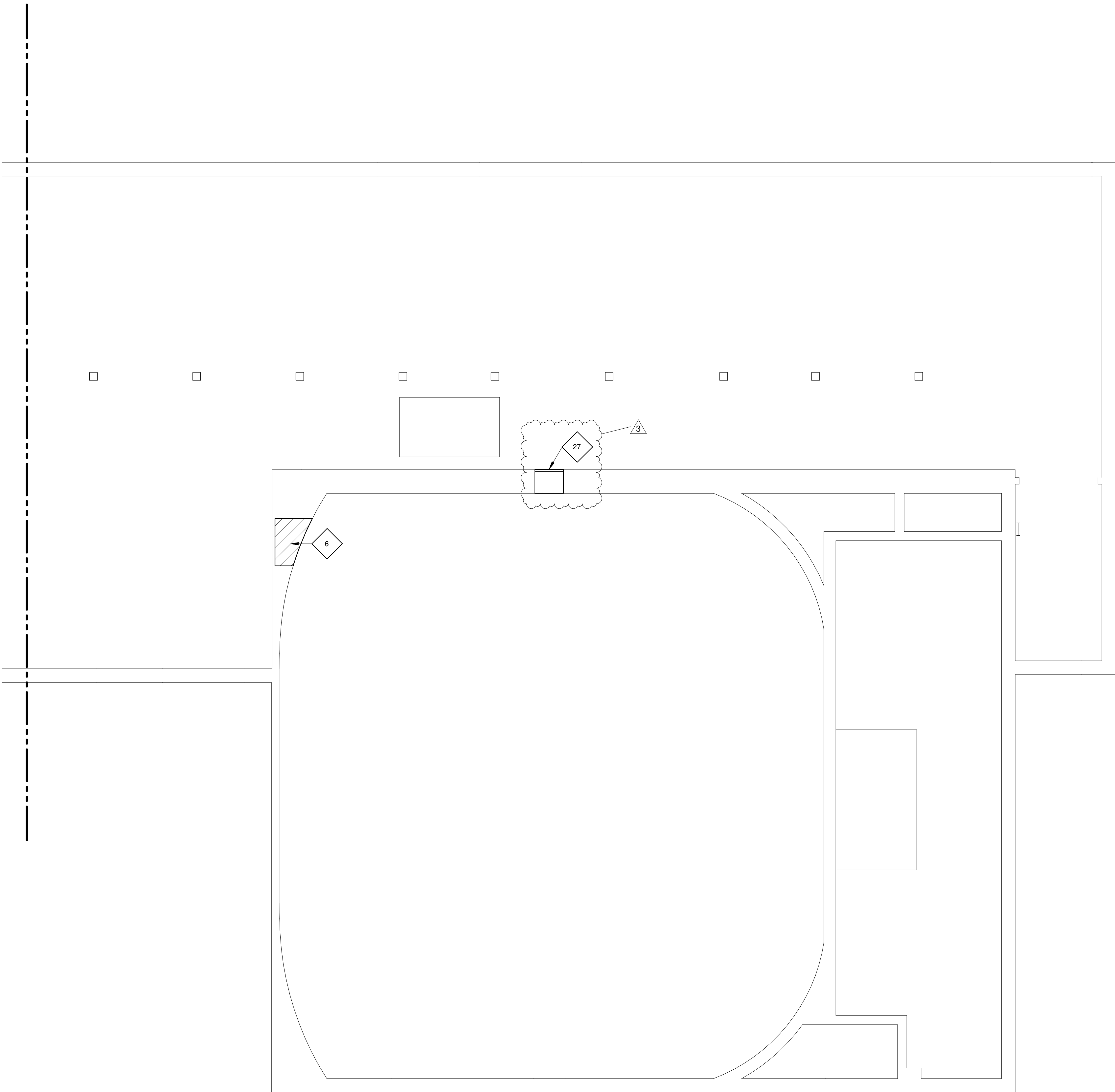
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ATTIC FLOOR PLAN - AREA B

1/8" = 1'-0"

LEGEND

- DEMOLITION WORK
NEW WORK



GENERAL NOTES

- FOR THE REMOVAL OF MECHANICAL DUCTWORK AND PIPING, REFER TO MECHANICAL DRAWINGS.
- GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ALL PENETRATION SIZES AND LOCATIONS. INCLUDE ALL WORK AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION.

NEW WORK KEY NOTES

- PROVIDE DOORS AT OPENING. TOOTH-IN MASONRY AT PERIMETER OF OPENING TO MATCH EXISTING COURSING. REFER TO DOOR SCHEDULE FOR DOOR INFORMATION.
- REINSTALL SALVAGED DECORATIVE GRILL ONCE MECHANICAL AND PLUMBING WORK IS COMPLETE. TOUCH UP SALVAGED GRILL AS REQUIRED. PAINT TO MATCH EXISTING.
- NOT USED
- PROVIDE SOFFIT AROUND THE CABINET UNIT IF THE HEIGHT OF THE NEW VENTILATOR IS GREATER THAN THE EXISTING.
- WHERE NEW PIPING HAS BEEN ROUTED THROUGH AN EXISTING MASONRY WALL - INFILL HOLE TIGHT TO NEW PIPING WITH FULL MASONRY - MATCH THICKNESS AND COURSING. PROVIDE FIRE CAULK AROUND PENETRATION. WHERE INFILL IS EXPOSED AND VISIBLE, PAINT TO MATCH EXISTING.
- WHERE NEW DUCTWORK HAS BEEN ROUTED THROUGH AN EXISTING MASONRY WALL - INFILL HOLE TIGHT TO NEW DUCTWORK WITH FULL MASONRY - MATCH THICKNESS AND COURSING. PROVIDE FIRE CAULK AROUND PENETRATION. WHERE INFILL IS EXPOSED AND VISIBLE, PAINT TO MATCH EXISTING.
- PATCH, PREP, AND PAINT EXISTING HOLE WHERE PIPING, DUCTWORK, AND/OR EQUIPMENT WAS REMOVED TO MATCH EXISTING ADJACENT SURFACE.
- PATCH EXISTING FINISH FLOOR TO MATCH EXISTING IN COLOR, TEXTURE, FINISH, AND SIZE.
- PATCH, PREP, AND PAINT EXISTING MASONRY WALL TO MATCH ADJACENT SURFACE.
- WHERE PIPING, DUCTWORK, AND/OR EQUIPMENT WAS REMOVED INFILL HOLE WHERE PIPING AND/OR DUCTWORK WAS REMOVED WITH FULL MASONRY - MATCH THICKNESS AND COURSING. WHERE INFILL IS EXPOSED AND VISIBLE, PAINT TO MATCH EXISTING.
- EXISTING LOUVERS ON EXTERIOR WALL TO REMAIN TO OUTDOORS. WERE REMOVED. INFILL, PATCH, AND PAINT WALL AS REQUIRED TO MATCH ADJACENT SURFACE IN COLOR, TEXTURE, AND SHEEN.
- PROVIDE NEW VERTICAL ENCLOSURE TO EXISTING DECK - ENCLOSURE TO BE CONSTRUCTED OF 3-5/8" CMF WITH 5/8" GYPSUM BOARD. PAINT TO MATCH ADJACENT WALL. SEE DETAILS 1/A3.00 AND 3/A3.00 FOR ADDITIONAL INFORMATION.
- INSTALL NEW 8'-0" HIGH PALM SHIELD ATLAS INDUSTRIAL HORIZONTAL ALUMINUM FENCING FENCING AROUND PERIMETER AND OVER TOP OF CHILLER.
- AT LOCATIONS WHERE WINDOW AIR CONDITIONING UNITS WERE REMOVED, INFILL OPENING WITH GLAZING TO MATCH EXISTING.
- PROVIDE NEW OPENING IN FLOOR FOR NEW PIPING.
- PROVIDE NEW H.M. DOORS AND CUSTOM FRAMING SYSTEM WITH LITES - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- WHERE EXISTING DOOR AND FRAMING SYSTEM WAS REMOVED, REPAIR, PATCH, AND PAINT WALLS AT THE OPENING AS REQUIRED TO MATCH EXISTING.
- IN LOCATIONS WHERE PLYWOOD/SHEATHING WAS REMOVED FROM GYMNASIUM ROOF JOISTS, REPAIR, PATCH, AND PAINT ALL WALLS AND EXPOSED CEILINGS AS REQUIRED TO MATCH EXISTING. ALL EXPOSED STRUCTURAL ELEMENTS ARE TO BE PAINTED TO MATCH EXISTING.
- IN LOCATIONS OF NEW WORK, REPAIR, PATCH, AND PAINT GYPSUM BOARD WALL AS REQUIRED TO MATCH ADJACENT SURFACE.
- IN LOCATIONS WHERE EXISTING CABINET UNIT HEATERS WERE REMOVED AND SMALLER UNIT CABINET HEATERS ARE TO BE INSTALLED, MODIFY OPENING AS REQUIRED TO ACCOMMODATE NEW UNIT. REPAIR, PATCH, AND PAINT WALL AS REQUIRED TO MATCH EXISTING ADJACENT SURFACE.
- PROVIDE NEW 12" DEEP BY 25" HIGH VERTICAL PIPE CHASE ENCLOSURE - BELOW WINDOWS (BY G.C.) TYPICAL PER CLASSROOM. ENCLOSURE TO BE CONSTRUCTED OF 3-5/8" METAL STUDS WITH 5/8" GYPSUM BOARD AND A 1/2" THICK SOLID SURFACE TOP - COLOR TO BE SELECTED BY ARCHITECT. PROVIDE GYPSUM BOARD AT ALL SIDES AND PAINT TO MATCH ADJACENT WALL. SEE DETAILS 1/A3.00, 2/A3.00, AND 3/A3.00 FOR ADDITIONAL INFORMATION.
- NEW FAN COIL UNIT - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE NEW INTERIOR WALLS TO EXISTING DECK - WALLS TO BE CONSTRUCTED OF 3-5/8" CMF WITH 5/8" GYPSUM BOARD. PAINT TO MATCH ADJACENT WALL.
- WHERE MECHANICAL EQUIPMENT IS BEING REPLACED, MODIFY OPENING AS REQUIRED TO ACCOMMODATE NEW MECHANICAL EQUIPMENT AND PIPING. INFILL HOLE WITH FULL CMU TO MATCH THICKNESS AND COURSING. PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE.
- CONCRETE CHILLER PAD - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION - GC TO COORDINATE PAD DIMENSIONS WITH FINAL CHILLER SIZE.
- PROVIDE FIRE RATED ACCESS DOOR



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1421 West St. Rockford, IL 61102

Rockford Public Schools #205

PROFESSIONAL SEAL

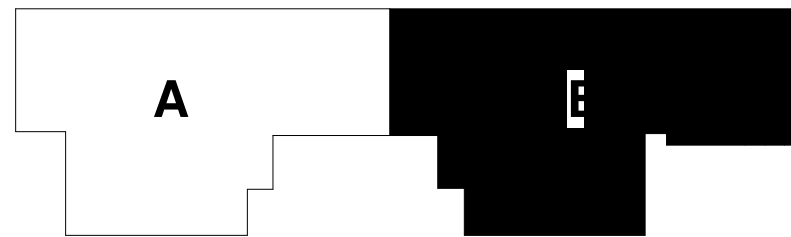
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KEY PLAN



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REVISIONS

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3	03/10/2022	Addendum # 9

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Approved	Approver:

SHEET TITLE

ATTIC FLOOR PLAN - AREA B

SCALE

Scale: As Indicated

SHEET NUMBER

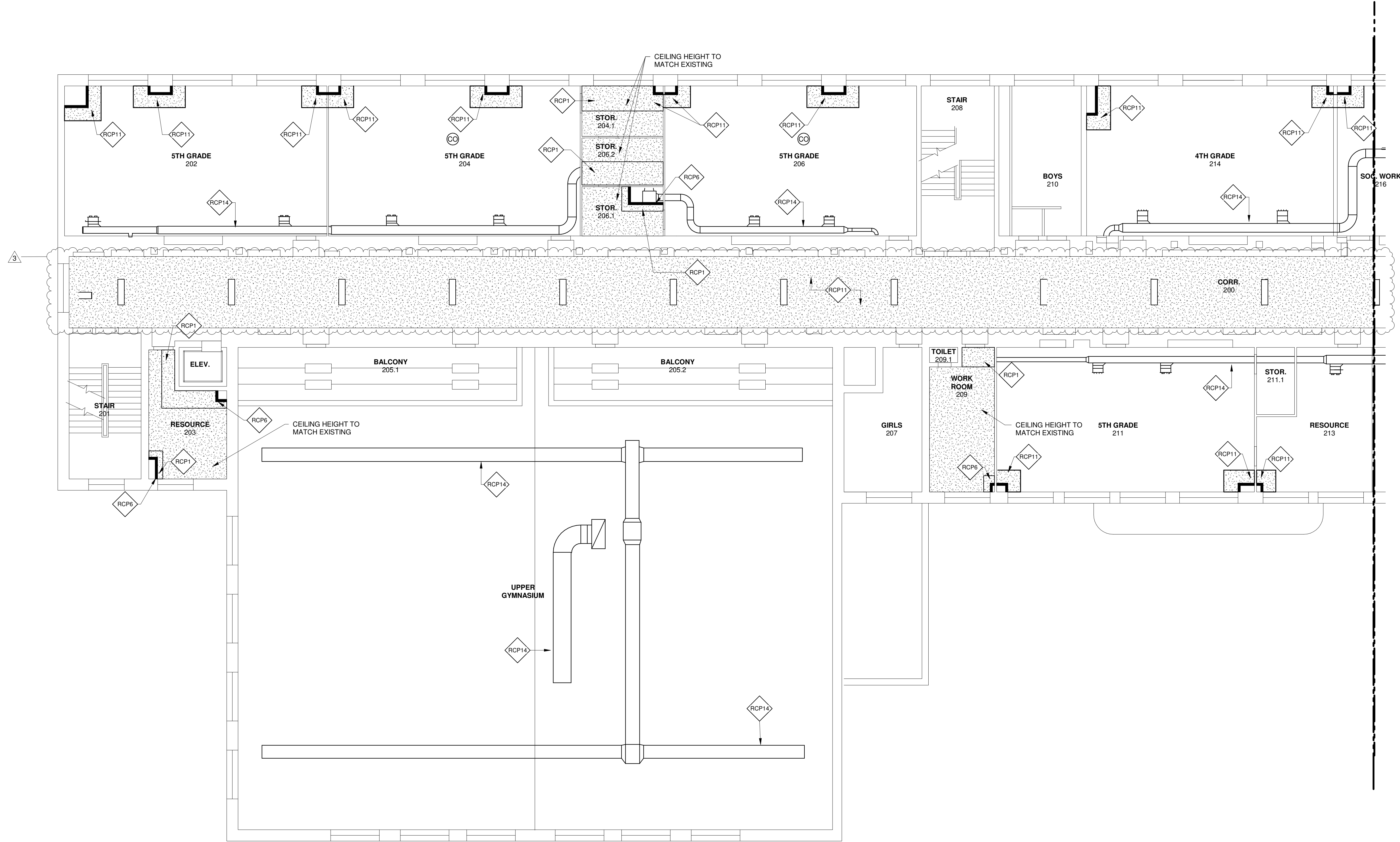
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SECOND FLOOR REFLECTED CEILING PLAN - AREA A

1/8" = 1'-0"



GENERAL NOTES

- FOR THE REMOVAL OF MECHANICAL DUCTWORK AND PIPING, REFER TO MECHANICAL DRAWINGS.
- GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL, AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ALL PENETRATION SIZES AND LOCATIONS. INCLUDE ALL WORK AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION.

REFLECTED CEILING PLAN
KEY NOTES

- RCP1 IN LOCATIONS WHERE GYPSUM BOARD HAS BEEN REMOVED TO ACCOMMODATE NEW WORK. INFILL OPENING WITH NEW GYPSUM BOARD AND TAPE, MUD, SAND, AND PATCH AS REQUIRED. GYPSUM BOARD INFILL TO MATCH EXISTING CEILING HEIGHT UNLESS NOTED OTHERWISE. ALL LOCATIONS OF INFILLED GYPSUM BOARD CEILING TO BE PAINTED TO MATCH EXISTING.
- RCP2 IN LOCATIONS WHERE PIPING WAS REMOVED. REPLACE 2x2 ACOUSTIC CEILING TILES AS REQUIRED. NEW CEILING TILES TO MATCH EXISTING.
- RCP3 IN LOCATIONS WHERE ACOUSTICAL CEILING TILE SOFFITS HAVE BEEN REMOVED. INSTALL NEW ACOUSTICAL CEILING TILES AND CEILING GRID TO MATCH EXISTING. CEILING TILES AND GRID TO MATCH EXISTING IN SIZE, COLOR, TEXTURE.
- RCP4 IN LOCATIONS WHERE CEILING MOUNTED CABINET UNIT VENTILATORS HAVE BEEN REMOVED. INSTALL NEW ACOUSTICAL CEILING TILES AND CEILING GRID AS REQUIRED TO MATCH EXISTING. CEILING TILES AND GRID TO MATCH EXISTING IN SIZE, COLOR, TEXTURE.
- RCP5 INSTALL NEW DIFFUSERS - SEE MECHANICAL DRAWINGS.
- RCP6 REINSTALL CEILING SYSTEM AS REQUIRED AROUND AREAS OF NEW WORK. CEILING SYSTEM TO MATCH EXISTING - PAINT ENTIRE CEILING
- RCP7 INSTALL NEW ACOUSTICAL CEILING SYSTEM WITH 2x2 ACOUSTICAL CEILING TILES AND INTERMEDIATE GRID.
- RCP8 IN LOCATIONS WHERE PLYWOOD/SHEATHING WAS REMOVED FROM GYMNASIUM ROOF JOISTS. REPAIR, PATCH, AND PAINT ALL WALLS AND EXPOSED CEILINGS AS REQUIRED TO MATCH EXISTING. ALL EXPOSED STRUCTURAL ELEMENTS ARE TO BE PAINTED TO MATCH EXISTING.
- RCP9 PROVIDE NEW 2x2 ACOUSTICAL CEILING TILE SOFFIT IN LOCATION INDICATED. ACOUSTICAL CEILING TILE AND GRID TO MATCH EXISTING IN SIZE, COLOR, AND TEXTURE.
- RCP10 REINSTALL SALVAGED CEILING TILES IN AREAS INDICATED.
- RCP11 INSTALL GYPSUM BOARD CEILING SYSTEM AROUND AREAS OF NEW WORK - PAINT
- RCP12 REINSTALL SALVAGED LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- RCP13 NEW LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP14 PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP15 PAINT EXPOSED PIPING - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP16 PREP, PATCH AND PAINT ENTIRE CEILING

CEILING PLAN LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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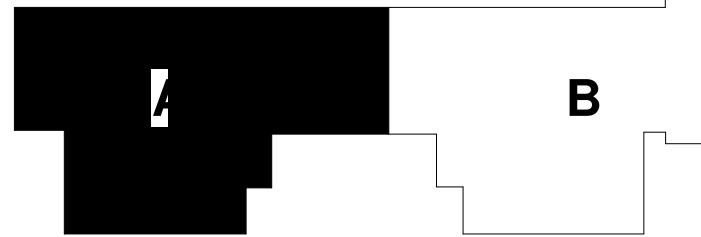
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REVISIONS

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3	03/10/2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21002885.01
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Checked	MS
Approved	Approver:

SHEET TITLE

**SECOND
FLOOR
REFLECTED
CEILING
PLAN - AREA
A**

SCALE

Scale: **As Indicated**

SHEET NUMBER

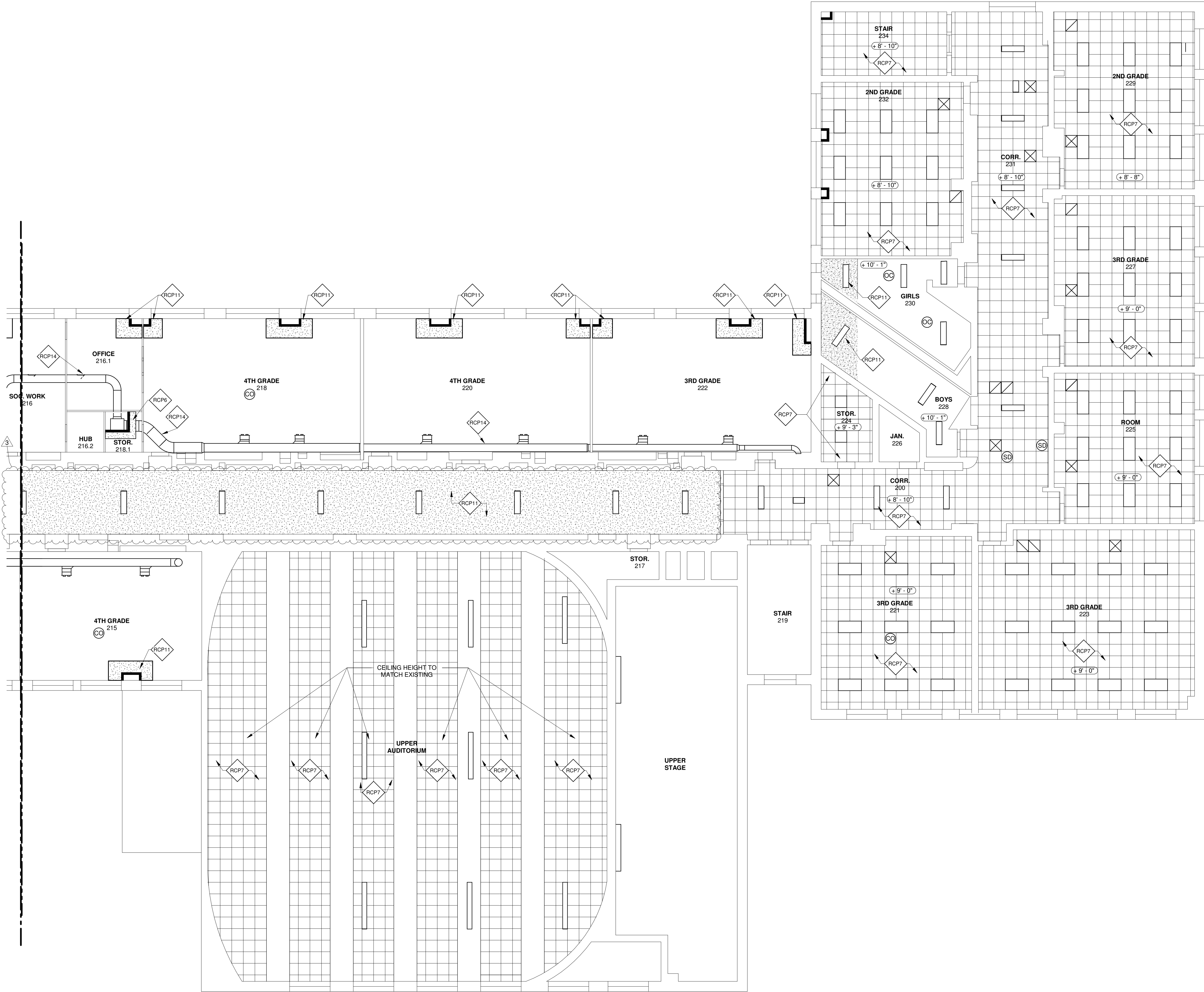
A2.03A



1

SECOND FLOOR REFLECTED CEILING PLAN - AREA B

1/8" = 1'-0"



GENERAL NOTES

1. FOR THE REMOVAL OF MECHANICAL DUCTWORK AND PIPING, REFER TO MECHANICAL DRAWINGS.
2. GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE THE NEW WORK.
3. THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ALL PENETRATION SIZES AND LOCATIONS. INCLUDE ALL WORK AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION.

REFLECTED CEILING PLAN KEY NOTES

- RCP1 IN LOCATIONS WHERE GYPSUM BOARD HAS BEEN REMOVED TO ACCOMMODATE NEW WORK, INFILL OPENING WITH NEW GYPSUM BOARD AND TAPE, MUD, SAND, AND PATCH AS REQUIRED. GYPSUM BOARD INFILL TO MATCH EXISTING CEILING HEIGHT UNLESS NOTED OTHERWISE. ALL LOCATIONS OF INFILLED GYPSUM BOARD CEILING TO BE PAINTED TO MATCH EXISTING.
- RCP2 IN LOCATIONS WHERE PIPING WAS REMOVED, REPLACE 2x2 ACOUSTIC CEILING TILES AS REQUIRED. NEW CEILING TILES TO MATCH EXISTING.
- RCP3 IN LOCATIONS WHERE ACOUSTICAL CEILING TILE SOFFITS HAVE BEEN REMOVED, INSTALL NEW ACOUSTICAL CEILING TILES AND CEILING GRID TO MATCH EXISTING. CEILING TILES AND GRID TO MATCH EXISTING IN SIZE, COLOR, TEXTURE.
- RCP4 IN LOCATIONS WHERE CEILING MOUNTED CABINET UNIT VENTILATORS HAVE BEEN REMOVED, INSTALL NEW ACOUSTICAL CEILING TILES AND CEILING GRID AS REQUIRED TO MATCH EXISTING. CEILING TILES AND GRID TO MATCH EXISTING IN SIZE, COLOR, TEXTURE.
- RCP5 INSTALL NEW DIFFUSERS - SEE MECHANICAL DRAWINGS.
- RCP6 REINSTALL CEILING SYSTEM AS REQUIRED AROUND AREAS OF NEW WORK. CEILING SYSTEM TO MATCH EXISTING - PAINT ENTIRE CEILING
- RCP7 INSTALL NEW ACOUSTICAL CEILING SYSTEM WITH 2x2 ACOUSTICAL CEILING TILES AND INTERMEDIATE GRID.
- RCP8 IN LOCATIONS WHERE PLYWOOD/SHEATHING WAS REMOVED FROM GYMNASIUM ROOF JOISTS, REPAIR, PATCH, AND PAINT ALL WALLS AND EXPOSED CEILINGS AS REQUIRED TO MATCH EXISTING. ALL EXPOSED STRUCTURAL ELEMENTS ARE TO BE PAINTED TO MATCH EXISTING.
- RCP9 PROVIDE NEW 2x2 ACOUSTICAL CEILING TILE SOFFIT IN LOCATION INDICATED. ACOUSTICAL CEILING TILE AND GRID TO MATCH EXISTING IN SIZE, COLOR, AND TEXTURE.
- RCP10 REINSTALL SALVAGED CEILING TILES IN AREAS INDICATED.
- RCP11 INSTALL GYPSUM BOARD CEILING SYSTEM AROUND AREAS OF NEW WORK - PAINT
- RCP12 REINSTALL SALVAGED LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- RCP13 NEW LIGHT FIXTURES - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP14 PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP15 PAINT EXPOSED PIPING - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RCP16 PREP, PATCH AND PAINT ENTIRE CEILING

CEILING PLAN LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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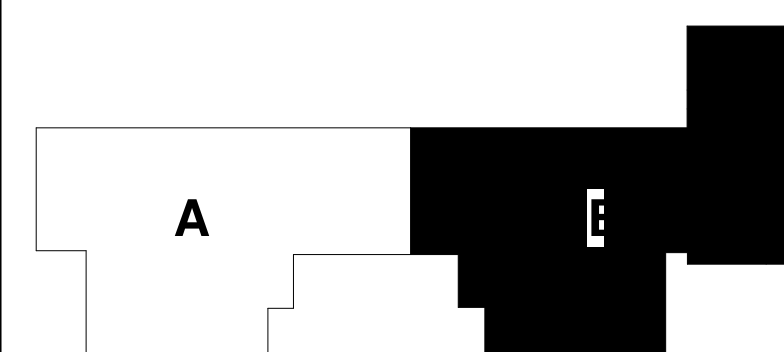
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KEY PLAN



KEYPLAN

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REVISIONS

No.	Date	Revision / Issue
1	02/24/2022	Addendum # 4
2	03/03/2022	Addendum # 5
3	03/10/2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21002885.01
Drawn	CM/MI
Checked	MS
Approved	Approver:

SHEET TITLE

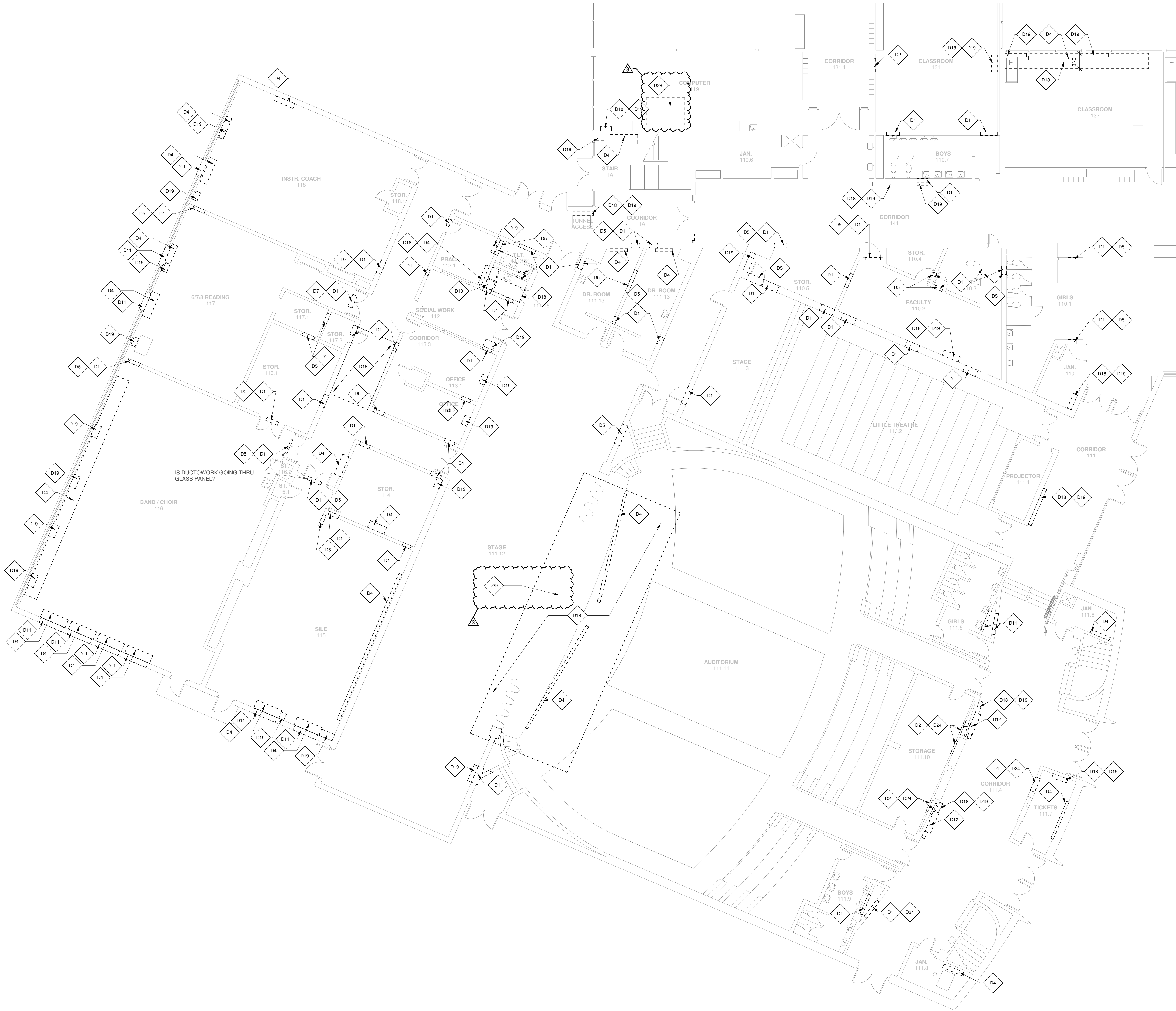
SECOND FLOOR REFLECTED CEILING PLAN - AREA B

SCALE

Scale: **As Indicated**

SHEET NUMBER

A2.03B



GENERAL NOTES

1. ALL ACCESS DOORS ON FIRST FLOOR LOCATED UNDERNEATH AN EXISTING CASE WORK. REMOVE CASEWORK, PATCH, PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE
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DEMOLITION KEYNOTES

- D1 CORE/REMOVE MASONRY AS NECESSARY TO ROUTE NEW DUCTWORK AND/OR PIPING. REMOVE FULL CMU AND/OR BRICK. REFER TO STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
- D2 PROVIDE OPENING IN GYPSUM BOARD WALL AS NECESSARY TO ROUTE NEW DUCTWORK AND/OR PIPING.
- D3 REMOVE INTERIOR ENCLOSURE IN AREAS INDICATED - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D4 REMOVE EXISTING UNIT - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
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- D10 REMOVE EXISTING GRILL IN ITS ENTIRETY
- D11 REMOVE STEAM CABINET HEATER - SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- D12 REMOVE 2' x 3' STEEL ACCESS DOOR. PREP AREA TO RECEIVE NEW HINGED/ LOCKABLE DOOR.
- D13 LOUVER ON VERTICAL WALL TO REMAIN. PROVIDE INSULATED BLANK OFF PANEL BEHIND LOUVER BY G.C.
- D14 REMOVE EXISTING STORAGE ADDITION IN ITS ENTIRETY. THIS INCLUDES BUT IS NOT LIMITED TO THE REMOVAL OF EXTERIOR WALLS, CONCRETE SLAB, FOUNDATIONS, OVERHEAD DOOR, INTERIOR FINISHES, ROOFING SYSTEMS, AND ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS.
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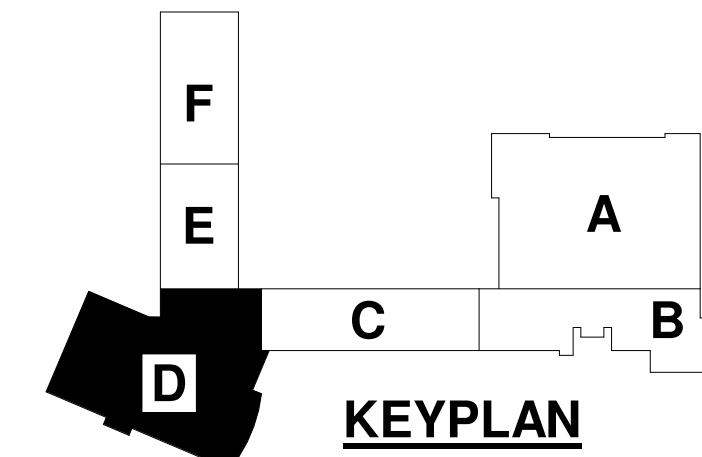
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REVISIONS

No.	Date	Revision / Issue
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver.

SHEET TITLE

FIRST FLOOR DEMOLITION PLAN - AREA D

SCALE

Scale: **As Indicated**

SHEET NUMBER

D1.01D



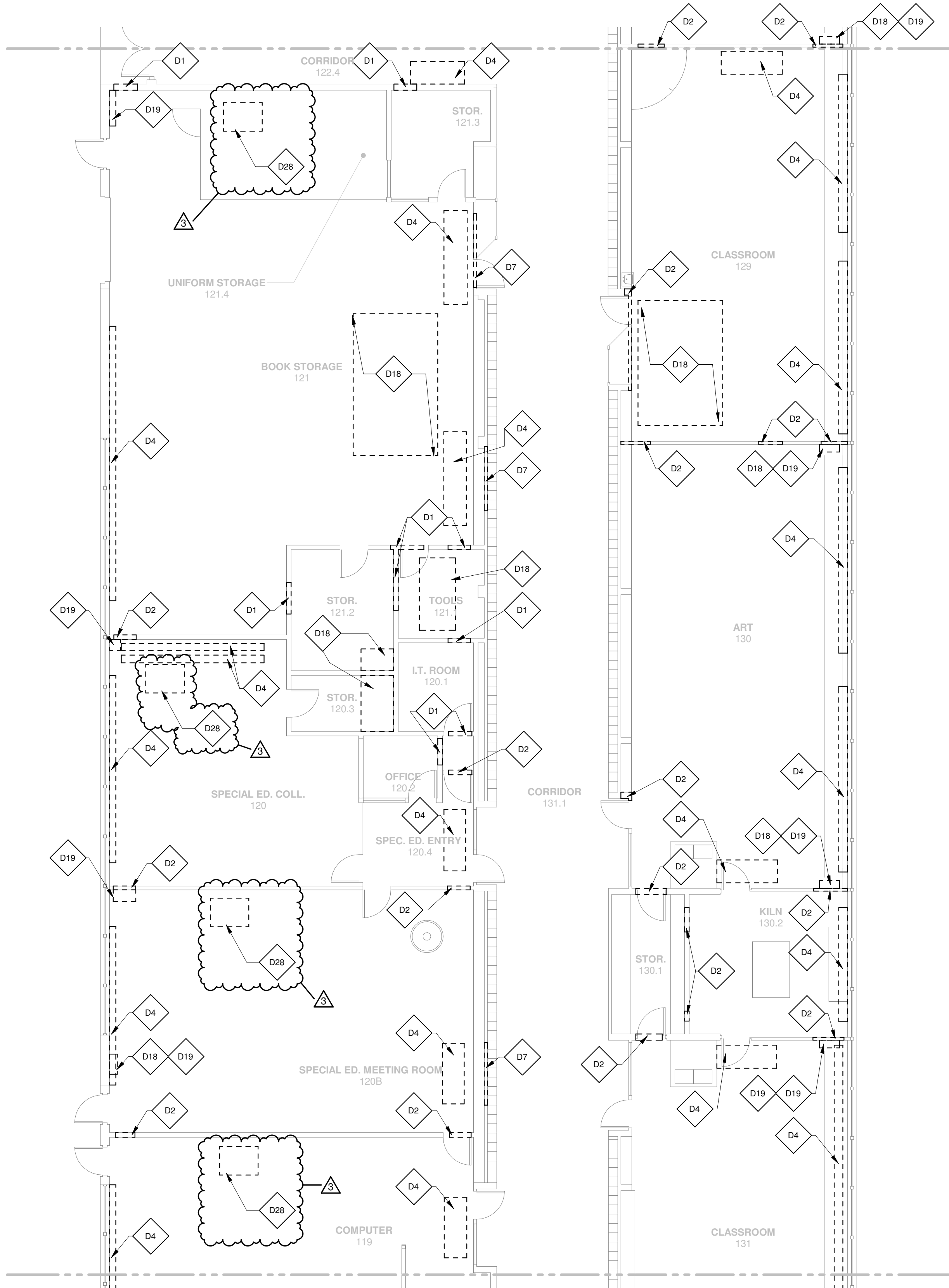
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FIRST FLOOR DEMOLITION PLAN - AREA D

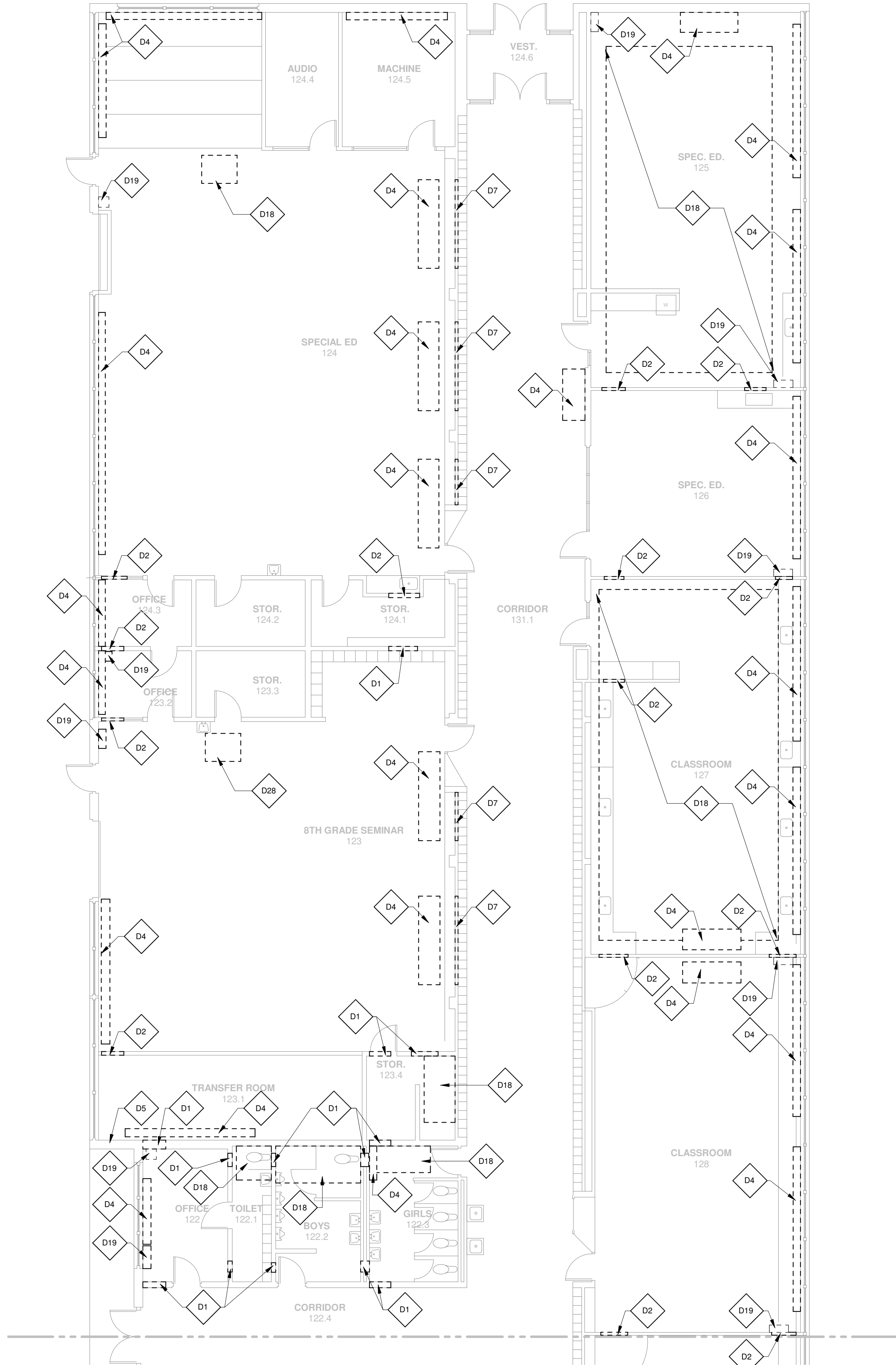
1/8" = 1'-0"

LEGEND

- DEMOLITION WORK
- NEW WORK



1 FIRST FLOOR DEMOLITION PLAN - AREA E
1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN - AREA F
1/8" = 1'-0"

LEGEND	
	DEMOLITION WORK
	NEW WORK

GENERAL NOTES

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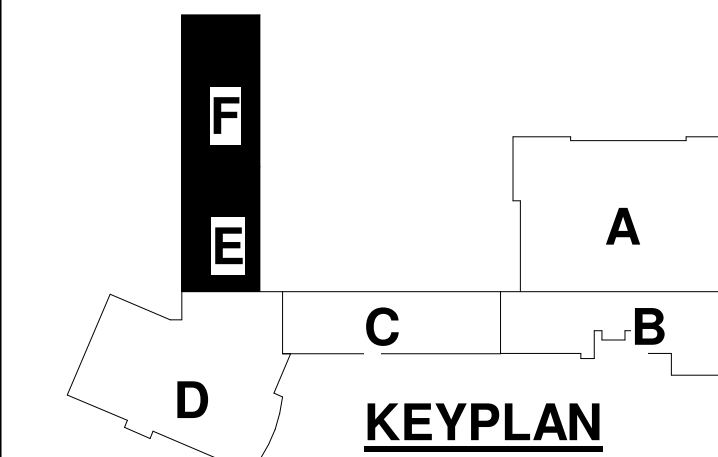
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REVISIONS

No. 3 Date 03-10-2022 Revision / Issue Addendum # 9

SHEET INFORMATION

Issue **BID DOCUMENTS**
Date **January 28, 2022**
Job Number **21011.30**
Drawn **CM / MI**
Checked **MS**
Approved **Approver**

SHEET TITLE
FIRST FLOOR DEMOLITION PLAN - AREAS E & F

SCALE

Scale: **As Indicated**

SHEET NUMBER

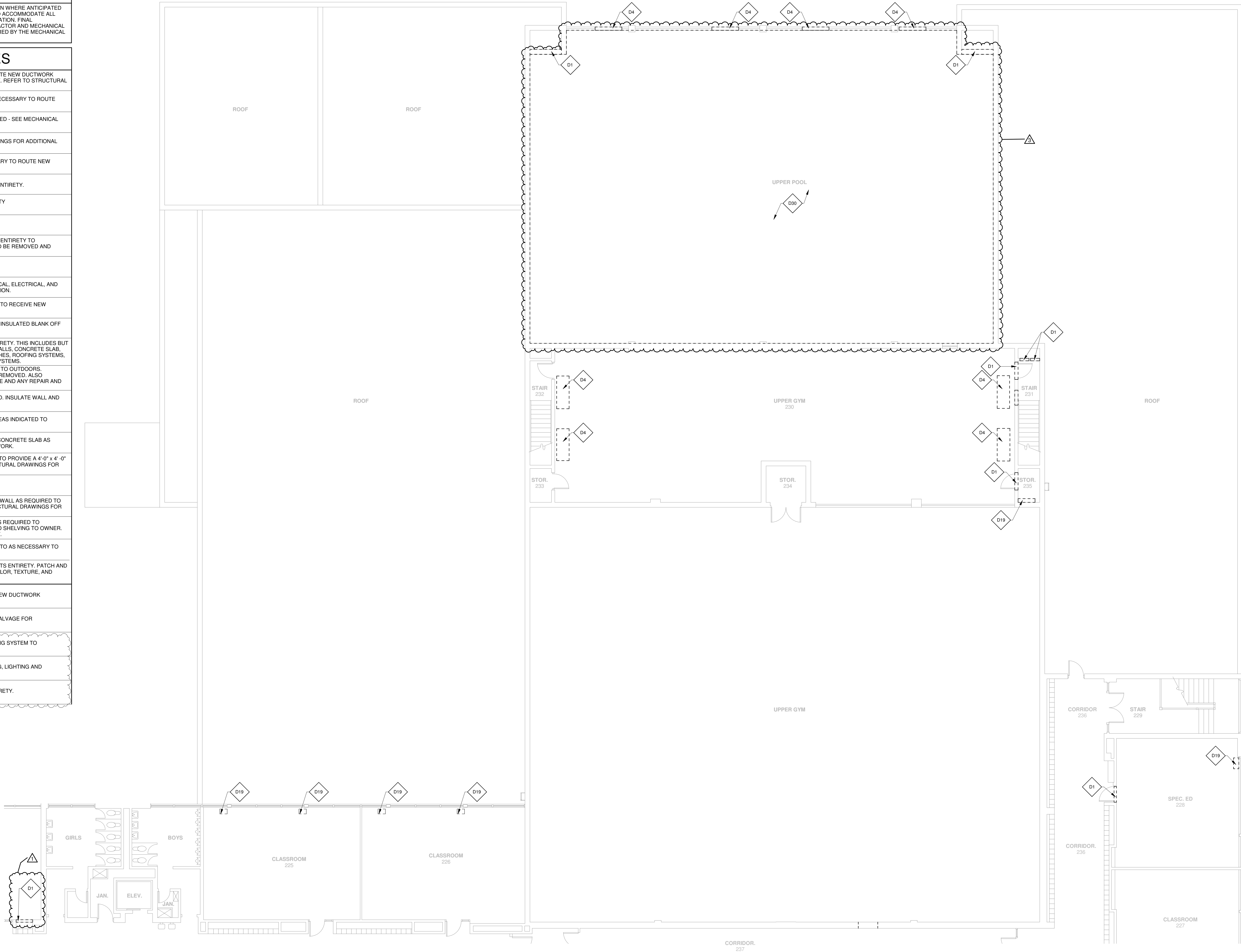
D1.01E

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DEMOLITION KEYNOTES

- | | |
|-----|--|
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| D29 | CAREFULLY REMOVE CURTAINS, CURTAIN RIGGING, LIGHTING AND EQUIPMENT AND SALVAGE FOR REINSTALLATION. |
| D30 | REMOVE EXISTING ALUMINIUM CEILING IT ITS ENTIRETY. |



SECOND FLOOR DEMOLITION PLAN - AREA A

1/8" = 1'-0"

LEGEND

- | | |
|--|-----------------|
| | DEMOLITION WORK |
| | NEW WORK |



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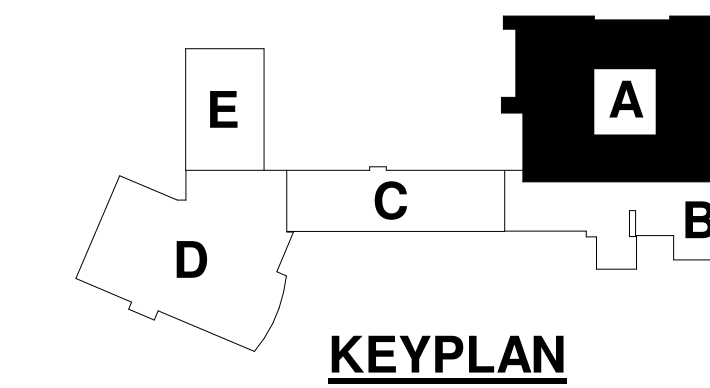
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1	02-24-22	Addendum # 4
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver

SHEET TITLE

SECOND FLOOR DEMOLITION PLAN - AREA A

SCALE

Scale: As Indicated

SHEET NUMBER

D1.02A

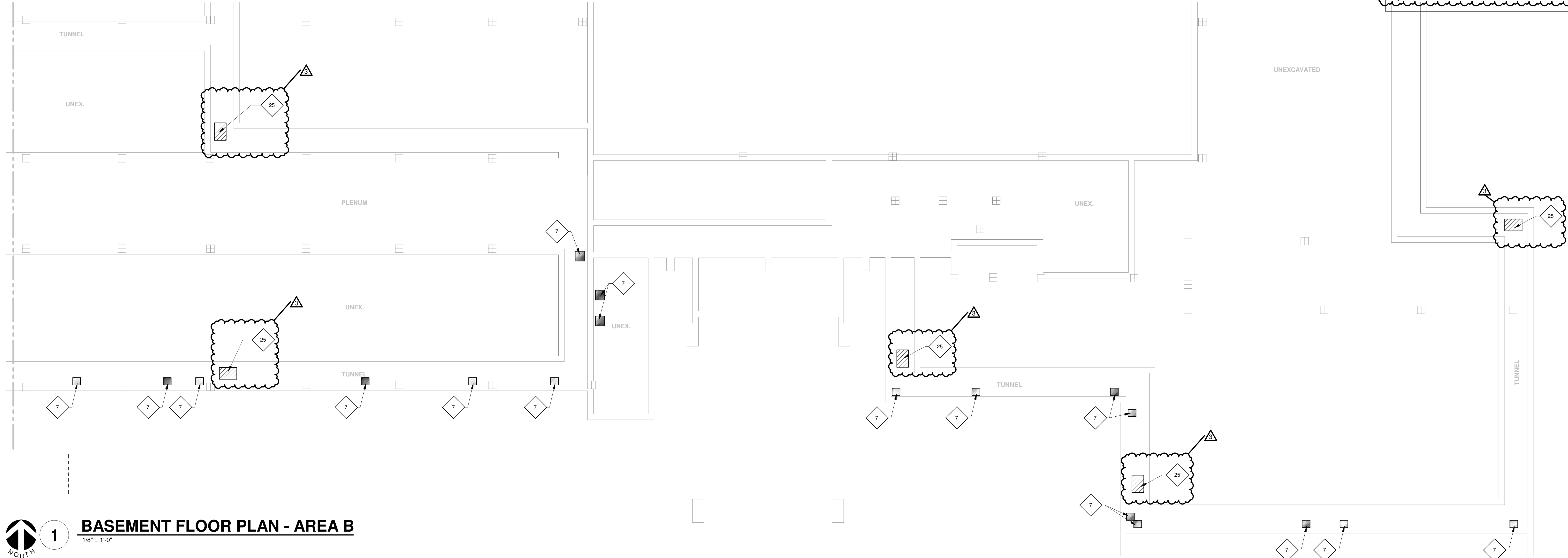
21011.30 11/03/2022 9:10:18 ESSER HVAC Improvements - Flinn Middle School



1

BASEMENT FLOOR PLAN - AREA B

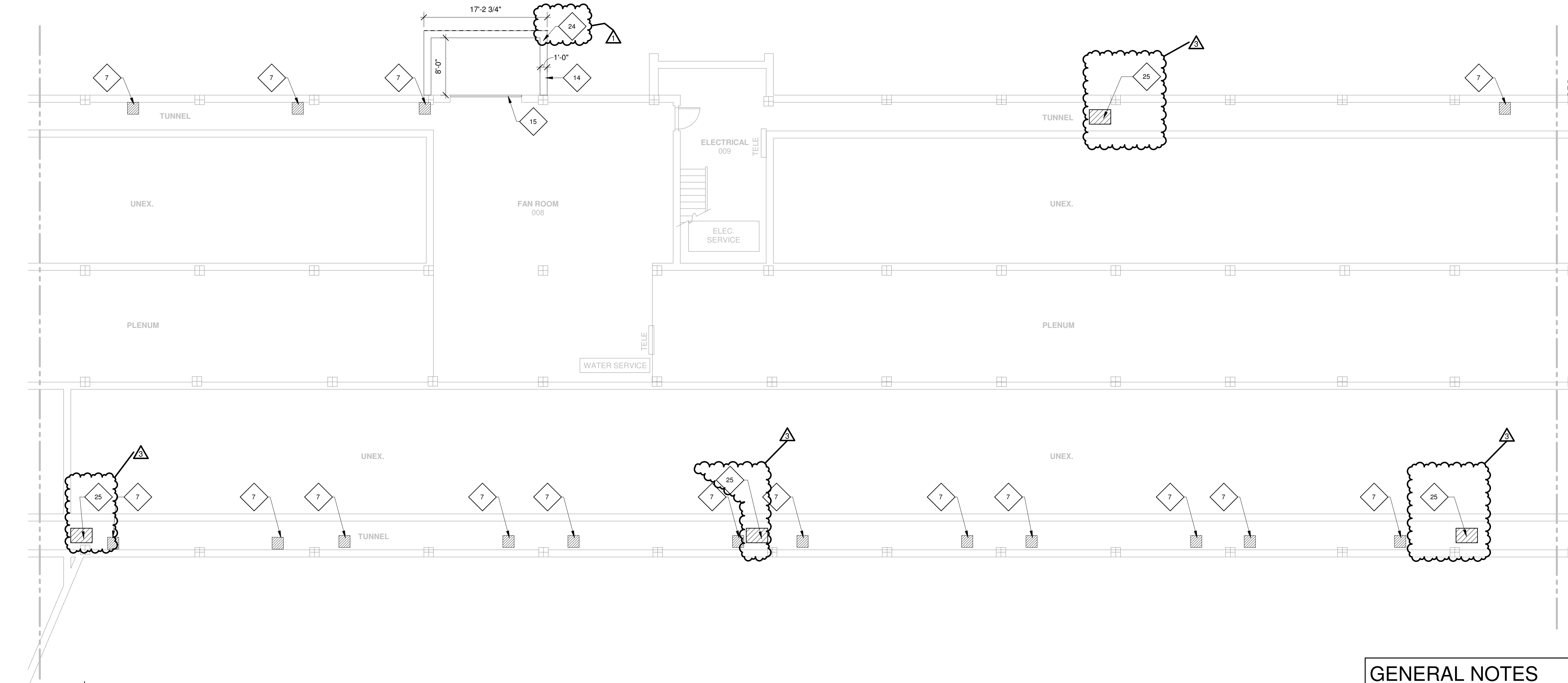
1/8" = 1'-0"



2

BASEMENT FLOOR PLAN - AREA C

1/8" = 1'-0"



LEGEND

- DEMOLITION WORK
- NEW WORK

GENERAL NOTES

- ALL ACCESS DOORS ON FIRST FLOOR LOCATED UNDERNEATH AN EXISTING CASE WORK, REMOVE CASEWORK, PATCH, PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE
- FOR THE REMOVAL OF MECHANICAL DUCTWORK AND PIPING, REFER TO MECHANICAL DRAWINGS
- GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE THE NEW WORK
- THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION

NEW WORK KEYNOTES

- NEW 2'x3' ACCESS DOOR WITH A HINGED AND LOCKABLE DOOR AT THE SCHOOL DISTRICT'S DIRECTION. TYPICAL AT ALL LOCATIONS INDICATED. SEE DETAIL 4A/A4.00 FOR ADDITIONAL INFORMATION.
- WINDOWS (BY G.C.) TYPICAL PER CLASSROOM. ENCLOSURE TO BE CONSTRUCTED OF 3-5/8" METAL STUDS WITH 5/8" GYPSUM BOARD AND SOLID SURFACE TOP. COLOR TO BE SELECTED BY ARCHITECT. PROVIDE GYPSUM BOARD AT ALL SIDES AND PAINT TO MATCH ADJACENT WALL. SEE DETAILS 2/A4.00 AND 3/A4.00.
- PROVIDE NEW DOOR - SEE DOOR SCHEDULE. SEE STRUCTURAL DRAWINGS FOR NEW LINTEL INFORMATION, IF REQUIRED.
- NEW MASONRY WALLS TO MATCH EXISTING IN MATERIAL, SIZE, TEXTURE, AND COLOR.
- INSTALL NEW 8'-0" HIGH PALM SHIELD ATLAS INDUSTRIAL HORIZONTAL ALUMINUM FENCING AROUND PERIMETER OF CHILLER, PER FENCE MANUFACTURER'S RECOMMENDATION
- NEW VERTICAL PIPE CHASE ENCLOSURE/CHASE UP TO CEILING. ENCLOSURE TO BE CONSTRUCTED OF 3-5/8" METAL STUDS WITH 5/8" GYPSUM BOARD. PAINT TO MATCH ADJACENT WALL. SEE DETAIL 1/A4.00 FOR ADDITIONAL INFORMATION.
- PATCH CONCRETE SURFACE TO MATCH ADJACENT SURFACE IN LOCATIONS WHERE PIPING AND/OR DUCTWORK WAS REMOVED.
- PATCH CONCRETE WALL AS REQUIRED TO MATCH ADJACENT SURFACE IN LOCATIONS WHERE PIPING AND/OR DUCTWORK WAS REMOVED.
- PATCH FINISH FLOOR TO MATCH EXISTING IN FINISH TYPE, SIZE, COLOR, AND TEXTURE.
- EXISTING LOUVERS ON EXTERIOR WALL TO REMAIN TO OUTDOORS. INSULATE/PATCH ON INTERIOR WHERE UNITS AND INTERIOR ENCLOSURE WERE REMOVED, INFILL, PATCH, AND PAINT WALL AS REQUIRED TO MATCH ADJACENT SURFACE IN COLOR, TEXTURE, AND SHEEN.
- WHERE PIPING AND/OR DUCTWORK HAS BEEN ROUTED THROUGH A MASONRY WALL, INFILL HOLE TIGHT TO NEW PIPING AND/OR DUCTWORK WITH FULL CMU. MATCH THICKNESS AND COURSING. PROVIDE FIRE CAULK AROUND PENETRATION AT FIRE RATED WALLS AND PAINT TO MATCH EXISTING ADJACENT SURFACE.
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- PROVIDE NEW AREA WELL WALLS WITH GRATED COVER OVER OPENING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE NEW 10'-0" WIDE x 8'-0" HIGH COILING DOOR. SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
- NEW MECHANICAL UNIT - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 8" DEEP BY 42" PIPE CHASE ENCLOSURE BELOW WINDOWS. ENCLOSURE TO BE CONSTRUCTED OF 3-5/8" METAL STUDS WITH 5/8" GYPSUM BOARD. PROVIDE GYPSUM BOARD AT ALL SIDES AND PAINT TO MATCH ADJACENT WALL.
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- REMOVE/REPLACE ACOUSTICAL PANELS TO COORDINATE WITH NEW DUCTWORK IN CAFETERIA.
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- REINSTALL SALVAGED CASEWORK
- 1-1/4" THICK AND 4" HIGH STEEL PIPE GUARDRAIL, AND 7'-0" WIDE GATE WITH BALUSTERS EQUALLY SPACED AT 4' OC - GUARD RAIL TO MATCH EXISTING GUARDRAIL. SEE DETAIL 5/A3.02
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ESSER HVAC Improvements - Flinn Middle School

2525 Ohio Parkway, Rockford, IL 61108

Rockford Public Schools #205

PROFESSIONAL SEAL

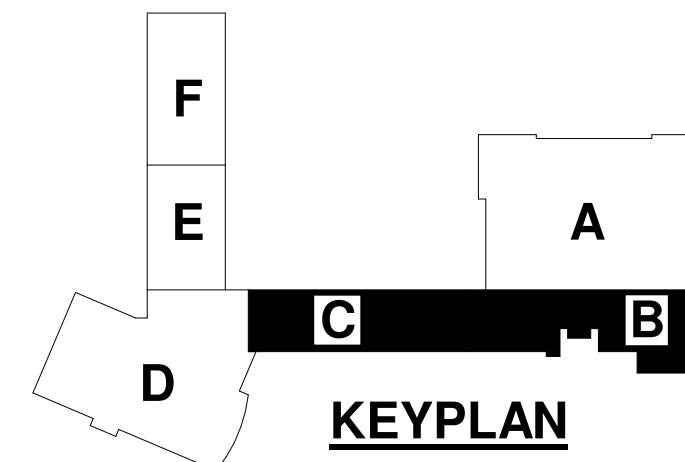
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KEY PLAN



KEYPLAN

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REFERENCE SCALE IN INCHES

0 1 2

REVISIONS

No.	Date	Revision / Issue
1	02-24-22	Addendum # 4
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver:

SHEET TITLE

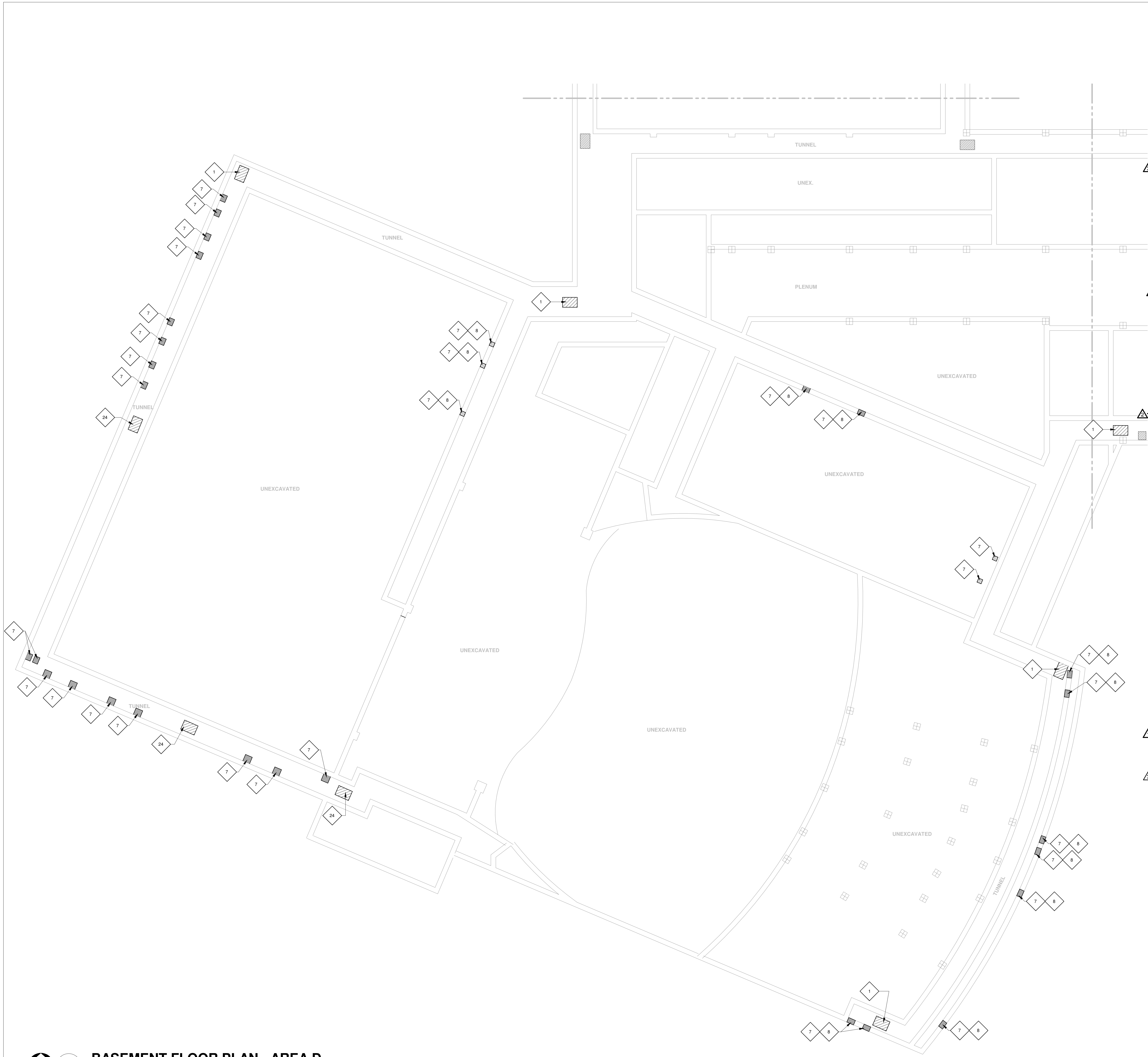
BASEMENT FLOOR PLAN - AREAS B & C

SCALE

Scale: As Indicated

SHEET NUMBER

A1.00B



GENERAL NOTES

1. ALL ACCESS DOORS ON FIRST FLOOR LOCATED UNDERNEATH AN EXISTING CASE WORK, REMOVE CASEWORK, PATCH, PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE

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18. PROVIDE AND INSTALL NEW 18" LONG BY 4'-0" CLARIDGE DRY ERASE WHITE BOARD. WHITE BOARD TO BE CENTERED ON WALL.
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20. REMOVE/REPLACE ACOUSTICAL PANELS TO COORDINATE WITH NEW DUCTWORK IN CAFETERIA.
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23. REINSTALL SALVAGED CASEWORK
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LEGEND	
	DEMOLITION WORK
	NEW WORK

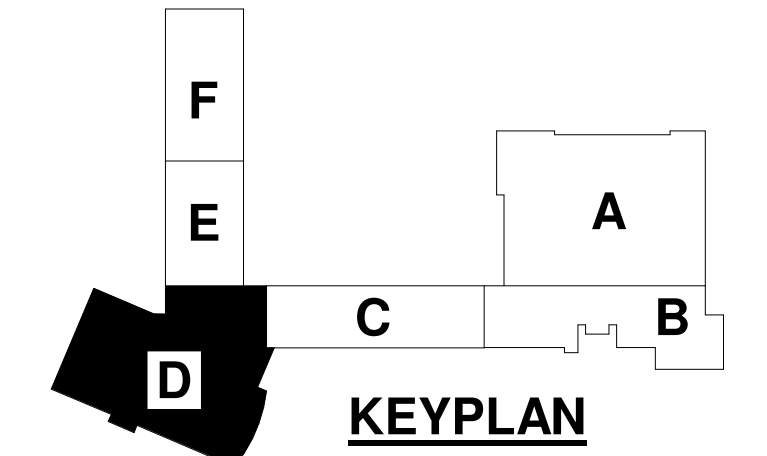
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REFERENCE SCALE IN INCHES
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REVISIONS

No.	Date	Revision / Issue
SHEET INFORMATION		
Issue		
BID DOCUMENTS		
Date		
January 28, 2022		
Job Number		
21011.30		
Drawn		
CM / MI		
Checked		
MS		
Approved		
Approver:		

SHEET TITLE
BASEMENT FLOOR PLAN - AREA D

SCALE
As Indicated

SHEET NUMBER

A1.00D



1

BASEMENT FLOOR PLAN - AREA E

1/8" = 1'-0"



2

BASEMENT FLOOR PLAN - AREA F

1/8" = 1'-0"

LEGEND

DEMOLITION WORK
NEW WORK

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Rockford Public Schools
#205

PROFESSIONAL SEAL

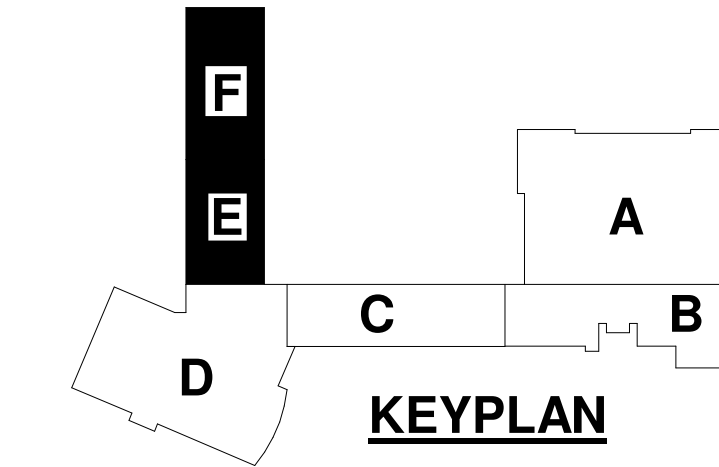
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KEY PLAN



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REFERENCE SCALE IN INCHES

0 1 2

REVISIONS

No. Date Revision / Issue

3 03-10-2022 Addendum # 9

SHEET INFORMATION

BID DOCUMENTS

Issue January 28, 2022

Date 21011.30

Job Number CM / MI

Drawn MS

Checked MS

Approved Approver.

SHEET TITLE

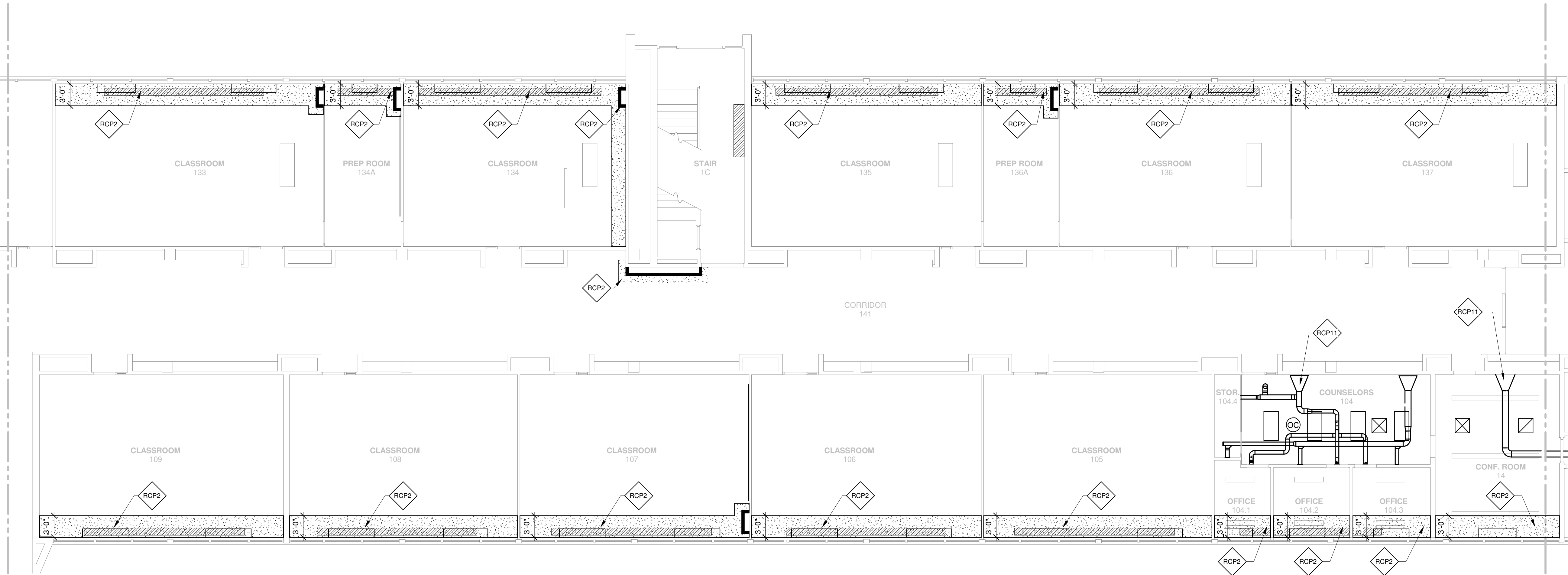
BASEMENT
FLOOR PLAN
- AREAS E &
F

SCALE

Scale: As Indicated

SHEET NUMBER

A1.00E



FIRST FLOOR REFLECTED CEILING PLAN - AREA C

GENERAL NOTES

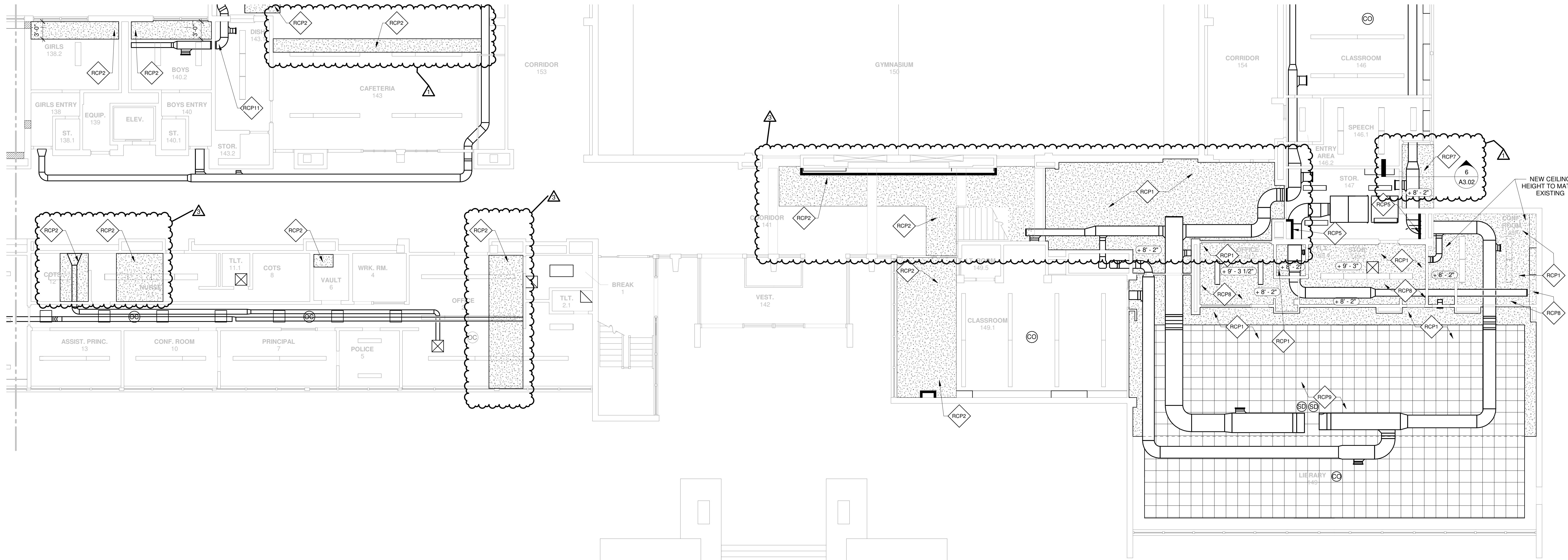
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REFLECTED CEILING PLAN KEY NOTES

- RCP1: INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT - UNLESS NOTED OTHERWISE. REINSTALL EXISTING GRILLES.
- RCP2: EXISTING PLASTER CEILING TO BE PATCHED, PREP, AND PAINTED WITH GYPSUM BOARD SYSTEM. PROVIDE A CLEAN EXPANSION JOINT BETWEEN EXISTING PLASTER CEILING AND NEW GYPSUM BOARD PROVIDE ACOUSTICAL CEILING PANELS. REFER TO DETAIL 2/A2.02A
- RCP3: INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT. PAINT TO MATCH EXISTING ADJACENT SURFACE
- RCP4: EXISTING HOOD ON ROOF TO REMAIN TO OUTDOORS. INSULATE AND PATCH CEILING ON INTERIOR AS REQUIRED WHERE UNIT IS REMOVED. PAINT CEILING TO MATCH ADJACENT SURFACE IN COLOR, TEXTURE, AND SHEEN.
- RCP5: PATCH, REPAIR, AND PAINT EXISTING CEILING AS REQUIRED TO MATCH EXISTING AROUND AREAS OF NEW WORK.
- RCP6: IN LOCATIONS WHERE EXISTING PIPING, DUCTWORK, AND/OR EQUIPMENT WAS REMOVED, PATCH EXISTING CEILING AND ROOFING STRUCTURE TO MATCH EXISTING. PAINT ENTIRE CEILING IN THE ROOM.
- RCP7: INSTALL NEW EXTERIOR SOFFIT. - TO BE PAINTED
- RCP8: INSTALL NEW GYPSUM BOARD SOFFIT AS REQUIRED TO ACCOMMODATE NEW PIPING AND DUCTWORK. SOFFIT TO BE PAINTED TO MATCH ADJACENT CEILING SURFACE IN COLOR, TEXTURE, AND SHEEN.
- RCP9: INSTALL NEW SUSPENDED ACOUSTICAL CEILING TILE CLOUD - SEE DETAIL 5/A4.00 FOR ADDITIONAL INFORMATION
- RCP10: PATCH AND PAINT CEILING TO MATCH EXISTING IN AREAS WHERE ACOUSTICAL PANELS WERE REMOVED TO COORDINATE WITH DUCTWORK. PAINT ENTIRE CEILING IN THE ROOM.
- RCP11: PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS

CEILING PLAN LEGEND

- RCP13: ACOUSTICAL CEILING PANELS
- GYPSUM BOARD CEILING SYSTEM



FIRST FLOOR REFLECTED CEILING PLAN - AREA B



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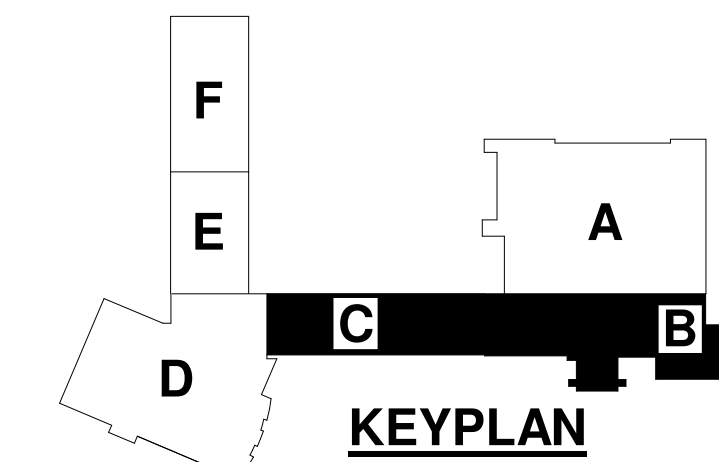
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REFERENCE SCALE IN INCHES

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REVISIONS

No.	Date	Revision / Issue
1	02-24-22	Addendum # 4
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver.

SHEET TITLE

FIRST FLOOR REFLECTED CEILING PLAN - AREAS B & C

SCALE

Scale: As Indicated.

SHEET NUMBER

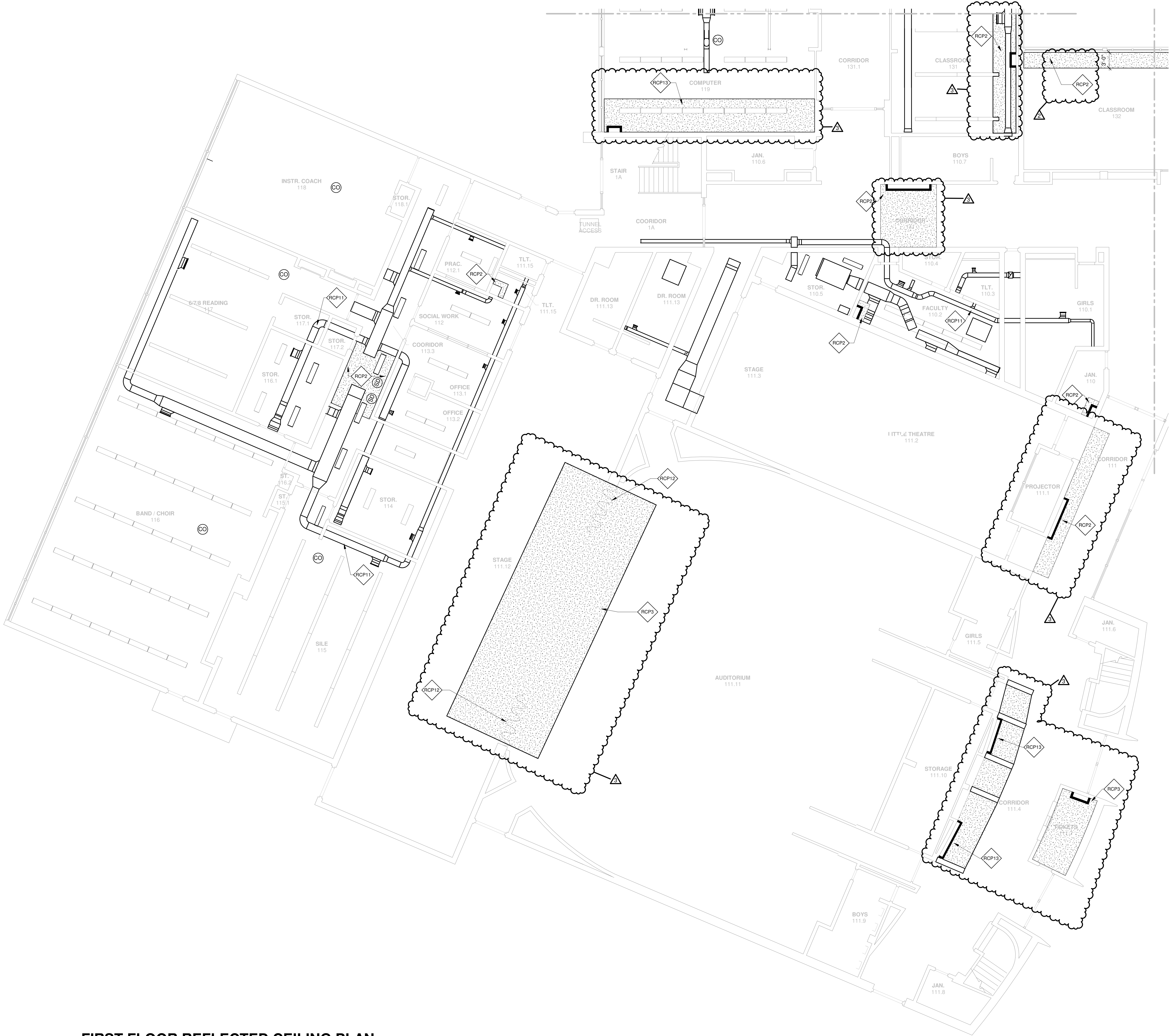
A2.01B



1

FIRST FLOOR REFLECTED CEILING PLAN - AREA D

1/8" = 1'-0"



GENERAL NOTES

1. ALL ACCESS DOORS ON FIRST FLOOR LOCATED UNDERNEATH AN EXISTING CASE WORK. REMOVE CASEWORK, PATCH, PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE
2. FOR THE REMOVAL OF MECHANICAL DUCTWORK AND PIPING, REFER TO MECHANICAL DRAWINGS
3. GENERAL CONTRACTOR TO REMOVE EXISTING EXIT SIGNS, SURFACE MOUNTED CLOCKS, SECURITY CAMERAS, WALL MOUNTED EMERGENCY LIGHT PACK, WALL MOUNTED SPEAKERS, WALL MOUNTED ALARM BELL AND SALVAGE FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE THE NEW WORK
4. THE EXTENT OF WALL AND FLOOR DEMOLITION IS SHOWN WHERE ANTICIPATED TO APPROXIMATE THE SCOPE OF WORK. THE INTENT IS TO ACCOMMODATE ALL MECHANICAL PIPING, DUCTWORK AND EQUIPMENT INSTALLATION. FINAL COORDINATION IS REQUIRED BETWEEN GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR TO CONFIRM ON DRAWINGS AND AS REQUIRED BY THE MECHANICAL CONTRACTOR FOR THEIR INSTALLATION

REFLECTED CEILING PLAN KEY NOTES

- RCP1 INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT - UNLESS NOTED OTHERWISE. REINSTALL EXISTING GRILLES.
- RCP2 EXISTING PLASTER CEILING TO BE PATCHED, PREP, AND PAINTED WITH GYPSUM BOARD SYSTEM. PROVIDE A CLEAN EXPANSION JOINT BETWEEN EXISTING PLASTER CEILING AND NEW GYPSUM BOARD PROVIDE ACOUSTICAL CEILING PANELS. REFER TO DETAIL 2/A2.02A
- RCP3 INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT. PAINT TO MATCH EXISTING ADJACENT SURFACE
- RCP4 EXISTING HOOD ON ROOF TO REMAIN TO OUTDOORS. INSULATE AND PATCH CEILING ON INTERIOR AS REQUIRED WHERE UNIT IS REMOVED. PAINT CEILING TO MATCH ADJACENT SURFACE IN COLOR, TEXTURE, AND SHEEN.
- RCP5 PATCH, REPAIR, AND PAINT EXISTING CEILING AS REQUIRED TO MATCH EXISTING AROUND AREAS OF NEW WORK
- RCP6 IN LOCATIONS WHERE EXISTING PIPING, DUCTWORK, AND/OR EQUIPMENT WAS REMOVED, PATCH EXISTING CEILING AND ROOFING STRUCTURE TO MATCH EXISTING. PAINT ENTIRE CEILING IN THE ROOM.
- RCP7 INSTALL NEW EXTERIOR SOFFIT - TO BE PAINTED
- RCP8 INSTALL NEW GYPSUM BOARD SOFFIT AS REQUIRED TO ACCOMMODATE NEW PIPING AND DUCTWORK. SOFFIT TO BE PAINTED TO MATCH ADJACENT CEILING SURFACE IN COLOR, TEXTURE, AND SHEEN.
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- RCP10 PATCH AND PAINT CEILING TO MATCH EXISTING IN AREAS WHERE ACOUSTICAL PANELS WERE REMOVED TO COORDINATE WITH DUCTWORK. PAINT ENTIRE CEILING IN THE ROOM.
- RCP11 PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS
- RCP12 CAREFULLY REINSTALLED SALVAGED CURTAINS, CURTAIN RIGGING, LIGHTING AND EQUIPMENT.
- RCP13 ACOUSTICAL CEILING PANELS

CEILING PLAN LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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Rockford Public Schools #205

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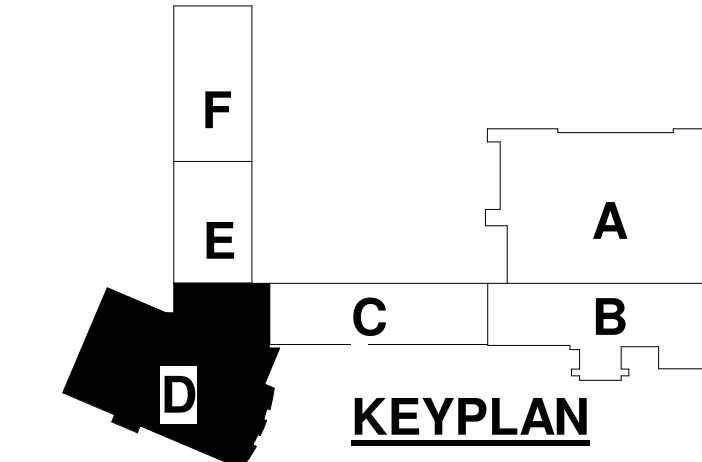
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REVISIONS

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1	02-24-22	Addendum # 4
2	03-03-22	Addendum # 5
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver:

SHEET TITLE

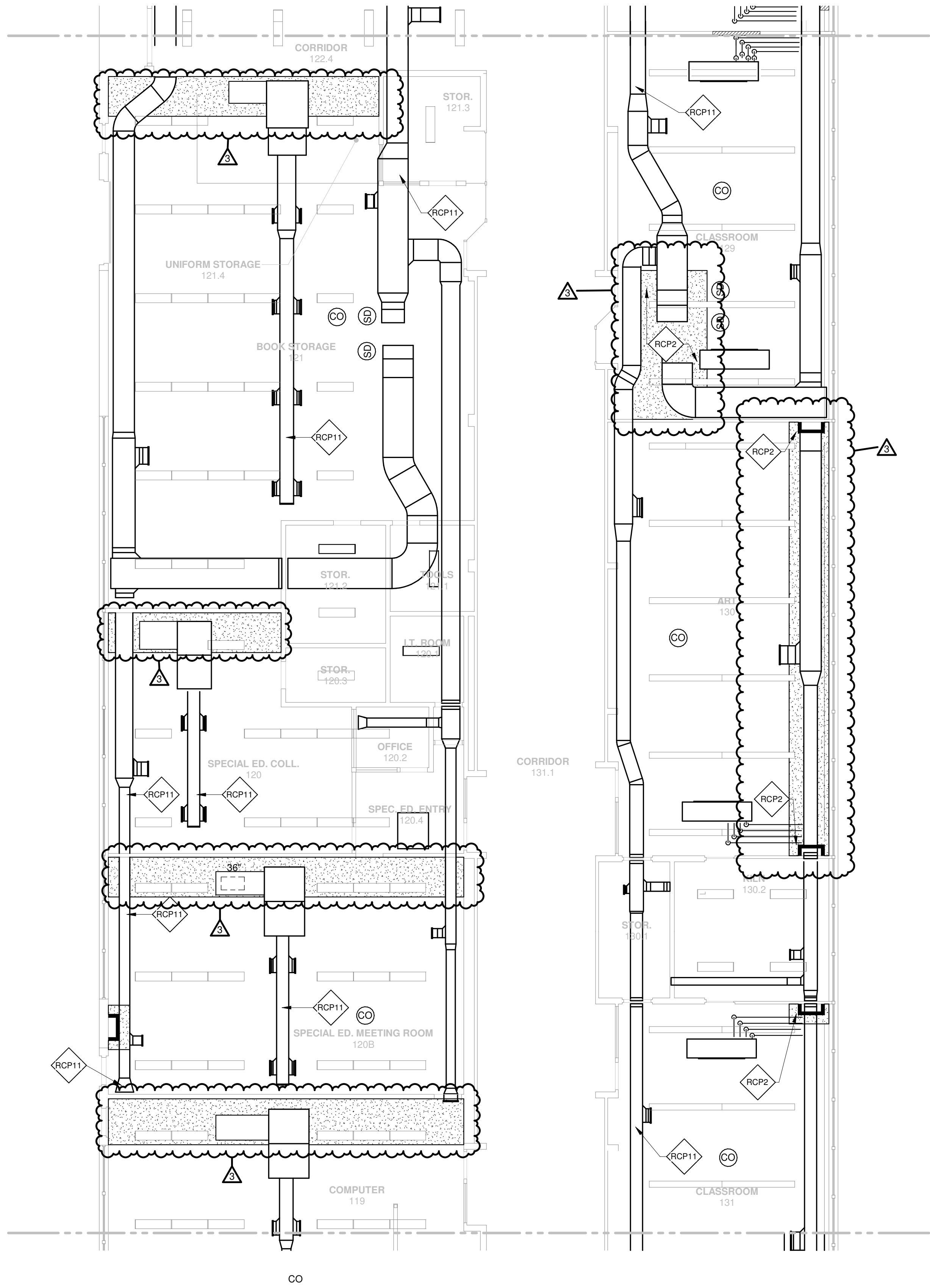
**FIRST FLOOR
REFLECTED
CEILING
PLAN - AREA
D**

SCALE

Scale: **As Indicated**

SHEET NUMBER

A2.01D

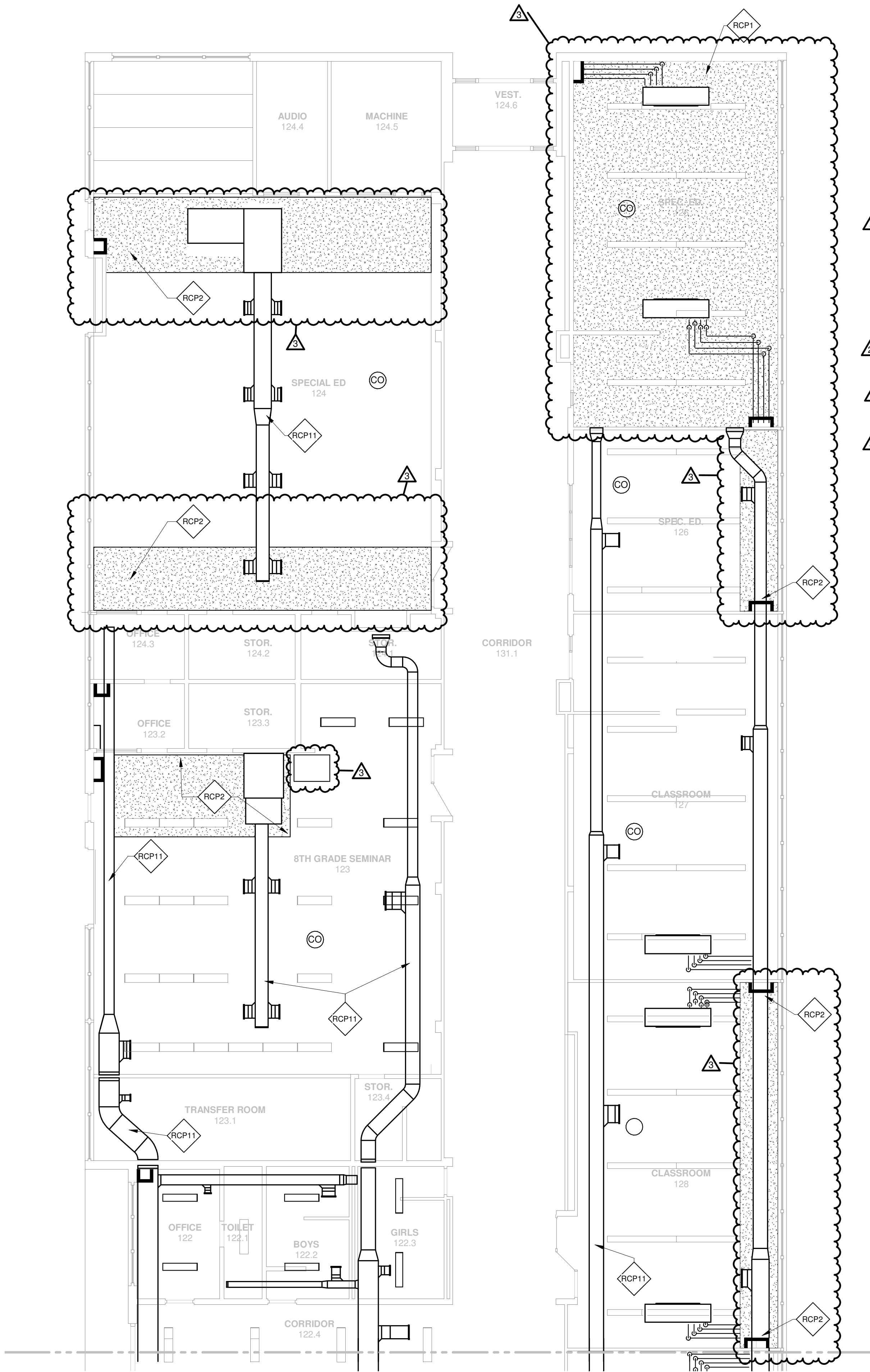


FIRST FLOOR REFLECTED CEILING PLAN - AREA E



1

1/8" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN - AREA F



2

1/8" = 1'-0"

GENERAL NOTES

1. ALL ACCESS DOORS ON FIRST FLOOR LOCATED UNDERNEATH AN EXISTING CASE WORK. REMOVE CASEWORK, PATCH, PREP AND PAINT TO MATCH EXISTING ADJACENT SURFACE
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REFLECTED CEILING PLAN KEY NOTES

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- RCP3 INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT. PAINT TO MATCH EXISTING ADJACENT SURFACE
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- RCP11 PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS
- RCP12 CAREFULLY REINSTATE SLYKAGED CURTAINS, CURTAIN RIGGING, LIGHTING AND EQUIPMENT.
- RCP13 ACOUSTICAL CEILING PANELS

CEILING PLAN LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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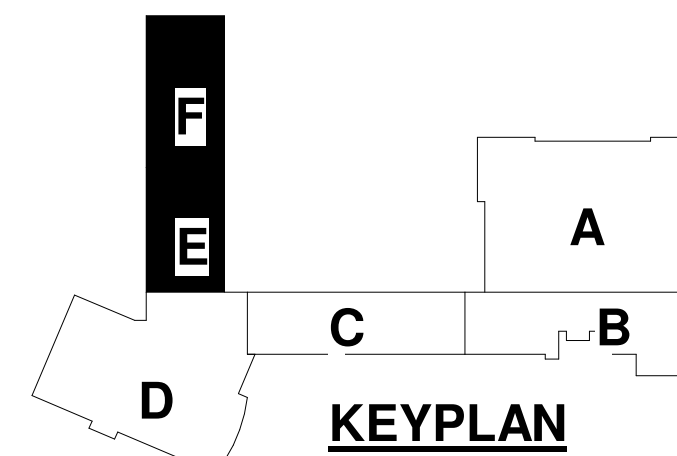
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1	02-24-22	Addendum # 4
3	03-10-2022	Addendum # 9

SHEET INFORMATION

Issue BID DOCUMENTS

Date January 28, 2022

Job Number 21011.30

Drawn CM / MI

Checked MS

Approved Approver

SHEET TITLE

FIRST FLOOR
REFLECTED
CEILING
PLAN -
AREAS E & F

SCALE

Scale: As Indicated

SHEET NUMBER

A2.01E



1/8" = 1'-0"



1/8" = 1'-0"

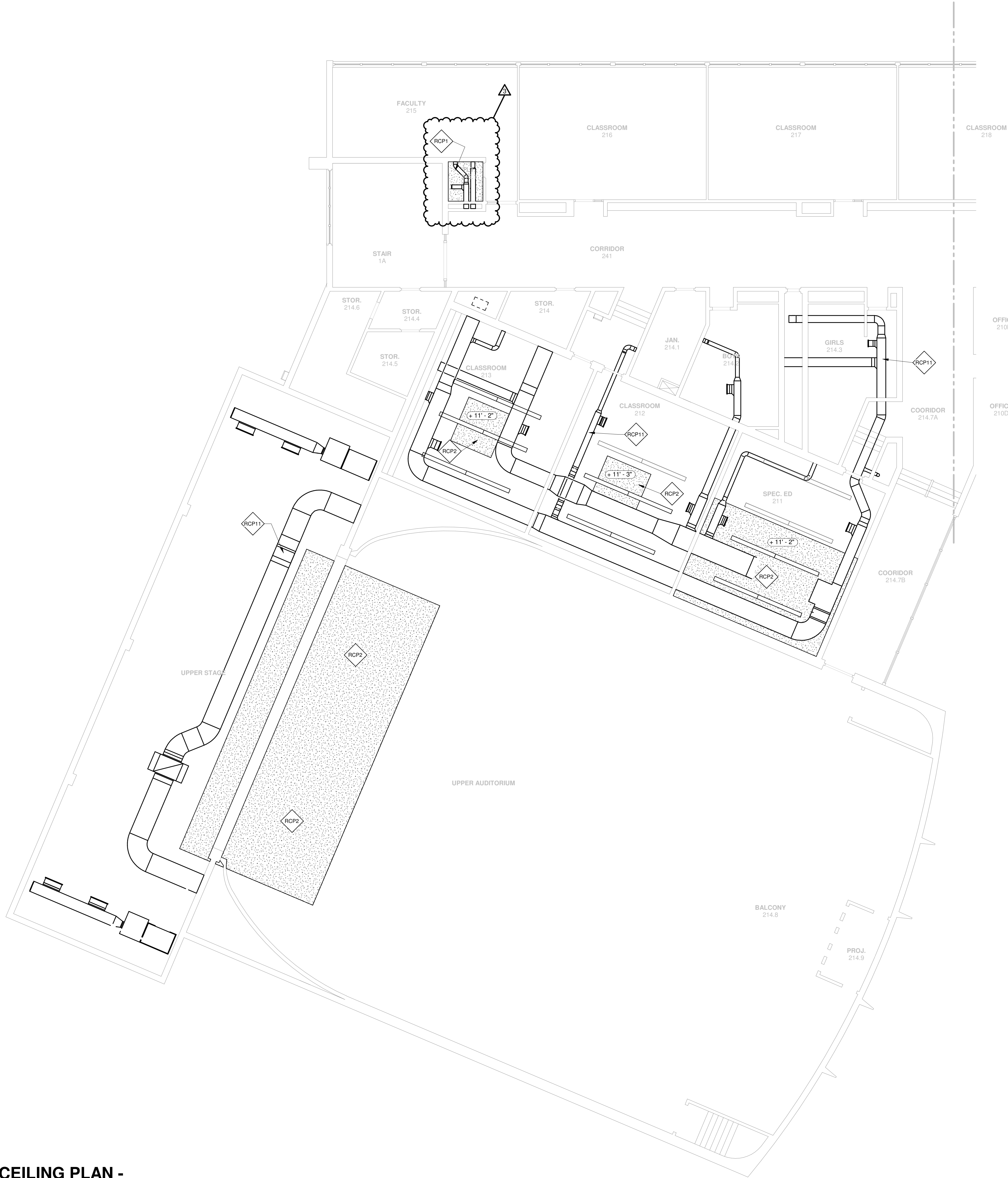
 A2.02B



1

SECOND FLOOR REFLECTED CEILING PLAN - AREA D

1/8" = 1'-0"



GENERAL NOTES

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REFLECTED CEILING PLAN KEY NOTES

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- RCP2 EXISTING PLASTER CEILING TO BE PATCHED, PREP, AND PAINTED WITH GYPSUM BOARD SYSTEM. PROVIDE A CLEAN EXPANSION JOINT BETWEEN EXISTING PLASTER CEILING AND NEW GYPSUM BOARD PROVIDE ACOUSTICAL CEILING PANELS. REFER TO DETAIL 2/A2.02A
- RCP3 INSTALL NEW GYPSUM BOARD CEILING TO MATCH EXISTING CEILING HEIGHT. PAINT TO MATCH EXISTING ADJACENT SURFACE
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- RCP11 PAINT EXPOSED DUCTWORK - SEE MECHANICAL DRAWINGS
- RCP12 CAREFULLY REINSTALL SALVAGED CURTAINS, CURTAIN RIGGING, AND HANGERS.
- RCP13 ACOUSTICAL CEILING PANELS

CEILING PLAN LEGEND

- 2X2 SUSPENDED ACT CEILING SYSTEM
- GYPSUM BOARD CEILING SYSTEM



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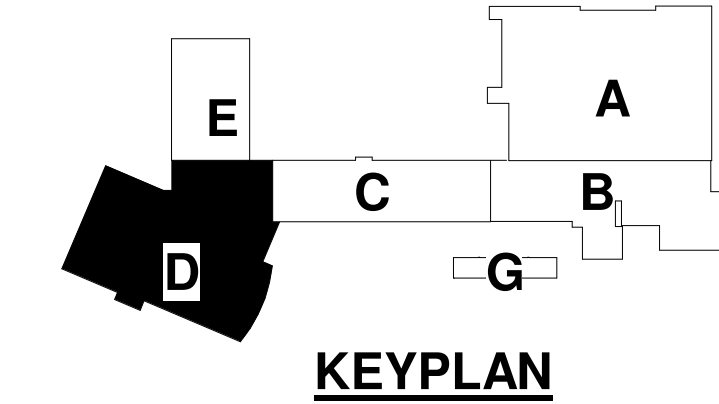
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REVISIONS

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3	03-10-2022	Addendum # 9

SHEET INFORMATION

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Date	January 28, 2022
Job Number	21011.30
Drawn	CM / MI
Checked	MS
Approved	Approver:

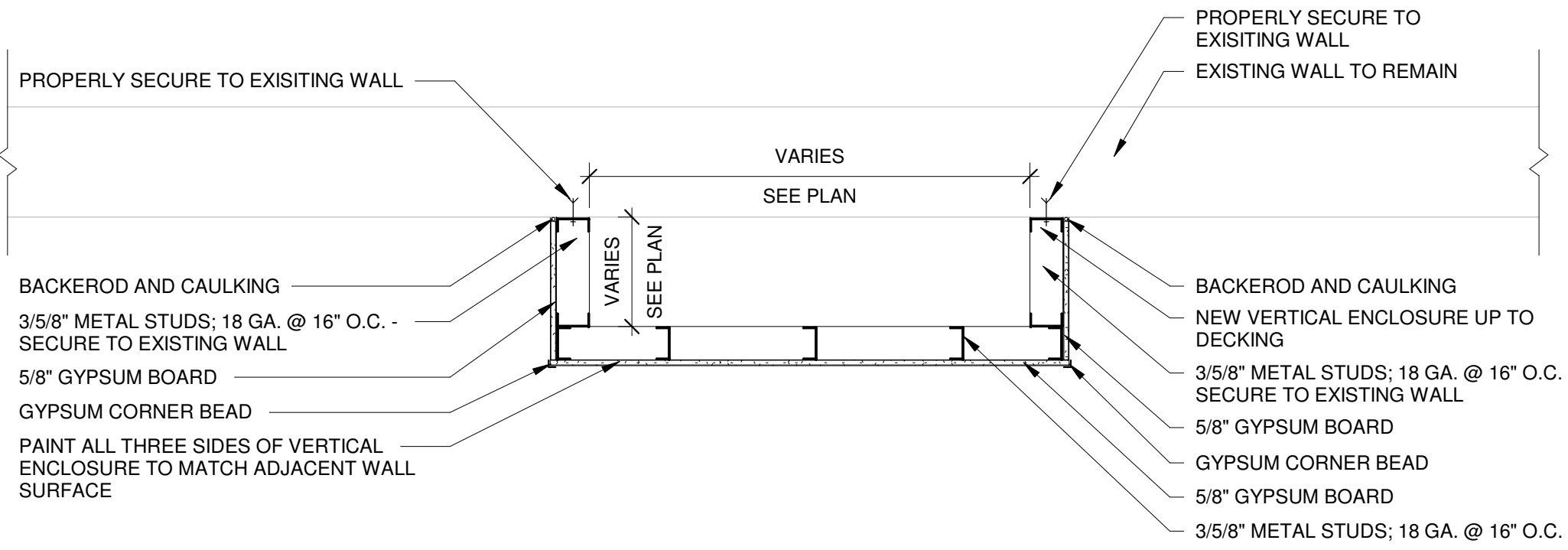
SHEET TITLE
SECOND FLOOR REFLECTED CEILING PLAN - AREA D

SCALE

Scale: **As Indicated**

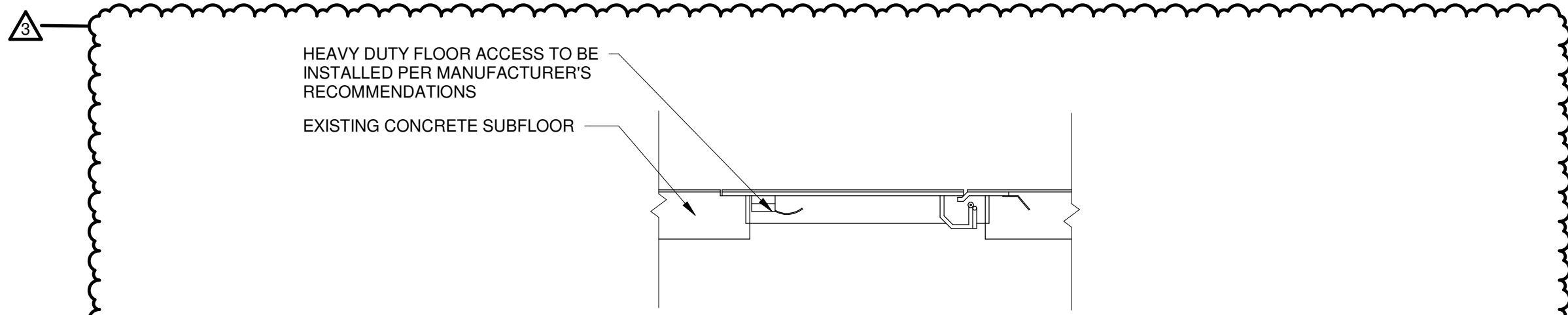
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A2.02D



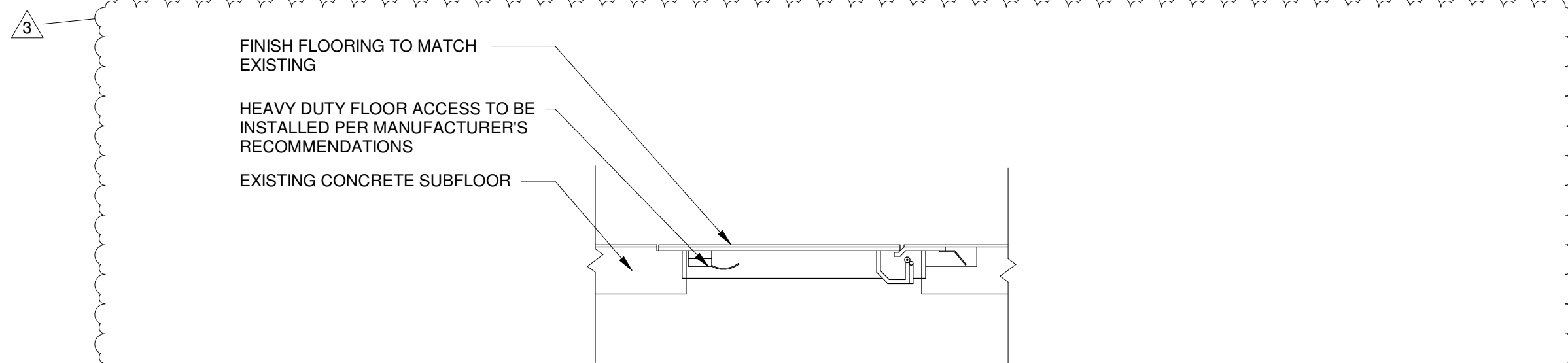
1 TYPICAL DETAIL AT VERTICAL ENCLOSURES

3/4" = 1'-0"



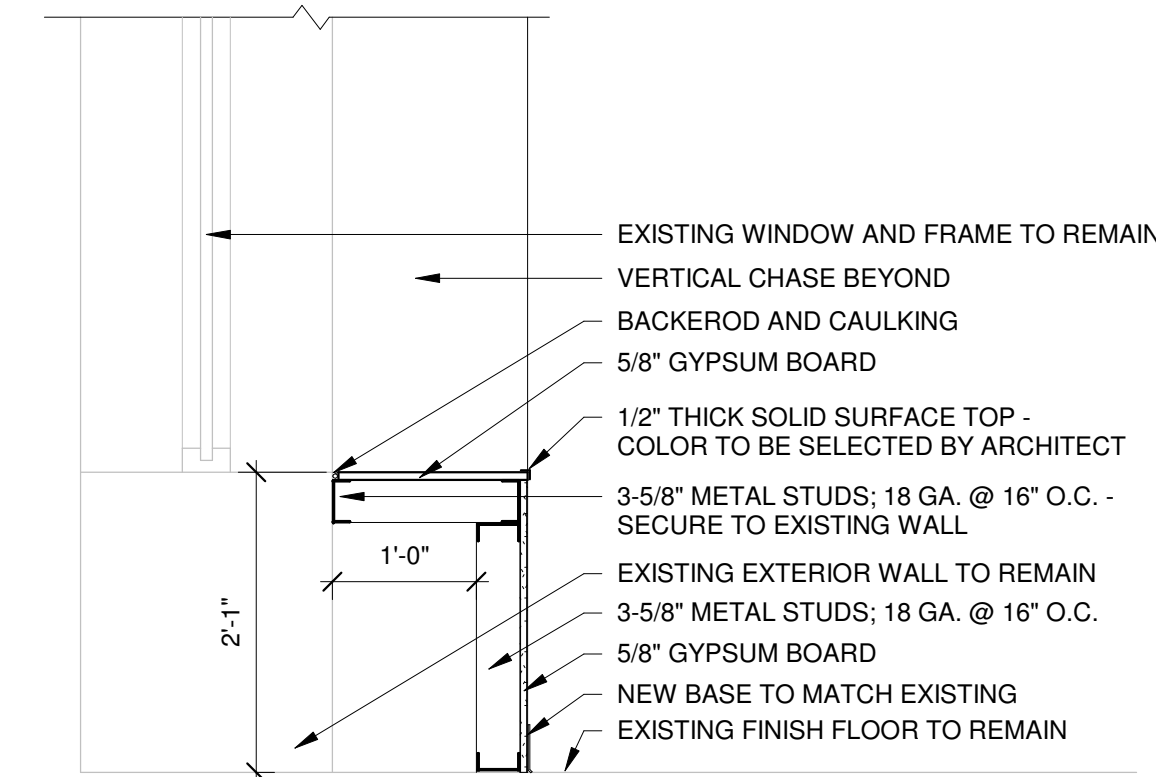
4 A TYPICAL DETAIL AT ACCESS DOOR

3/4" = 1'-0"



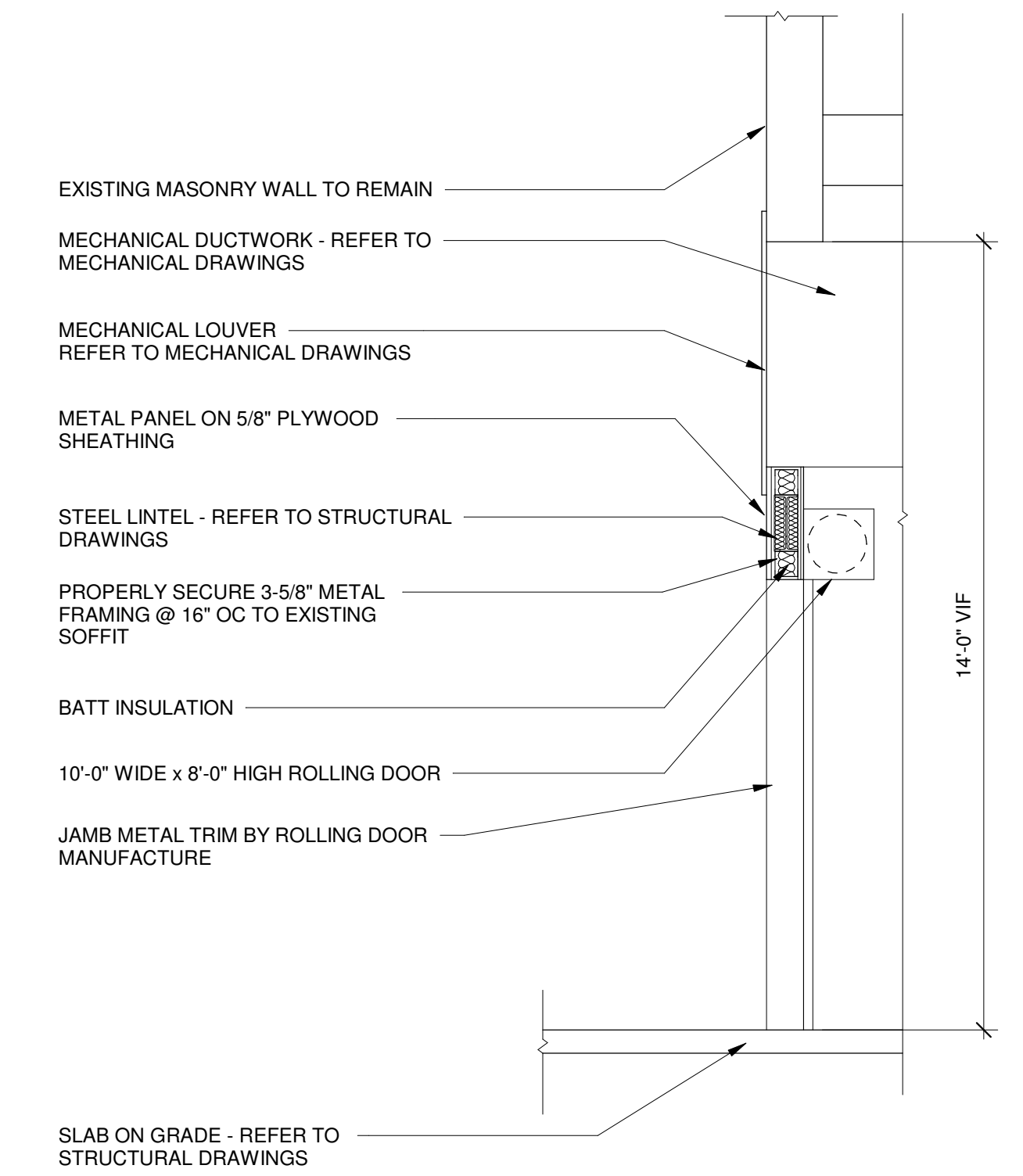
4 B TYPICAL DETAIL AT ACCESS DOOR B

3/4" = 1'-0"



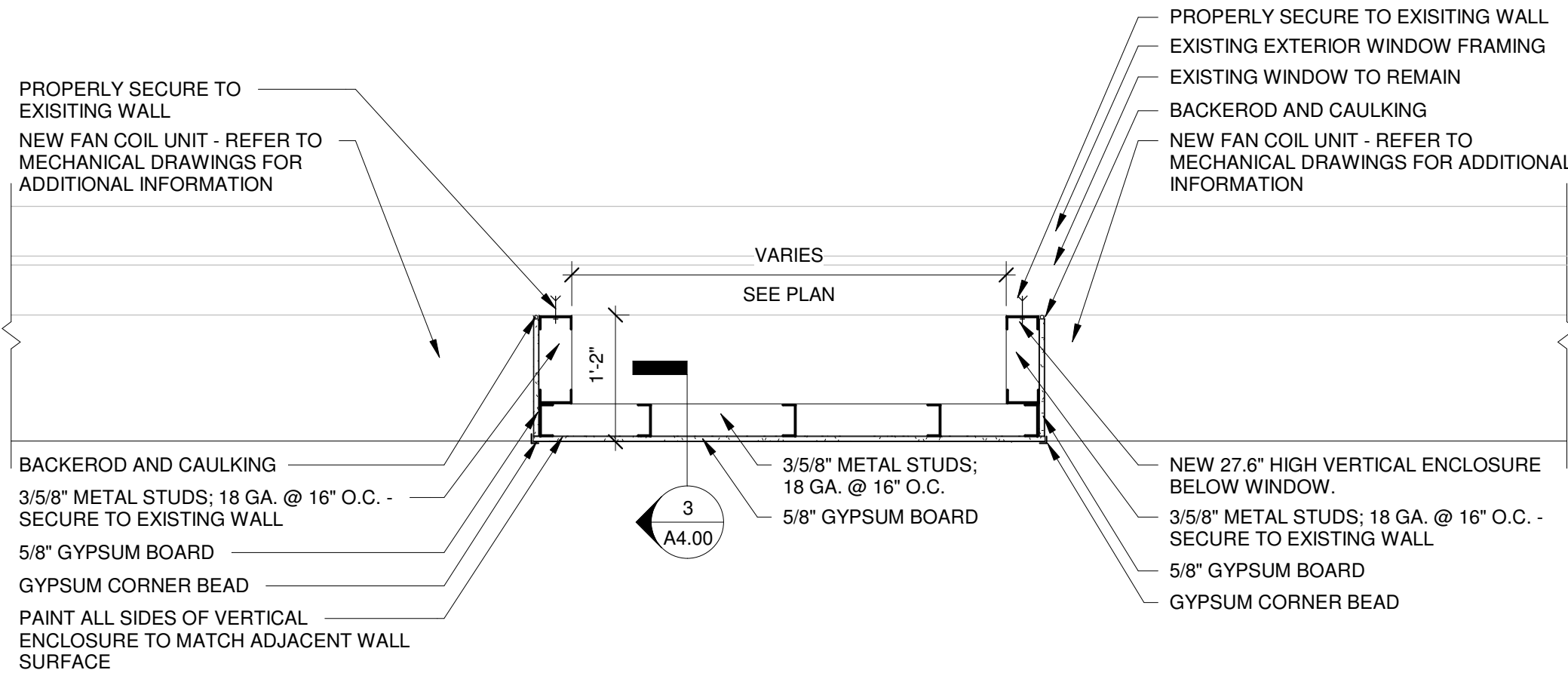
7 TYPICAL DETAIL AT ENCLOSURE BELOW WINDOW

3/4" = 1'-0"



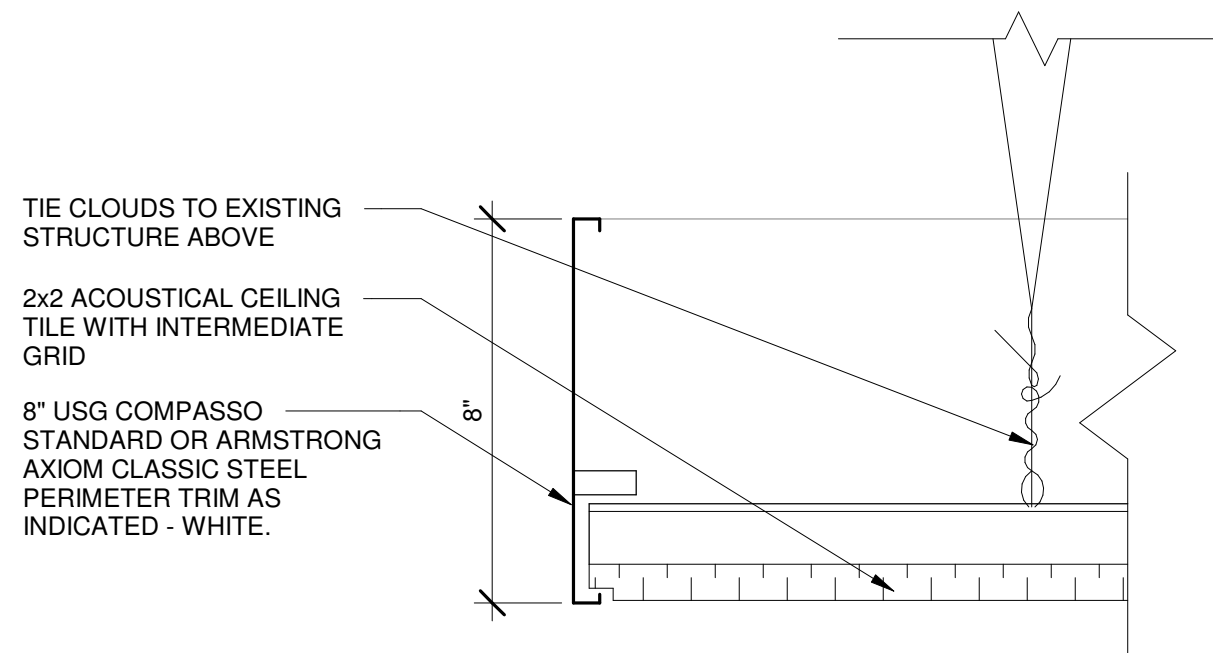
10 Flashing

3/8" = 1'-0"



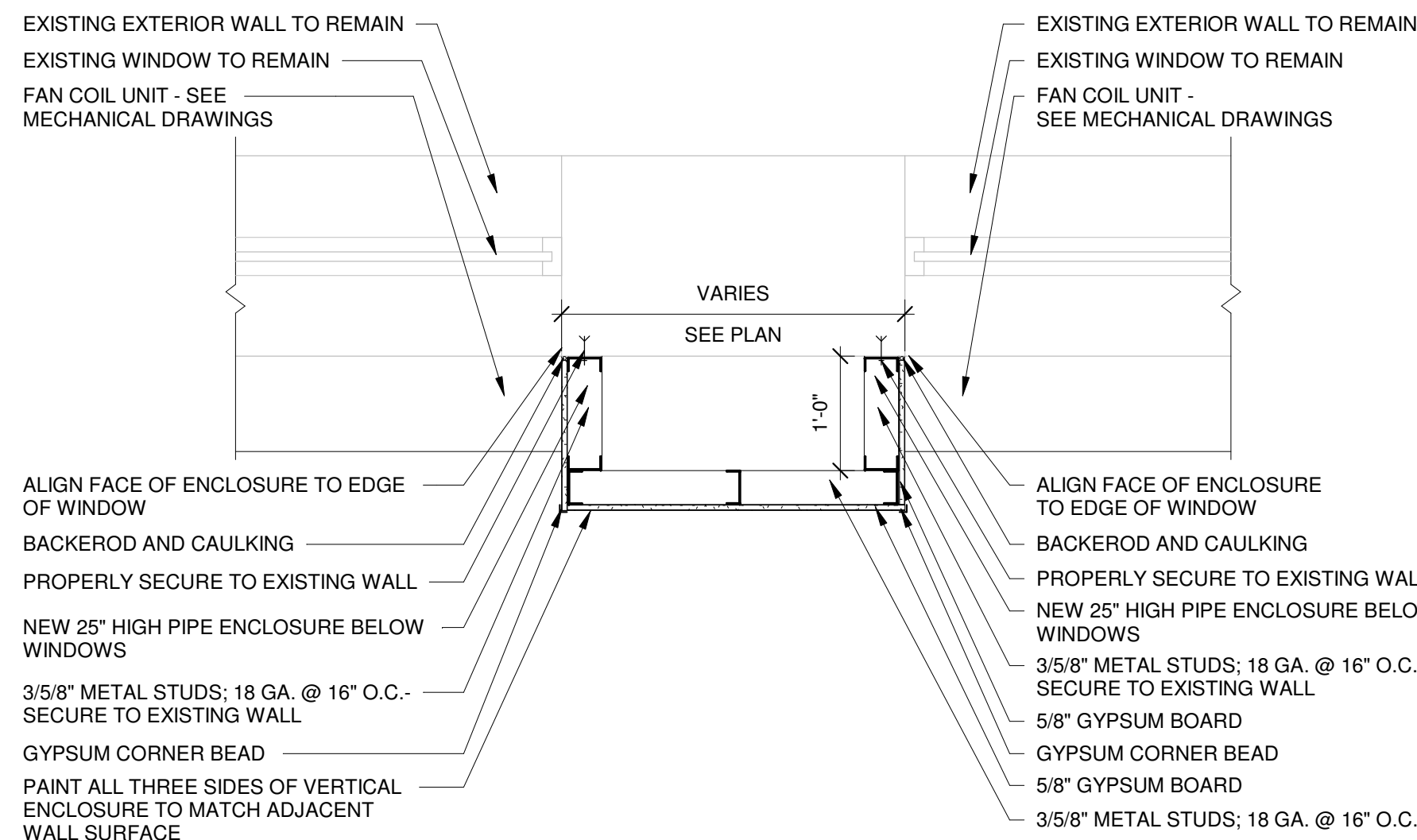
2 TYPICAL VERTICAL ENCLOSURE DETAIL BELOW WINDOWS

3/4" = 1'-0"



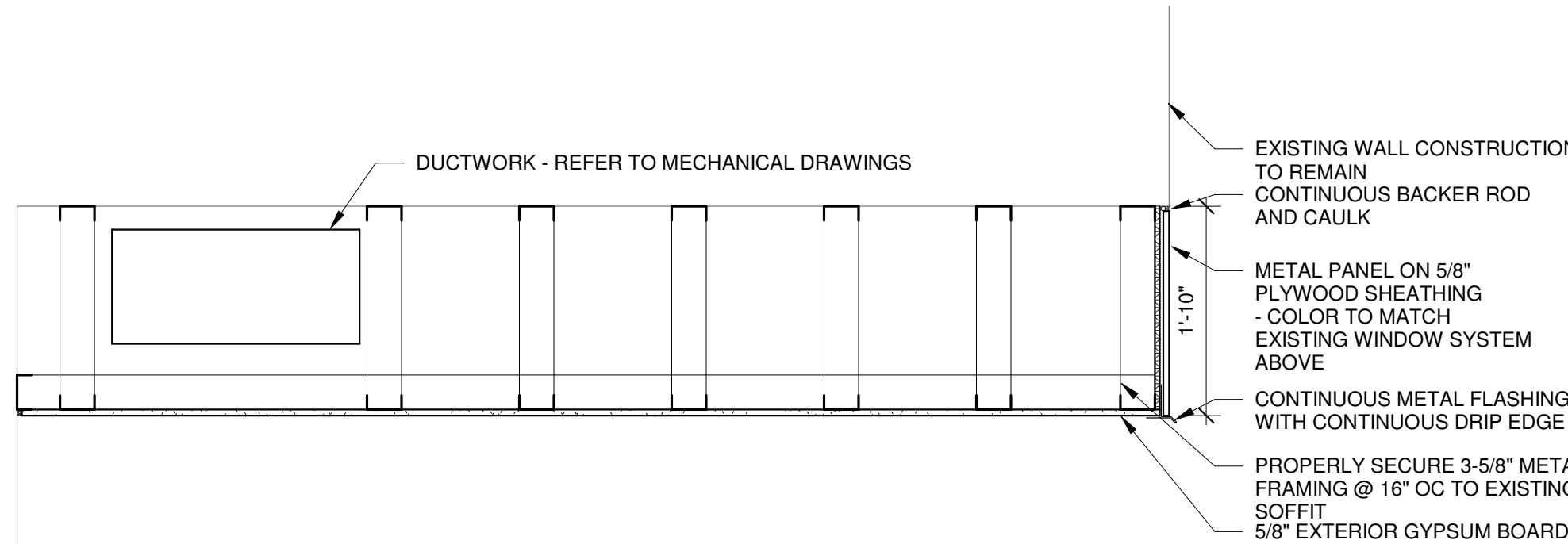
5 TYPICAL DETAIL AT CEILING CLOUD

3/4" = 1'-0"



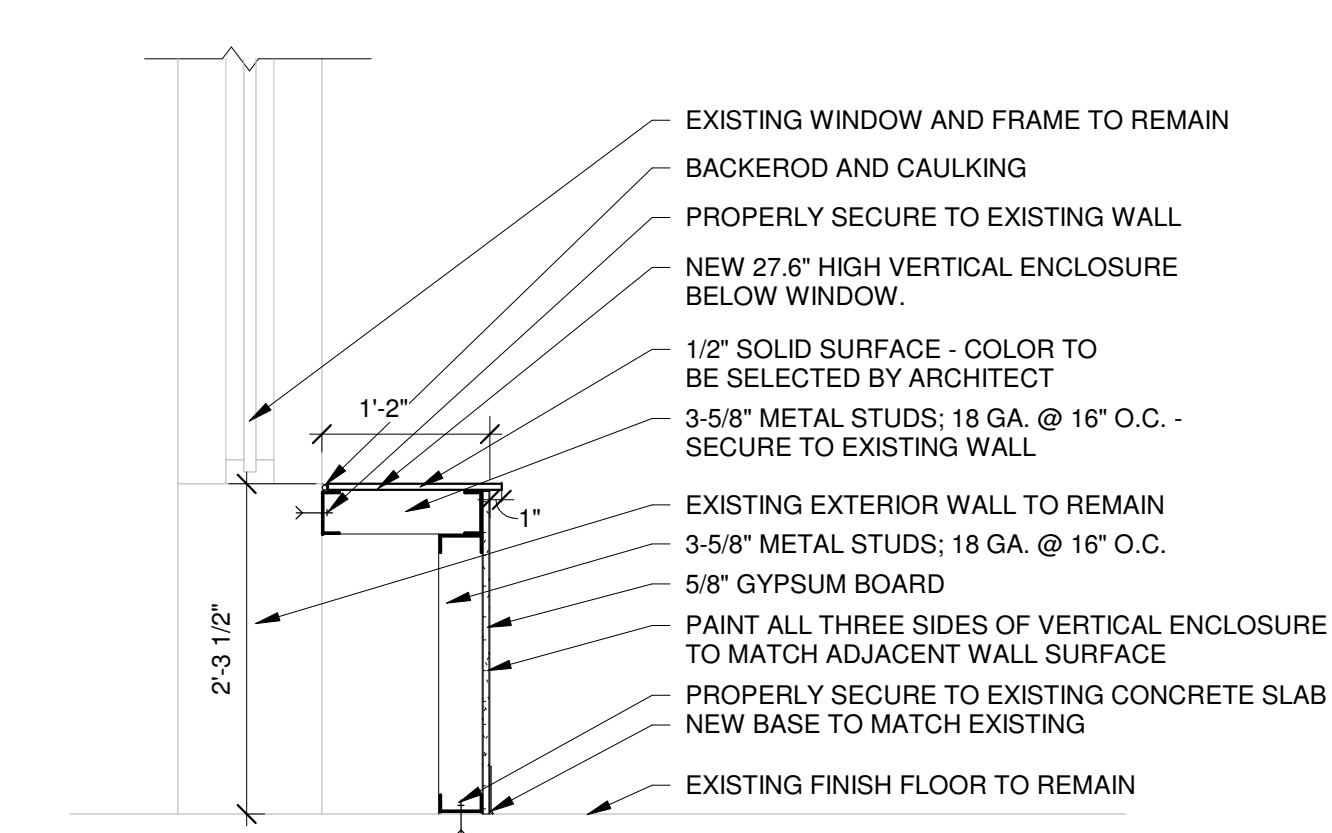
8 TYPICAL VERTICAL ENCLOSURE AT WINDOWS

3/4" = 1'-0"



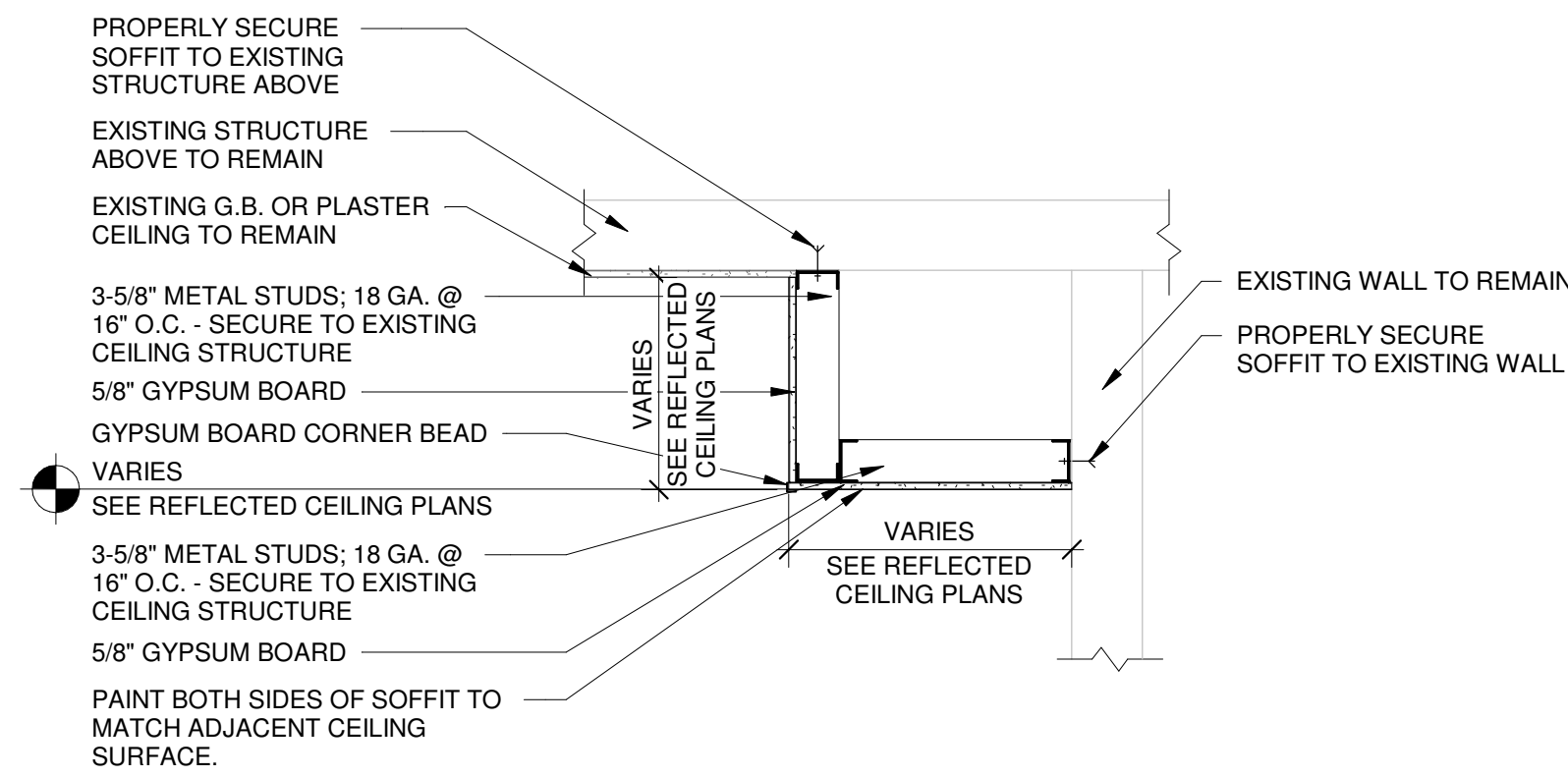
11 SOFFIT DETAIL

3/4" = 1'-0"



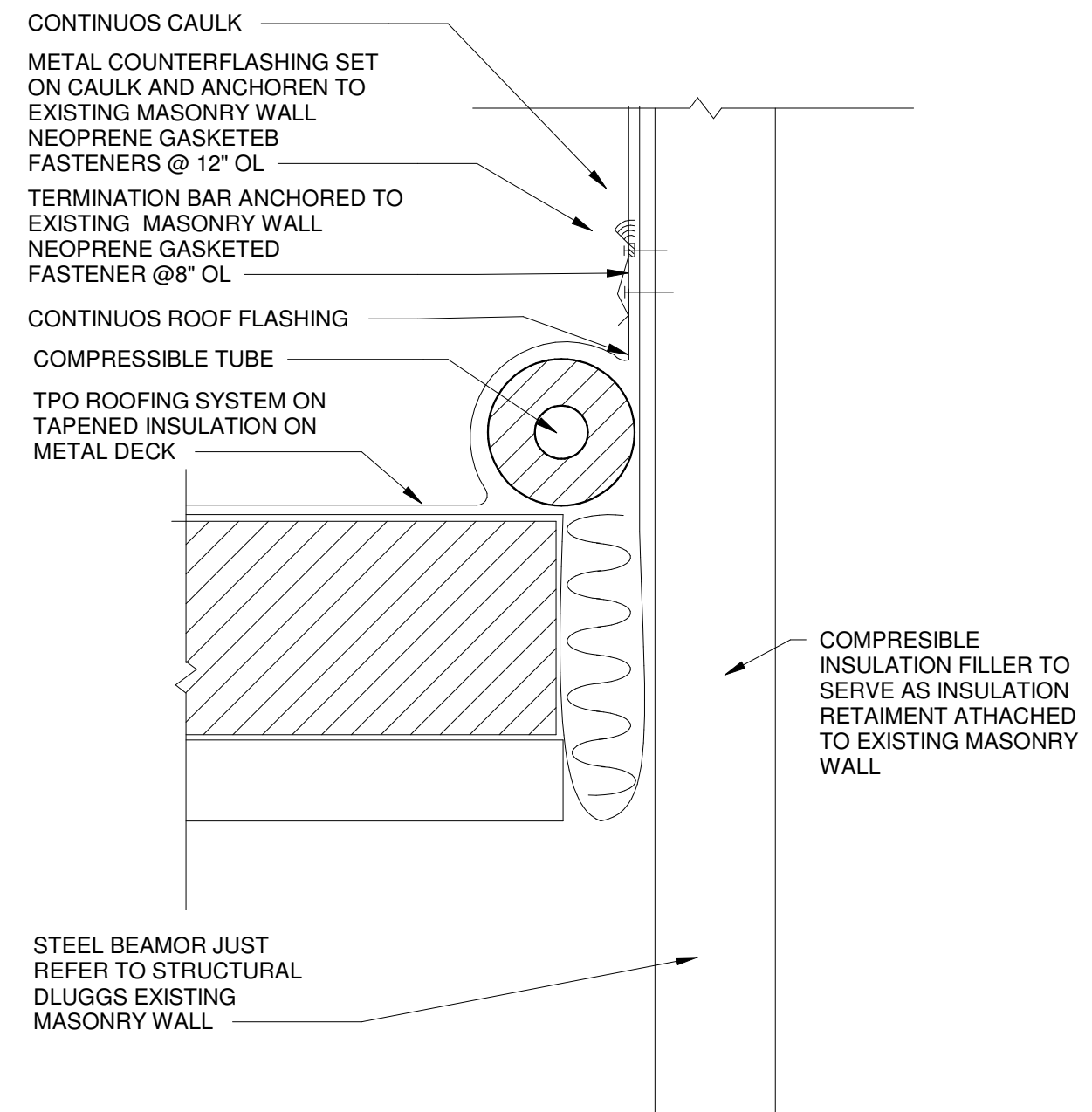
3 TYPICAL VERTICAL ENCLOSURE SECTION BELOW WINDOWS

3/4" = 1'-0"



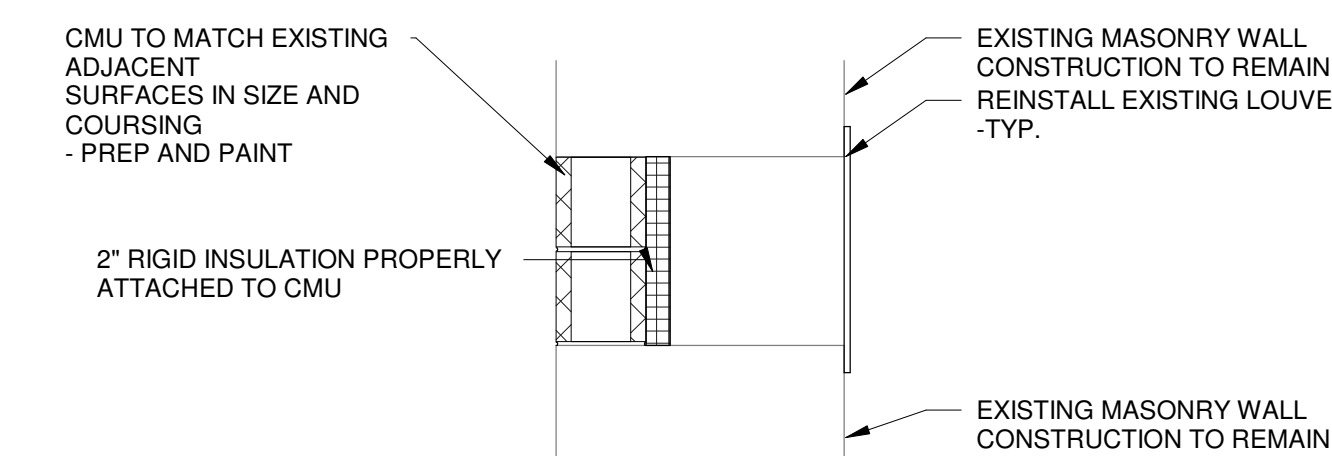
6 TYPICAL DETAIL AT GYPSUM BOARD SOFFIT

3/4" = 1'-0"



9 DETAIL ..

3/4" = 1'-0"



12 EXTERIOR WALL PATCHING DETAIL

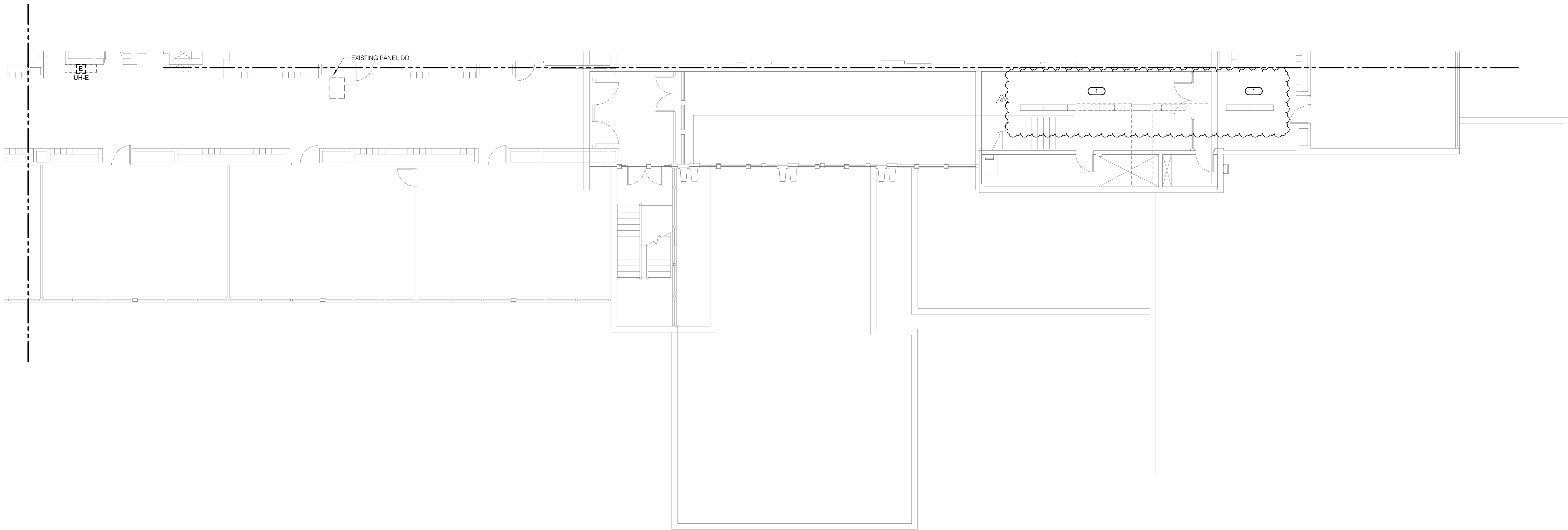
3/4" = 1'-0"



1

SECOND FLOOR DEMOLITION - ELECTRICAL - AREA C

1/8" = 1'-0"



2

SECOND FLOOR DEMOLITION - ELECTRICAL - AREA B

1/8" = 1'-0"

KEYNOTES: #

1. DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND CEILING MOUNTED DEVICES. SALVAGE EXISTING LIGHT FIXTURES AND DEVICES FOR REUSE. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR REUSE.



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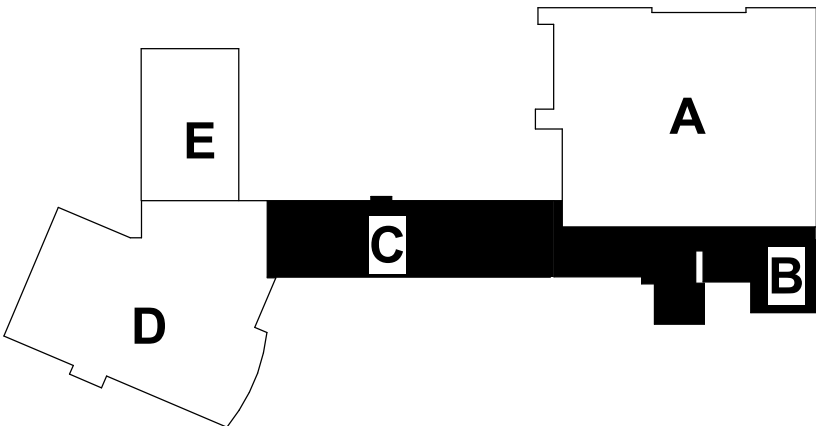
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REVISIONS

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4	03/10/2022	Addendum 9

SHEET INFORMATION

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Job Number	21002885.03
Drawn	JERVET
Checked	BRILEA
Approved	JERVET

SHEET TITLE

**SECOND
FLOOR
DEMOLITION**

**ELECTRICAL
- AREA B & C**

SCALE

Scale: **As Indicated**

SHEET NUMBER

E102B

21002885.03 3/10/2022 8:47:20 AM ESSER HVAC Improvements - Flinn Middle School



1

SECOND FLOOR DEMOLITION - ELECTRICAL - AREA D

1/8" = 1'-0"

KEYNOTES: #

1. DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES. SALVAGE EXISTING LIGHT FIXTURES FOR REUSE. SALVAGE AND MAINTAIN LIGHTING CIRCUIT FOR REUSE. TURN UNUSED FIXTURES OFF AT MAIN PANEL.
2. REMOVE FIXTURES IN SPACE AS REQUIRED FOR HVAC WORK. REINSTALL FIXTURES UPON COMPLETION OF HVAC WORK.



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ESSER HVAC
Improvements - Flinn
Middle School

2525 Ohio Pkwy, Rockford, IL 61108

Rockford Public Schools
#205

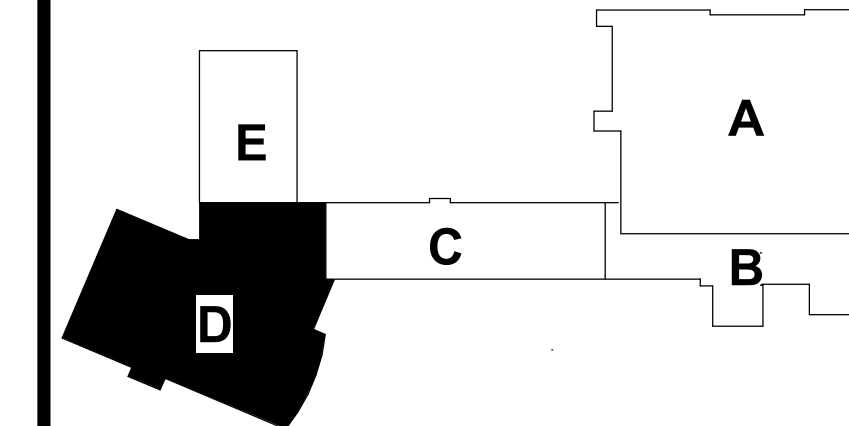
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Saavedra
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KEY PLAN



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REVISIONS

No.	Date	Revision / Issue
4	03/10/2022	Addendum 9

SHEET INFORMATION

Issue	BID DOCUMENTS
Date	JANUARY 28, 2022
Job Number	21002885.03
Drawn	JERVET
Checked	BRILEA
Approved	JERVET

SHEET TITLE

SECOND
FLOOR
DEMOLITION

ELECTRICAL
- AREA D

SCALE

Scale: As Indicated

SHEET NUMBER

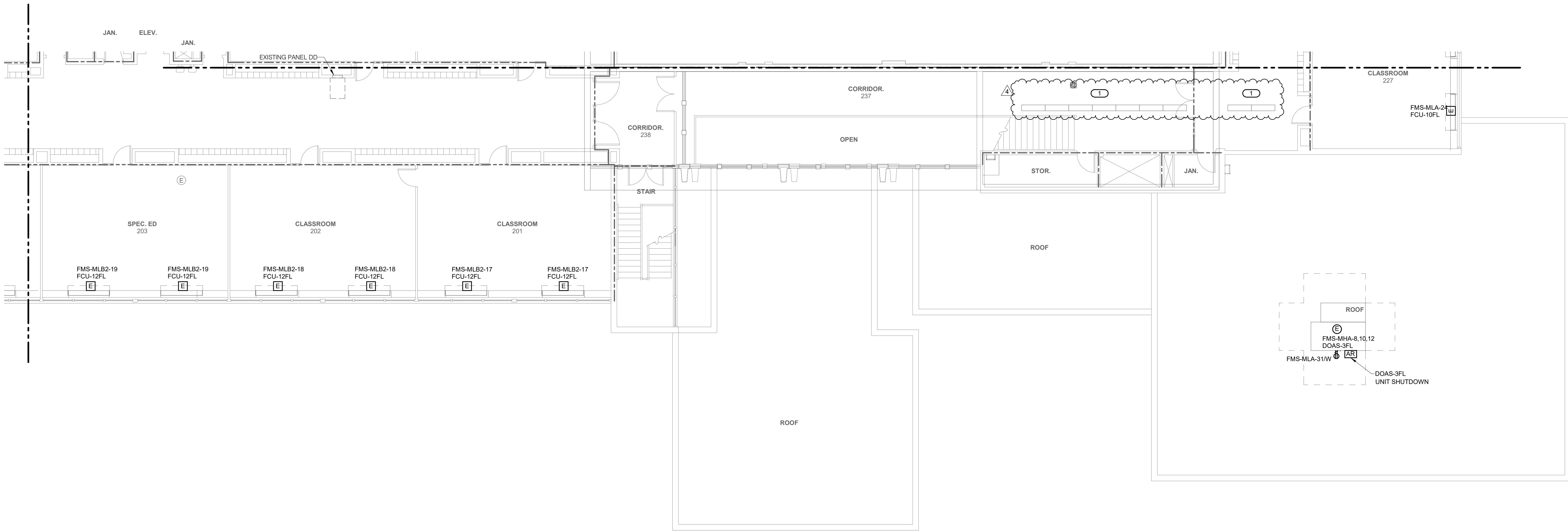
E102D



1

SECOND FLOOR - ELECTRICAL - AREA C

1/8" = 1'-0"



2

SECOND FLOOR - ELECTRICAL - AREA B

1/8" = 1'-0"

SHEET NOTES:

1. STARTERS AND DISCONNECTS FURNISHED WITH EQUIPMENT UNLESS NOTED OTHERWISE. REFER TO SHEET E203A FOR LOCATION OF PANELS 'FMS-MHA' AND 'FMS-MLA'.
2. REFER TO SHEET E201B FOR LOCATION OF PANEL 'FMS-MLB'.
3. BRANCH CIRCUITS FEEDING FAN COIL UNITS TO FOLLOW MECHANICAL PIPING TO REACH EQUIPMENT.

KEYNOTES:

1. REINSTALL FIXTURES AND CEILING MOUNTED DEVICES SALVAGED FROM DEMOLITION ON NEW CEILING. UTILIZE EXISTING LIGHTING CIRCUIT TO REFEED SALVAGED FIXTURES.



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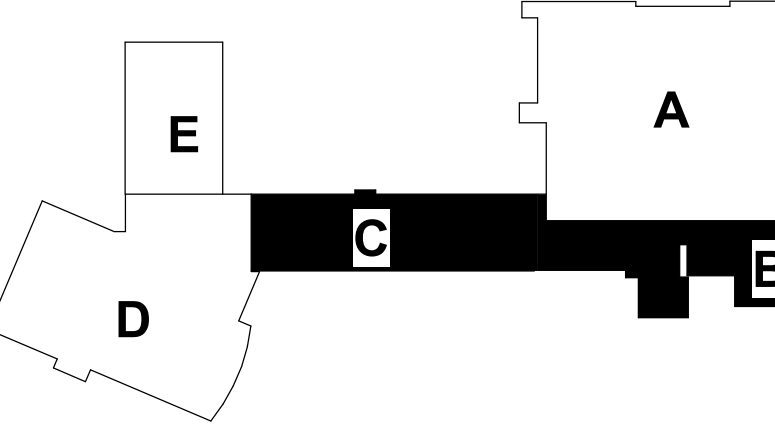
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SHEET TITLE

SECOND
FLOOR -
ELECTRICAL
- AREA B & C

SCALE

Scale: As Indicated

SHEET NUMBER

E203B