



**ROCKFORD BOARD OF EDUCATION
INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES
FOR SCHOOL DISTRICT NO. 205
ROCKFORD, ILLINOIS**

IFB No. 23-23 Kennedy M.S. Roof Replacement

DATE: October 7, 2022

RE: ADDENDUM NO. 2

To All Bidders:

Included are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 1st floor prior to coming to the bid opening. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Director of Purchasing by email at purchasingdeptstaff@rps205.com.

ROCKFORD BOARD OF EDUCATION

By: Dane Youngblood
Director of Purchasing

ADDENDUM # 02

TO: ALL BIDDERS

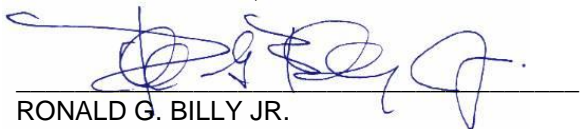
RE: CHANGES TO PROJECT MANUAL AND DRAWINGS DATED SEPTEMBER 12, 2022

DATE: OCTOBER 6, 2022

SUBJECT: RPS 205 KENNEDY M.S. ROOF REPLACEMENT
ROCKFORD, IL
ARCHITECT PROJECT #21-13910

PLEASE ATTACH THIS ADDENDUM TO THE PROJECT MANUAL FOR THIS PROJECT AND KINDLY
TAKE SAME INTO CONSIDERATION IN PREPARING YOUR CONSTRUCTION COST BREAKDOWN.

1919 ARCHITECTS, P.C.



RONALD G. BILLY JR.

THIS ADDENDUM CONSISTS OF 2 (TWO) PAGES AND ATTACHMENTS

ADDENDUM # 02

CLARIFICATIONS TO THE DRAWINGS DATED: 09/12/2022

1. Where is a vapor retarder needed on the new roof?
 - a. Spec section 07 5423 section 2.03 Item 'C' removed from spec. A vapor retarder is not required.
2. Is 'Versico' the only accepted manufacturer for the new TPO membrane?
 - a. No, approved equals will be reviewed/accepted.
3. Will roof perimeter blocking remain existing or will it be new?
 - a. Perimeter blocking will be all new – drawings and details have been updated to reflect new blocking at roof perimeter.
4. Will roof drains need to drain in 48 hours? (spec)
 - a. Yes, this still applies.
5. Will new insulation need to be 20psi or 25psi?
 - a. 20 psi for the new roof insulation.
6. Will the new roof be a total tear-down to roof deck or replace only where damaged/wet?
 - a. All areas of roof are to be a complete tear down to roof deck, new R-30 insulation, coverboard, and TPO membrane.
7. Will there be an allowance for damaged insulation?
 - a. No, the extent of work is a complete tear-off and will not be salvaging insulation.
8. Will there be an official price declaration for bidders?
 - a. No, this will not be offered from RPS 205.
9. Will the ballasted roof insulation be damaged?
 - a. Most likely - all will be replaced and new cricket locations will be added to these areas – see Addendum 1 drawings.
10. How much insulation will be needed at new roof?
 - a. All new R-30 at all roof locations will be required.

11. What gauge is the new coping at Barbour roofs?

a. Please see the following for coping spec:

1. Copings: Fabricate in minimum **96-inch- (2400-mm-)** long, but not exceeding **12-foot- (3.6-m-)** long, sections. Fabricate joint plates of same thickness as copings. Furnish with continuous cleats to support edge of external leg and interior leg. Miter corners, **fasten and seal** watertight. **Shop fabricate interior and exterior corners.**

1. Coping Profile: **Fig. 3-4A** in accordance with SMACNA's "Architectural Sheet Metal Manual."

2. Joint Style: **Butted with expansion space and 6-inch- (150-mm-) wide, concealed backup plate.**

3. Fabricate from the following materials:

1. Aluminum: **0.050 inch (1.27 mm)** thick.

CHANGES TO THE DRAWINGS DATED: 09/12/2022

G-1.0: Addendum 1 notation added.

G-1.0: Keyplan showing roof construction information and roof area scope of work added.

A-1.0: Changes to the upper roof plan include:

1. Roof edge detail reference number changes due to removal of ballasted edge Detail (2/A-2.0).
2. General remove and replace notes added to roof areas for clarification.
3. Roof drain count and locations changed.
4. Roof crickets added to previously ballasted roof areas due to the discovery of ponding water (very flat area(s)). R-30 minimum insulation value noted.
5. Roof ladder locations and counts have changed.
6. Roof top piping blocks (currently wood blocking) now shown and noted.

A-2.0: Changes to the lower roof plan include:

1. All of the changes to A-1.0 listed above.
2. Detail 2/A-2.0 removed.
3. Notes on sheet details changed to reflect replacement of all insulation, new components/accessories coping/flashing and specified R-30 insulation.

A-3.0: Changes to the roof details include:

1. Notes on details changed to reflect replacement of all insulation, new components/accessories, coping/flashing and specified R-30 insulation.

Kennedy Roof Replacement Meeting Minutes

Pre-bid Meeting

September 27, 2022

21-13910

Architect: 1919 Architects, P.C.

Attendees: Sandro Ignjatovic/RPS 205
Joseph Kreidl/1919 Architects
Zach Enderle/1919 Architects
Paul Naretta/McDermaid Roofing
Matt Guentzel/Combined Roofing
Dan Kennington/Distinctive Roofing
Edwin Carlson/Roofing Systems Inc.

Summary:

1. All parties introduced themselves
2. Drawings were reviewed in meeting room.
3. Questions asked during drawing review:
 1. Where will vapor retarder be required at new roof?
 2. Is 'Versico' the only roof membrane manufacturer that will be accepted to use?
 3. Will blocking at roof perimeter be new or reused?
 4. Do roof drains need to drain within 48 hours? (Spec)
 5. Does new insulation need to be 20psi or 25psi?
 6. Will it be a total tear-down to deck or replace only damaged/wet insulation?
 7. Will there be an allowance for damaged insulation?
 8. Will there be an initial price declaration for bidders?
 9. Will the ballasted roof insulation be damaged? Most likely
4. Walked Kennedy roof and fielded contractor questions.
5. Discovered pooling areas at ballasted roofs, presumably damaged insulation in most areas from signs of ponding water.
6. Contractor question about insulation thickness – See addendum 01.
7. Meeting Adjourned.

END ADDENDUM # 02

IFB 23-23 - KENNEDY ROOF REPLACEMENT



KENNEDY MIDDLE SCHOOL:

LOCATION: ROCKFORD PUBLIC SCHOOL DISTRICT #205
520 N. PIERPONT AVE.
ROCKFORD, IL 61101

ARCHITECT: 1919 ARCHITECTS
4000 MORSAY DRIVE
ROCKFORD, IL 61107



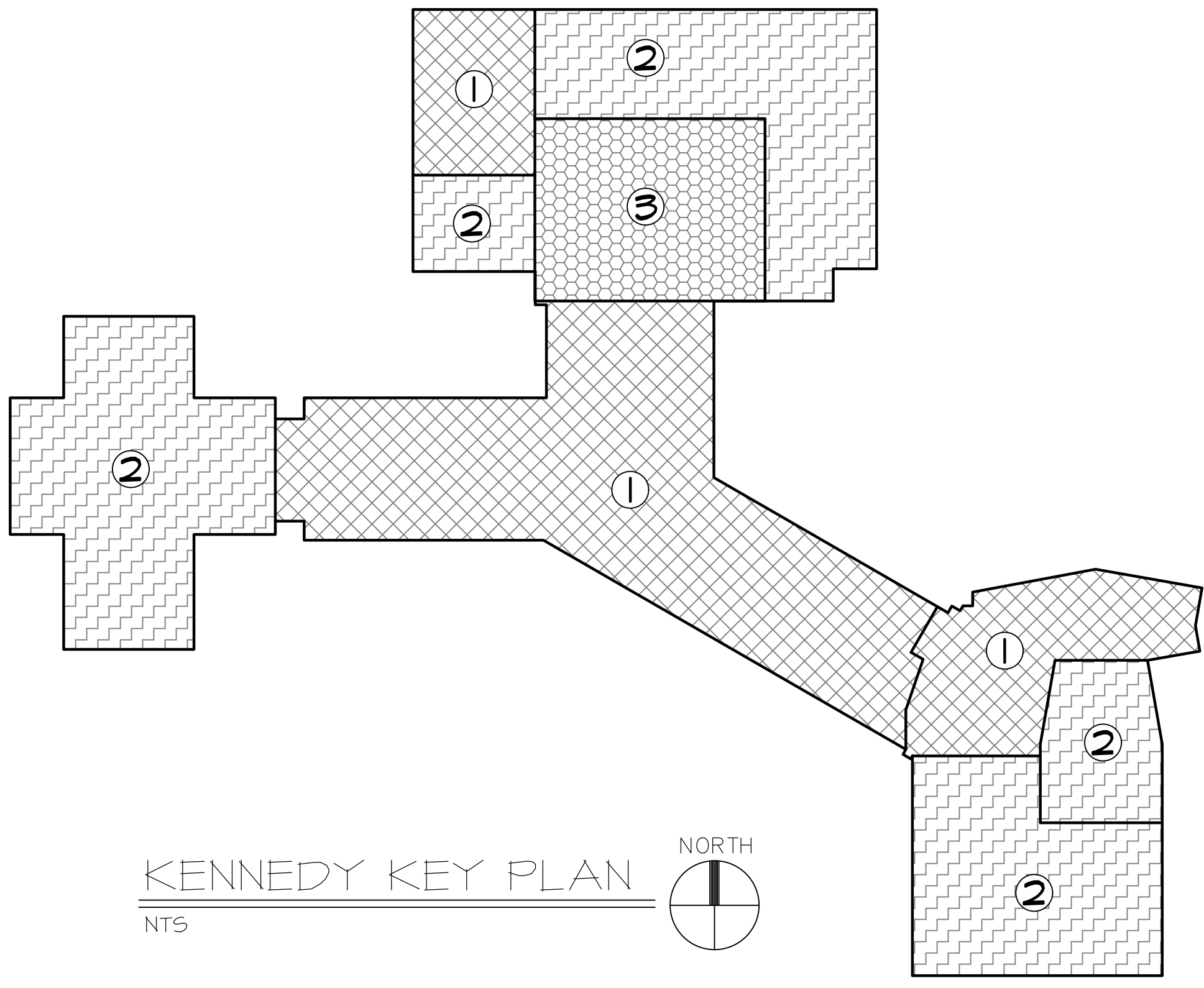
REVISION 1
10-06-2022

1 KENNEDY ELEMENTARY SITE PLAN
SCALE: NTS
RPS #2236

KEY PLAN KEYNOTES:

- ① AREA OF EXISTING MECHANICALLY FASTENED, BALLASTED MEMBRANE ROOF - MEMBRANE POLYISO AND COVERBOARD IS TO BE COMPLETELY REMOVED TO DECK AND REPLACED. BALLAST ROCK IS TO BE COMPLETELY REMOVED FROM EXISTING ROOF AND TO BE DISPOSED OF OR TURNED OVER TO USING AGENCY. NEW ROOF WILL BE MECHANICALLY FASTENED TPO, PER DETAILS, OVER R-30 (MINIMUM) INSULATION VALUE AND NEW COVERBOARD.
- ② AREA OF EXISTING MECHANICALLY FASTENED MEMBRANE ROOF (NON-BALLASTED) - MEMBRANE, POLYISO AND COVERBOARD IS TO BE COMPLETELY REMOVED TO DECK AND REPLACED. NEW ROOF WILL BE MECHANICALLY FASTENED TPO, PER DETAILS, OVER R-30 (MINIMUM) INSULATION VALUE AND NEW COVERBOARD.
- ③ AREA OF ADHERED MEMBRANE ROOF (NON-BALLASTED) - MEMBRANE, POLYISO AND COVERBOARD IS TO BE COMPLETELY REMOVED TO 4-PLY AND REPLACED. NEW ROOF WILL BE ADHERED TPO, PER DETAILS, OVER R-30 (MINIMUM) INSULATION VALUE AND NEW COVERBOARD.

*ALL ROOF BALLAST TO BE REMOVED AND DISPOSED OF.
* ALL ROOF PERIMETER BLOCKING IS TO BE REPLACED



KENNEDY KEY PLAN
NTS

MATERIAL INDICATIONS		GRAPHIC SYMBOLS	
	EARTH		ROUGH WOOD
	GRAVEL OR SAND FILL		FINISH WOOD
	CONCRETE		PLYWOOD
	BRICK MASONRY		VAPOR BARRIER
	BRICK MASONRY		LOOSE OR BATT INSULATION
	RIGID INSULATION		
		DETAIL OR SECTION	DETAIL NO. 2
			SHEET NO. 2
		DOOR SYMBOL	(01)
		ELEVATION SYMBOL	ELL

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SHEET INDEX

GENERAL	G-1.0	COVER SHEET
ARCHITECTURAL	A-1.0	KENNEDY ROOF PLAN
	A-2.0	KENNEDY ROOF PLAN
	A-3.0	DETAILS

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25 Code, (71 Ill. Adm. Code 400.) and the Illinois Accessibility

Signed: _____
Architect/Engineer
ILLINOIS REGISTRATION NO.: 001-015480
Exp. Date: 11/30/22
PROFESSIONAL DESIGN FIRM NO.: 184.003452

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4000 Morsay Drive
Rockford, IL 61107
(815) 223-8222
www.1919architects.com

1506 CLOVER AVE.
ROCKFORD, IL 61102

21-1810
04-12-2023
Project Number

Rev. Date
10-06-22

Sheet No.
G-1.0

ARCHITECT

OWNER

CONTRACTOR

BIDDING CO.

ROOF REPLACEMENT AND REPAIRS

GENERAL NOTES

- (THIS SHEET ONLY)
- ALL ROOF DIMANSIONS ARE GIVEN FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY.
 - CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE PROJECT AND TO FIELD VERIFY EXISTING CONDITIONS. THE LCOATIONS OF PLUMBING VENT PIPES, ROOF EQUIPMENT AND DOWNSPOUTS MAY VARY. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS NECESSARY TO COMPLETE THE DESCRIBED WORK.
 - CONTRACTOR SHALL ONLY REMOVE (OR WORK ON) AREA OF ROOFING WHICH CAN BE REPLACED IN A SINGLE WORKING DAY.
 - LOCATIONS OF ROOF MOUNTED EQUIPMENT MAY VARY SLIGHTLY.
 - CLEAN SEAM AREAS, OVERLAP ROOFING MEMBRANE AND HOT-AIR WELD SIDE AND END LAPS OF ROOFING MEMBRANE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
 - TEST LAP EDGES WITH PROBE TO VERIFY SEAM WELD CONTINUITY.
 - VERIFY FIELD STRENGTH OF SEAM A MINIMUM OF TWICE DAILY AND REPAIR SEAM SAMPLE AREAS.
 - REPAIR TEARS, VOIDS, AND LAPPED SEAMS IN ROOFING MEMBRANE THAT DOES NOT MEET REQUIREMENTS.
 - VERIFY THAT ALL ROOF EQUIPMENT IS 8" (MINIMUM) FROM BOTTOM OF UNIT TO NEW ROOF MEMBRANE. IF UNIT DOES NOT MEET CLEARANCE, THE CURB MUST BE RAISED OR A NEW CURB MUST BE INSTALLED TO MEET MINIMUM DISTANCE TO BOTTOM OF ROOF TOP EQUIPMENT.

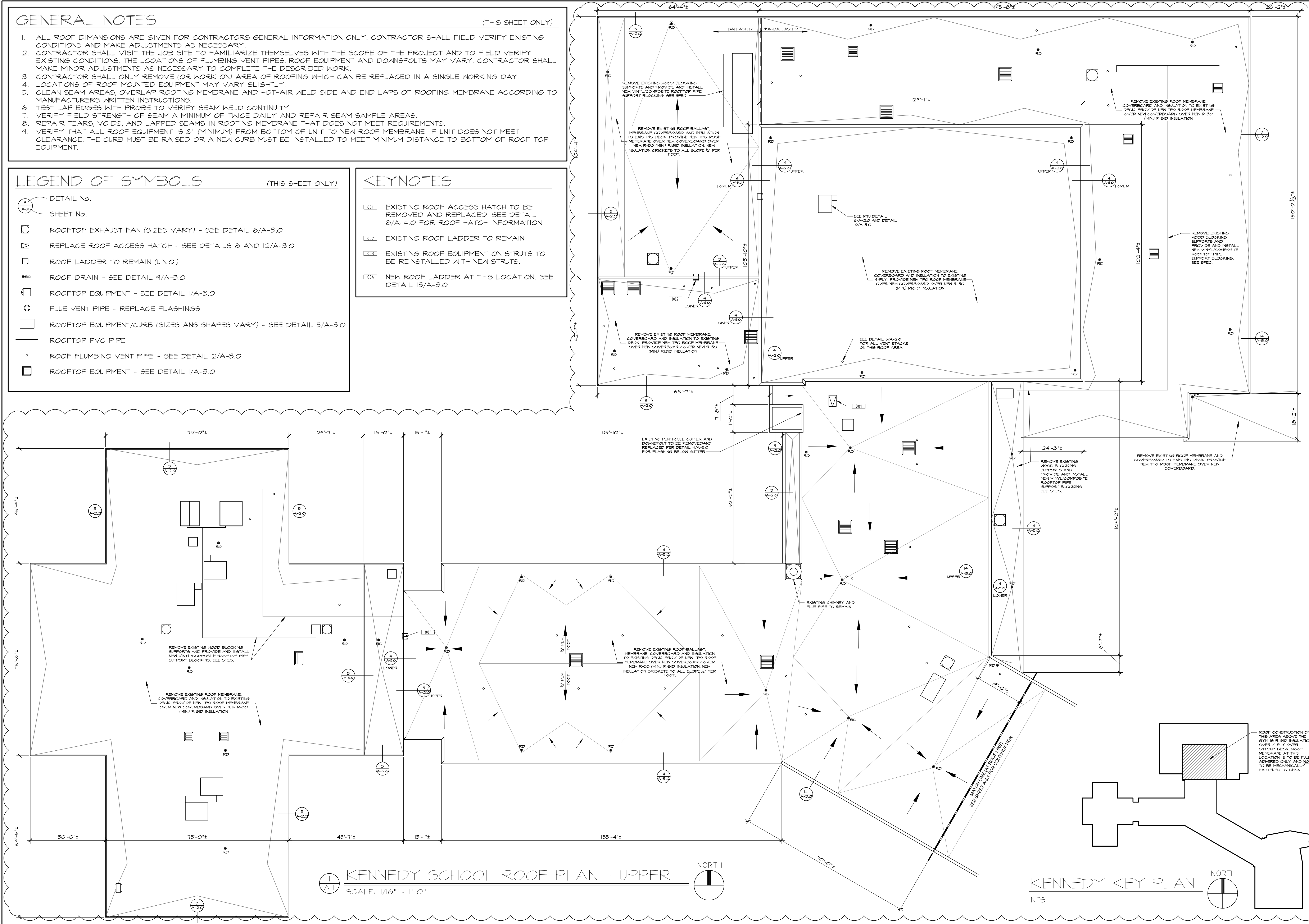
LEGEND OF SYMBOLS

(THIS SHEET ONLY)

- DETAIL No.
 SHEET No.
 ROOFTOP EXHAUST FAN (SIZES VARY) - SEE DETAIL 6/A-3.0
 REPLACE ROOF ACCESS HATCH - SEE DETAILS 8 AND 12/A-3.0
 ROOF LADDER TO REMAIN (U.N.O.)
 ROOF DRAIN - SEE DETAIL 9/A-3.0
 ROOFTOP EQUIPMENT - SEE DETAIL 1/A-3.0
 FLUE VENT PIPE - REPLACE FLASHINGS
 ROOFTOP EQUIPMENT/CURB (SIZES ANS SHAPES VARY) - SEE DETAIL 5/A-3.0
 ROOFTOP PVC PIPE
 ROOF PLUMBING VENT PIPE - SEE DETAIL 2/A-3.0
 ROOFTOP EQUIPMENT - SEE DETAIL 1/A-3.0

KEYNOTES

- EXISTING ROOF ACCESS HATCH TO BE REMOVED AND REPLACED. SEE DETAIL 8/A-4.0 FOR ROOF HATCH INFORMATION
 EXISTING ROOF LADDER TO REMAIN
 EXISTING ROOF EQUIPMENT ON STRUTS TO BE REINSTALLED WITH NEW STRUTS.
 NEW ROOF LADDER AT THIS LOCATION. SEE DETAIL 13/A-3.0



1919
Architects

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ROOF REPLACEMENT AND REPAIRS

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