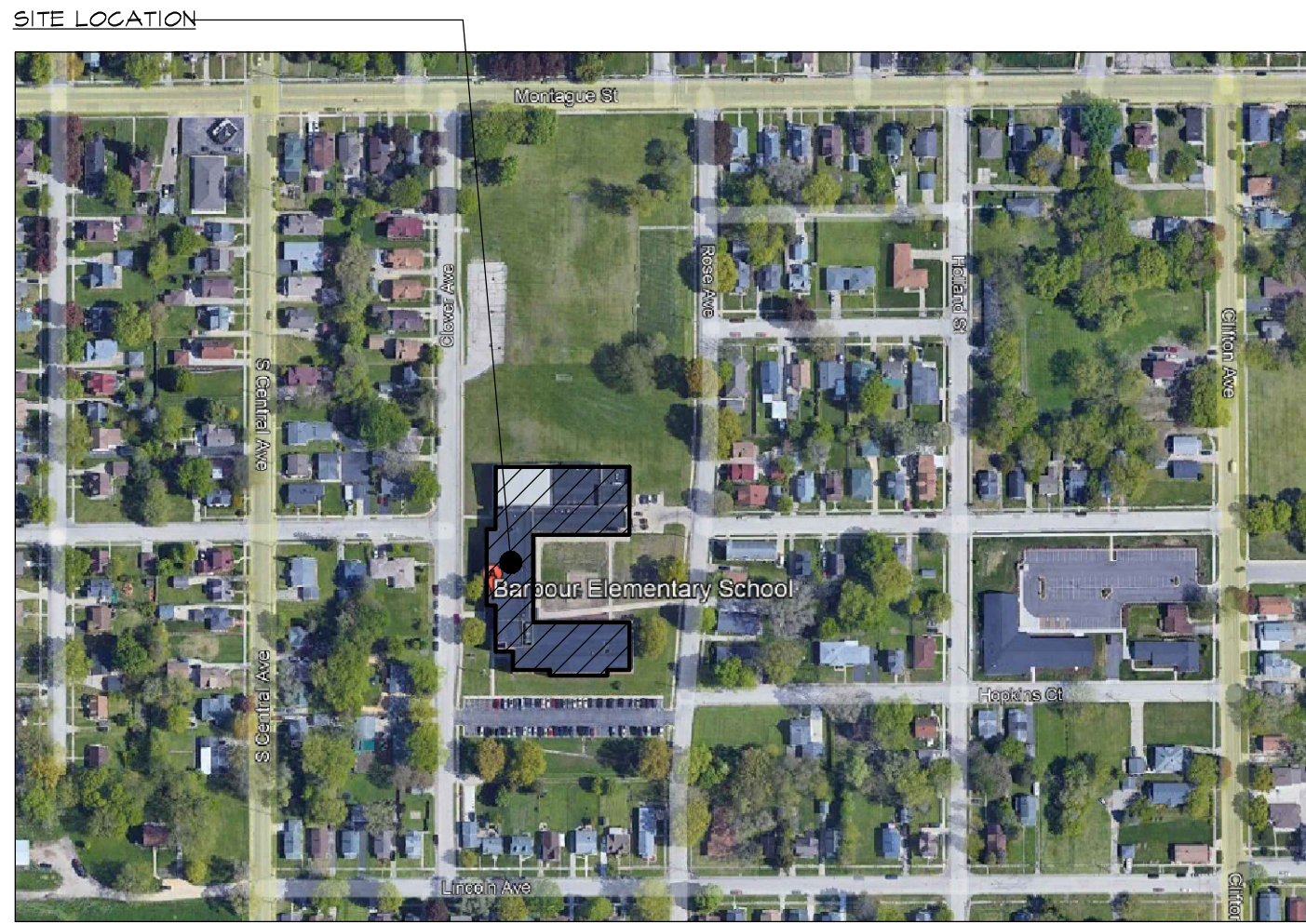


IFB 22-36 - BARBOUR AND KENNEDY ROOF REPLACEMENT

BARBOUR ELEMENTARY:

LOCATION: ROCKFORD PUBLIC SCHOOL DISTRICT #205
1506 CLOVER AVE.
ROCKFORD, IL, 61102

ARCHITECT: 1919 ARCHITECTS
4000 MORSAY DRIVE
ROCKFORD, IL 61107



1 BARBOUR ELEMENTARY SITE PLAN
SCALE: NTS
RPS #2232

KENNEDY MIDDLE SCHOOL:

LOCATION: ROCKFORD PUBLIC SCHOOL DISTRICT #205
520 N. PIERPONT AVE.
ROCKFORD, IL 61101

ARCHITECT: 1919 ARCHITECTS
4000 MORSAY DRIVE
ROCKFORD, IL 61107



2 KENNEDY ELEMENTARY SITE PLAN
SCALE: NTS
RPS #2236

MATERIAL INDICATIONS

	EARTH		ROUGH WOOD
	GRAVEL OR SAND FILL		FINISH WOOD
	CONCRETE		PLYWOOD
	BRICK MASONRY		VAPOR BARRIER
	BRICK MASONRY		LOOSE OR BATT INSULATION
	RIGID INSULATION		

GRAPHIC SYMBOLS

DETAIL OR SECTION	DETAIL NO.	2
	SHEET NO.	A3
DOOR SYMBOL		
ELEVATION SYMBOL		

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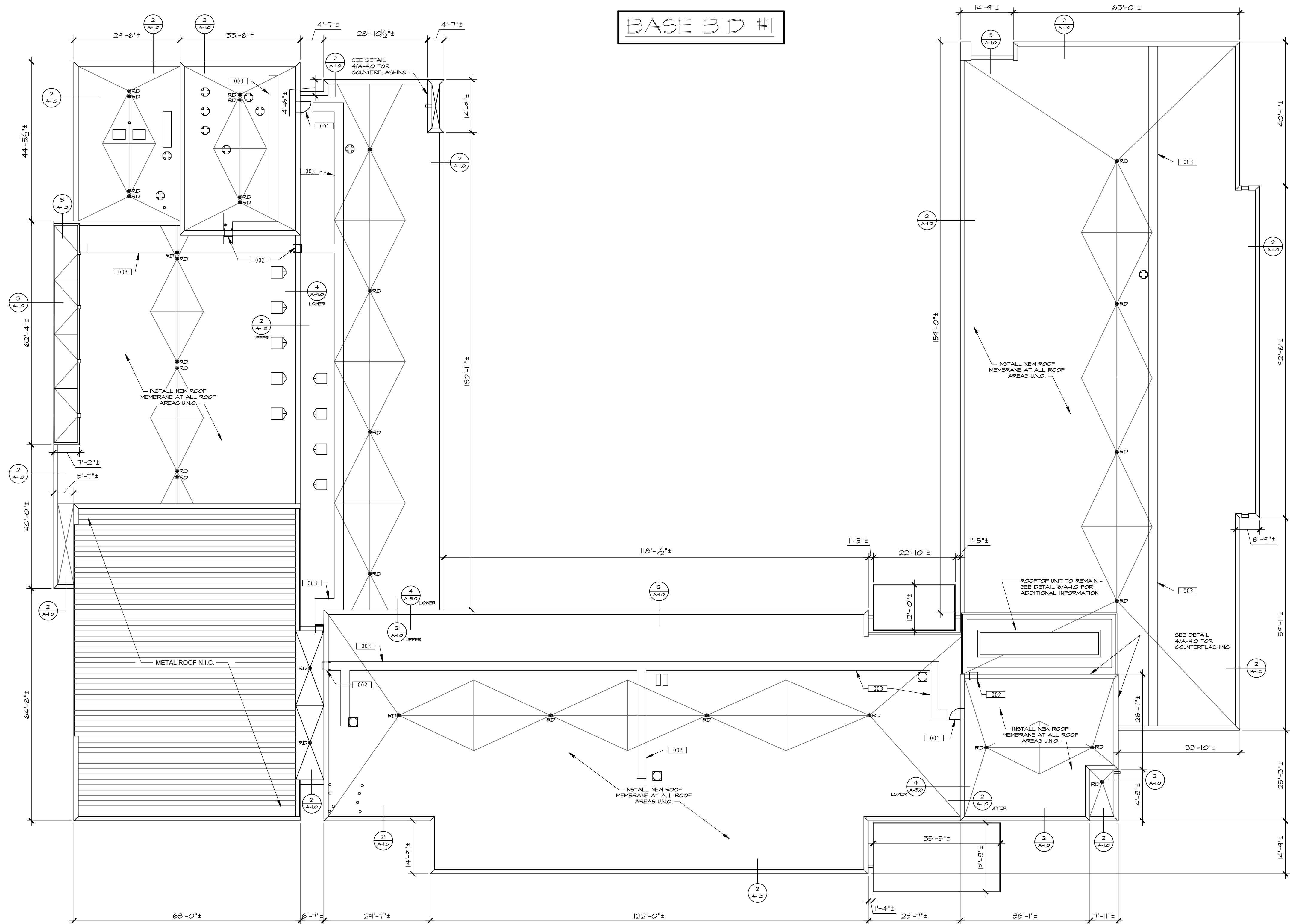
SHEET INDEX

GENERAL	COVER SHEET
ARCHITECTURAL	
A-1.0	BARBOUR BASE BID 1
A-1.0	BARBOUR BASE BID 2
A-2.0	KENNEDY ROOF PLAN
A-2.1	KENNEDY ROOF PLAN
A-3.0	DETAILS

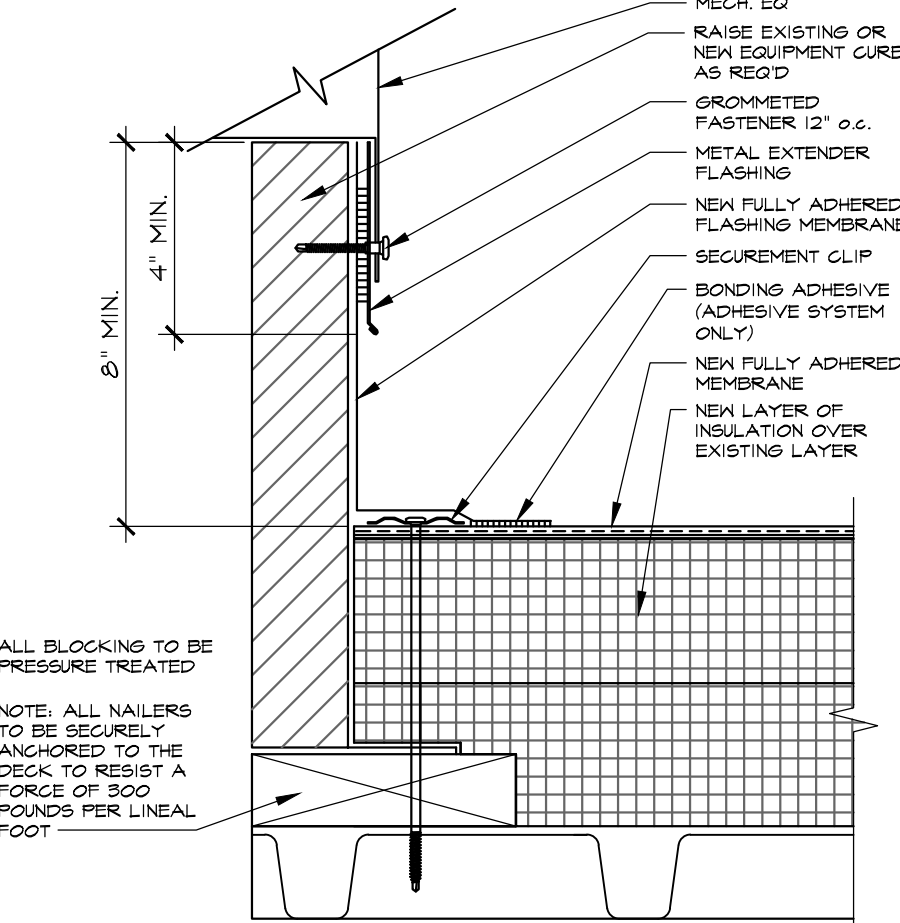
STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25 Code, (71 Ill. Adm. Code 400.) and the Illinois Accessibility

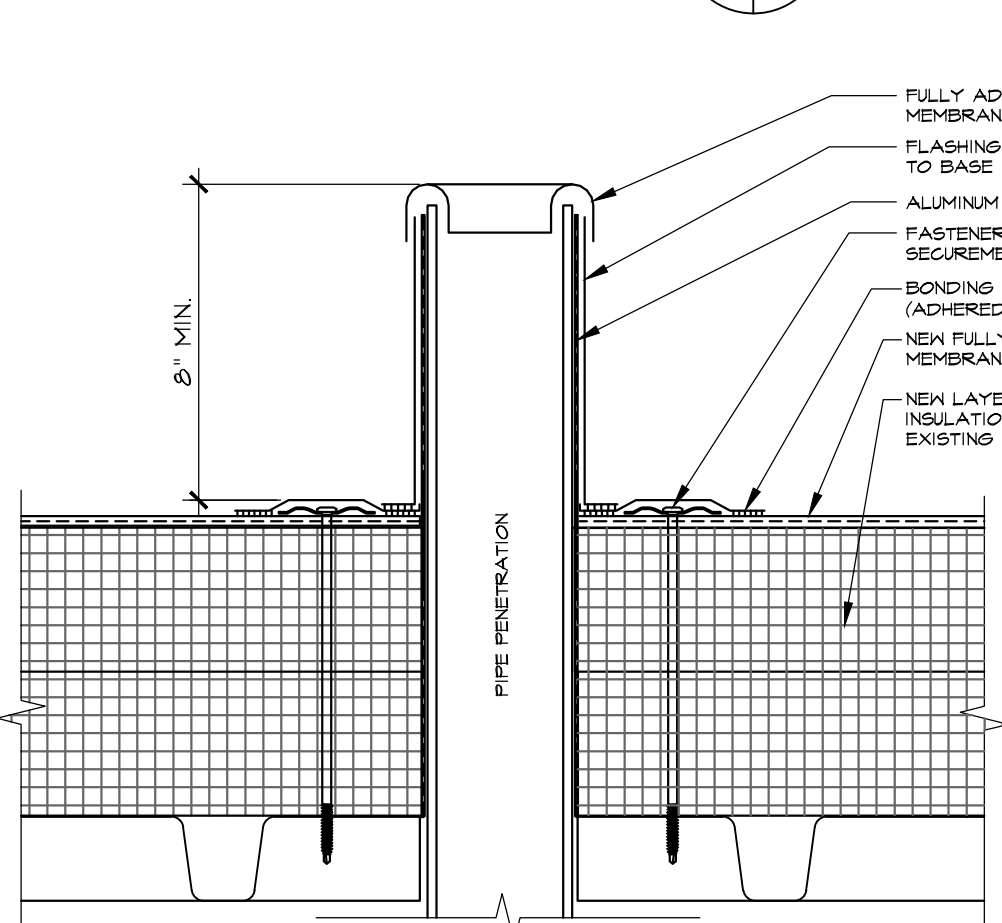
Signed: _____
Architect/Engineer
ILLINOIS REGISTRATION NO.: 001-015480
Exp. Date: 11/30/20
PROFESSIONAL DESIGN FIRM NO.: 184.003452
SEAL AND SIGNATURE ONLY APPLY TO SHEETS
60.1, 60.2, D1.1, A1.1 AND ME1.1



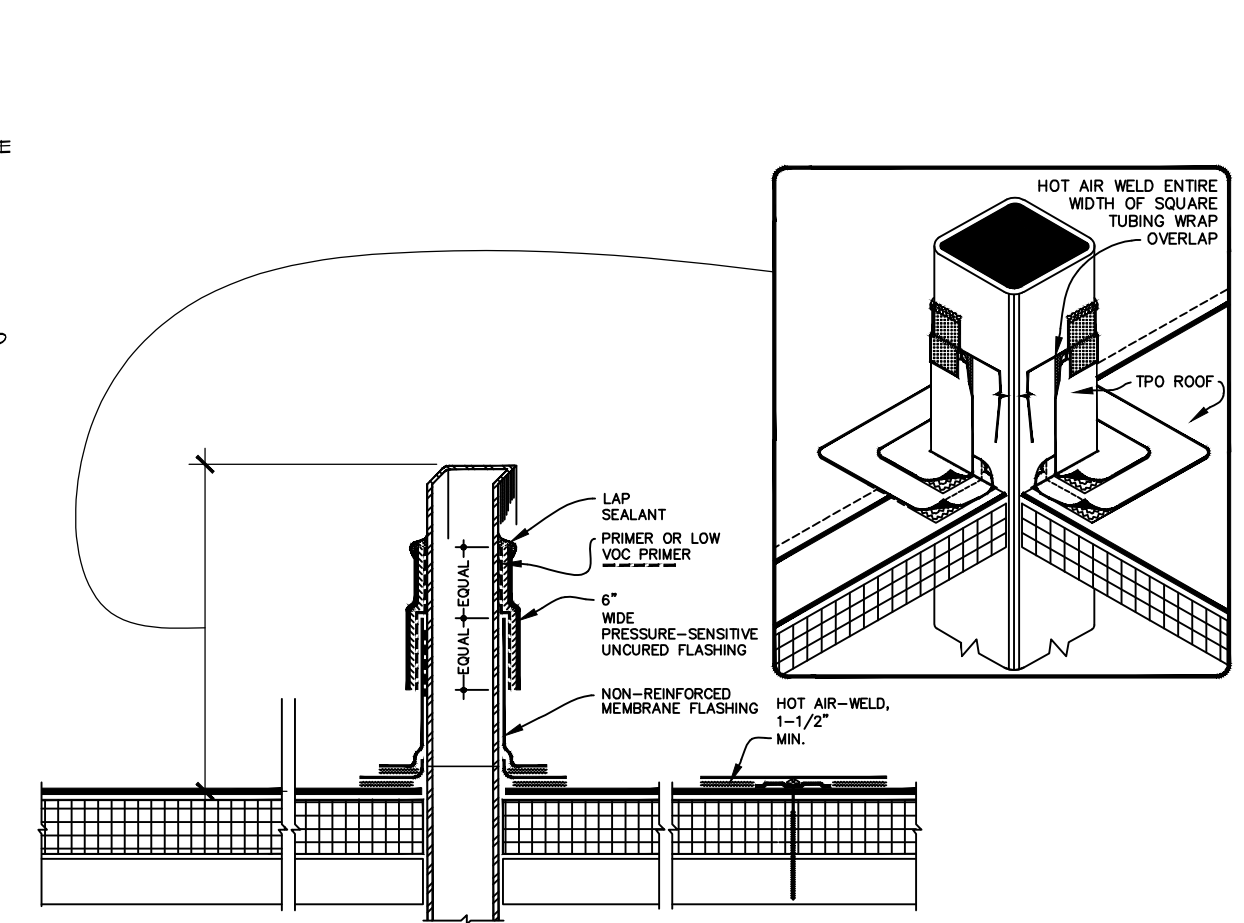
1 BARBOUR ELEMENTARY ROOF PLAN
SCALE: 1/16" = 1'-0"
NORTH



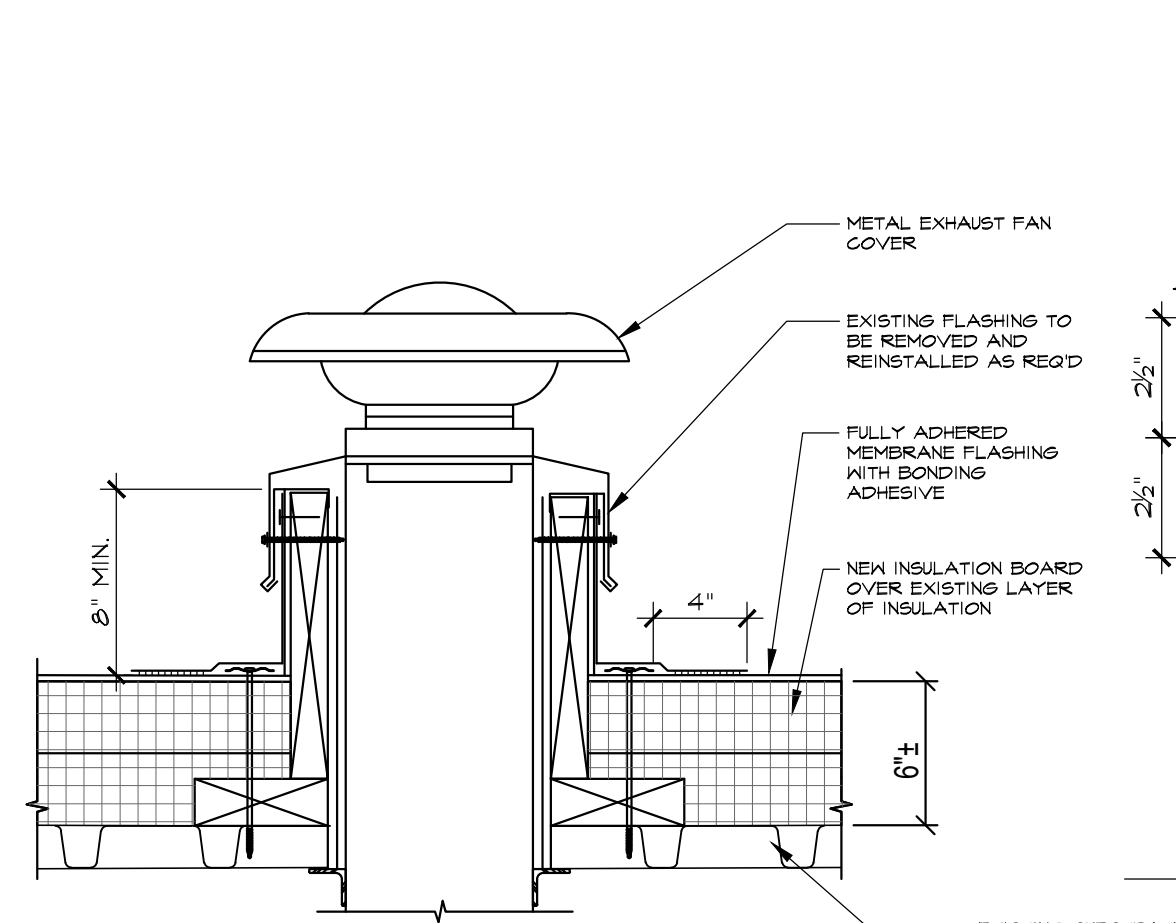
4 ROOF EQ. CURB
SCALE: 3" = 1'-0"



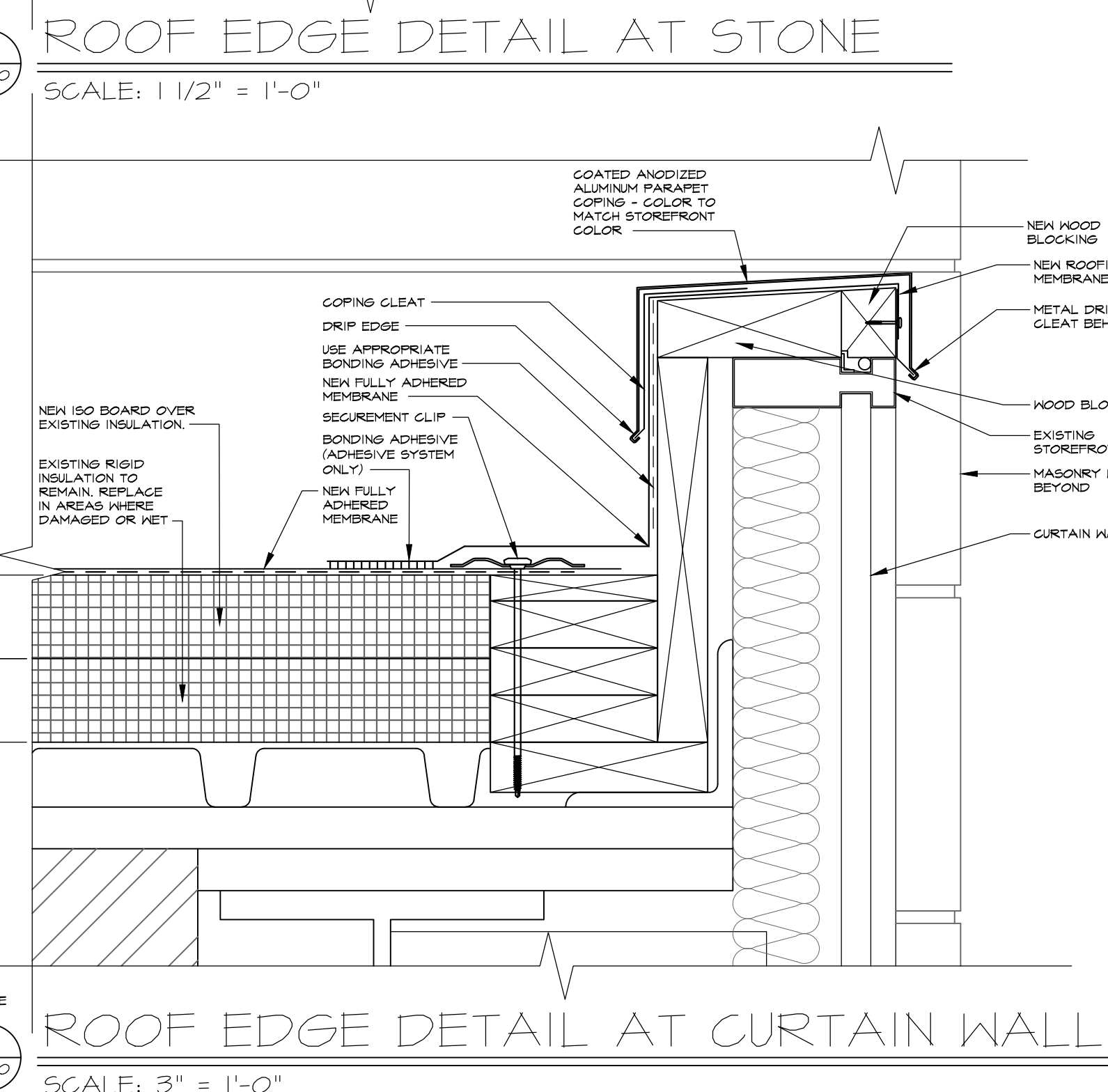
5 ROOF PLUMB. VENT
SCALE: 3" = 1'-0"



6 CHILLER SUPPORT
NTS



6 ROOF POWER VENT
SCALE: 3" = 1'-0"

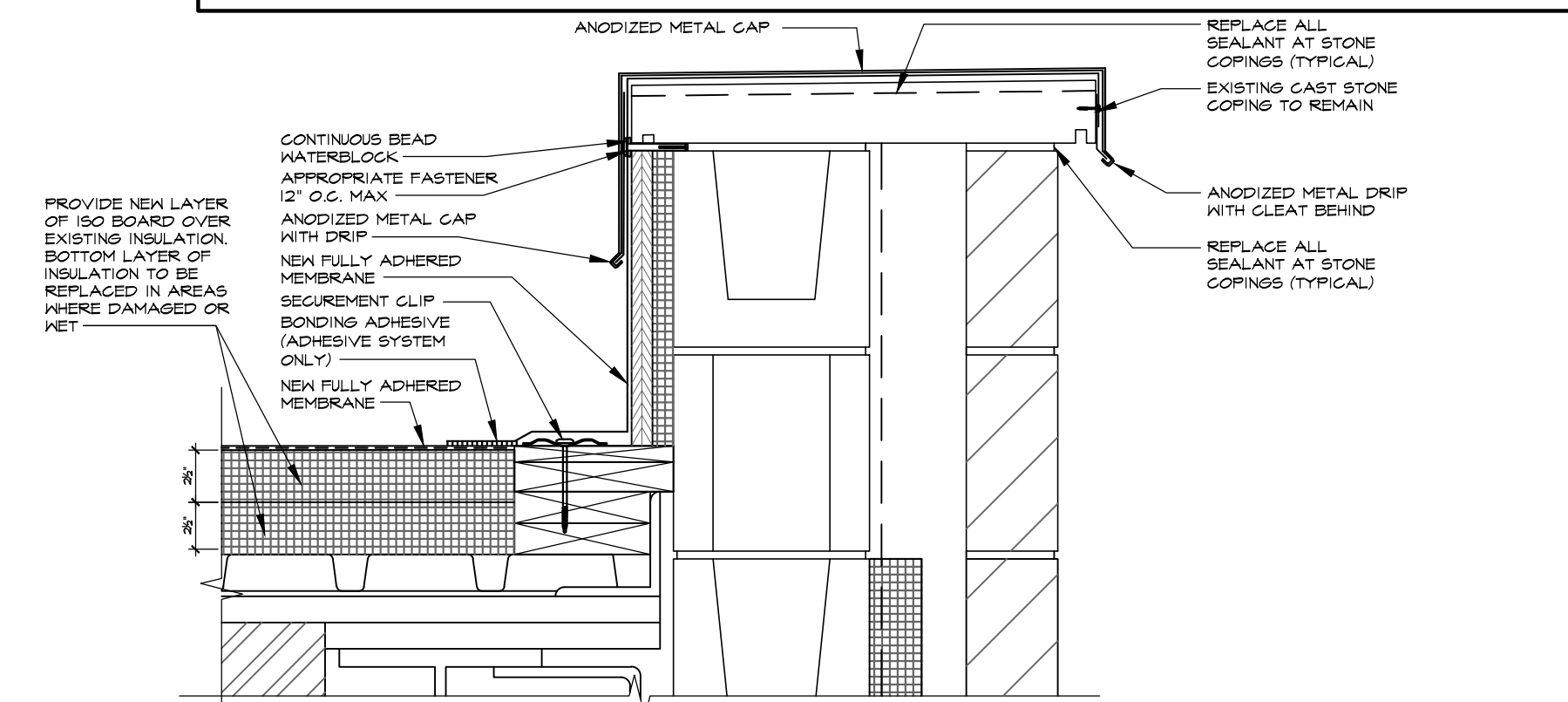


3 ROOF EDGE DETAIL AT CURTAIN WALL
SCALE: 3" = 1'-0"

- ### GENERAL NOTES (THIS SHEET ONLY)
- ALL ROOF DIMANSIONS ARE GIVEN FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY.
 - CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE PROJECT AND TO FIELD VERIFY EXISTING CONDITIONS. THE LCOATIONS OF PLUMBING VENT PIPES, ROOF EQUIPMENT AND DOWNSPOUTS MAY VARY. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS NECESSARY TO COMPLETE THE DESCRIBED WORK.
 - CONTRACTOR SHALL ONLY REMOVE (OR WORK ON) AREA OF ROOFING WHICH CAN BE REPLACED IN A SINGLE WORKING DAY.
 - LOCATIONS OF ROOF MOUNTED EQUIPMENT MAY VARY SLIGHTLY.
 - CLEAN SEAM AREAS, OVERLAP ROOFING MEMBRANE AND HOT-AIR WELD SIDE AND END LAPS OF ROOFING MEMBRANE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
 - TEST LAP EDGES WITH PROBE TO VERIFY SEAM WELD CONTINUITY.
 - VERIFY FIELD STRENGTH OF SEAM A MINIMUM OF TWICE DAILY AND REPAIR SEAM SAMPLE AREAS.
 - REPAIR TEARS, VOIDS, AND LAPPED SEAMS IN ROOFING MEMBRANE THAT DOES NOT MEET REQUIREMENTS.
 - VERIFY THAT ALL ROOF EQUIPMENT IS 8" (MINIMUM) FROM BOTTOM OF UNIT TO NEW ROOF MEMBRANE. IF UNIT DOES NOT MEET CLEARANCE, THE CURB MUST BE RAISED OR A NEW CURB MUST BE INSTALLED TO MEET MINIMUM DISTANCE TO BOTTOM OF ROOF TOP EQUIPMENT.

- ### KEYNOTES
- 001 EXISTING ROOF ACCESS DOOR TO REMAIN
 - 002 EXISTING ROOF LADDER TO REMAIN
 - 003 EXISTING ROOF WALKWAY PADS TO BE REMOVED AND REPLACED WITH NEW. CUT PADS AT ROOF CRICKET FOR CONTINUOUS VALLEY.

- ### LEGEND OF SYMBOLS (THIS SHEET ONLY)
- DETAIL No.
 - SHEET No.
 - ROOFTOP EXHAUST FAN (SIZES VARY) - SEE DETAIL 6 ON THIS SHEET
 - ROOF LADDER TO REMAIN
 - RD ROOF DRAIN - SEE DETAIL 9/A-3.0
 - ROOFTOP EQUIPMENT - SEE DETAIL 4 ON THIS SHEET
 - FLUE VENT PIPE - REPLACE FLASHINGS



2 ROOF EDGE DETAIL AT STONE
SCALE: 1 1/2" = 1'-0"

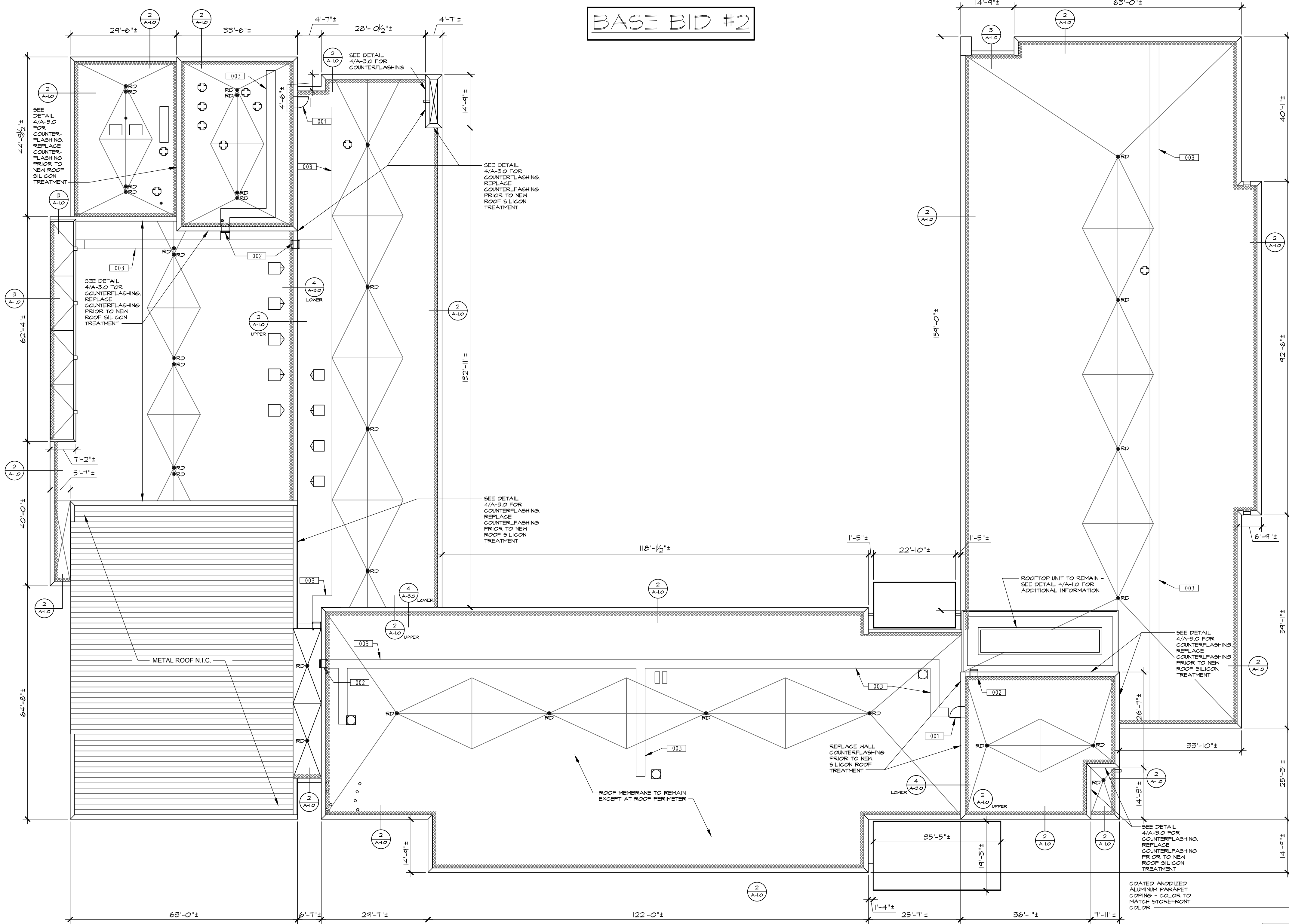
1919 Architects

4000 Morsay Drive
Rockford, IL 61107
(815) 225-9222

www.1919architects.com

ARCHITECT	OWNER	CONTRACTOR	BIDDING CO.
1919 Architects	1506 CLOVER AVE. ROCKFORD, IL 61102	JMK	03-01-2022
ROOF REPLACEMENT AND REPAIRS		21-13910	Page
520 N. PIERPONT AVE. ROCKFORD, IL 61103		03-01-2022	Page
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		A-1.0	

BASE BID #2



GENERAL NOTES

(THIS SHEET ONLY)

- ALL ROOF DIMENSIONS ARE GIVEN FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY.
- CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE PROJECT AND TO FIELD VERIFY EXISTING CONDITIONS. THE LOCATIONS OF PLUMBING VENT PIPES, ROOF EQUIPMENT AND DOWNSPOUTS MAY VARY. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS NECESSARY TO COMPLETE THE DESCRIBED WORK.
- CONTRACTOR SHALL ONLY REMOVE (OR WORK ON) AREA OF ROOFING WHICH CAN BE REPLACED IN A SINGLE WORKING DAY.
- LOCATIONS OF ROOF MOUNTED EQUIPMENT MAY VARY SLIGHTLY.
- CLEAN SEAM AREAS, OVERLAP ROOFING MEMBRANE AND HOT-AIR WELD SIDE AND END LAPS OF ROOFING MEMBRANE ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS.
- TEST LAP EDGES WITH PROBE TO VERIFY SEAM WELD CONTINUITY.
- VERIFY FIELD STRENGTH OF SEAM A MINIMUM OF TWICE DAILY AND REPAIR SEAM SAMPLE AREAS.
- REPAIR TEARS, VOIDS, AND LAPPED SEAMS IN ROOFING MEMBRANE THAT DOES NOT MEET REQUIREMENTS.
- VERIFY THAT ALL ROOF EQUIPMENT IS 8" (MINIMUM) FROM BOTTOM OF UNIT TO NEW ROOF MEMBRANE. IF UNIT DOES NOT MEET CLEARANCE, THE CURB MUST BE RAISED OR A NEW CURB MUST BE INSTALLED TO MEET MINIMUM DISTANCE TO BOTTOM OF ROOF TOP EQUIPMENT.
- ALLOWANCE OF REPLACEMENT OF ROOF INSULATION (WHERE DAMAGED OR WET) IS 2% (BASE BID 2 ONLY)

KEYNOTES

- 001 EXISTING ROOF ACCESS DOOR TO REMAIN
- 002 EXISTING ROOF LADDER TO REMAIN
- 003 EXISTING ROOF WALKWAY PADS TO BE REMOVED AND REPLACED WITH NEW. CUT PADS AT ROOF CRICKET FOR CONTINUOUS VALLEY.

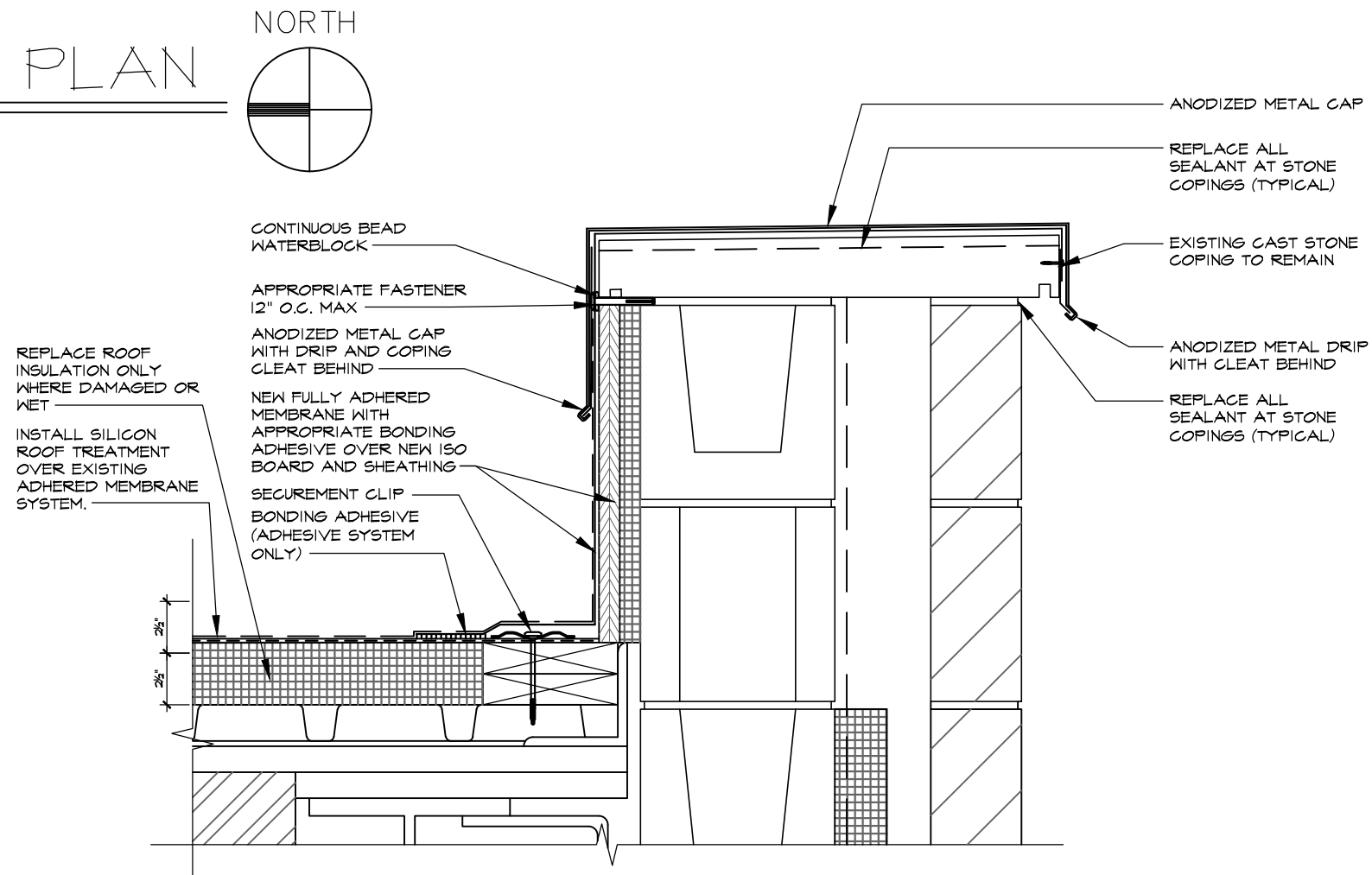
LEGEND OF SYMBOLS

(THIS SHEET ONLY)

- DETAIL No.
- SHEET No.
- ROOFTOP EXHAUST FAN (SIZES VARY) - SEE DETAIL 6/A-4.0
- ROOF ACCESS HATCH TO REMAIN
- ROOF LADDER TO REMAIN
- ROOF DRAIN - SEE DETAIL 9/A-4.0
- ROOFTOP EQUIPMENT - SEE DETAIL 1/A-4.0
- FLUE VENT PIPE - REPLACE FLASHINGS
- INSTALL NEW ROOF MEMBRANE AT ROOF PERIMETER. FLASH TO EXISTING ROOF MEMBRANE AND OVER PARAPET WALL. SEE DETAILS 2 AND 3/A-1.0.

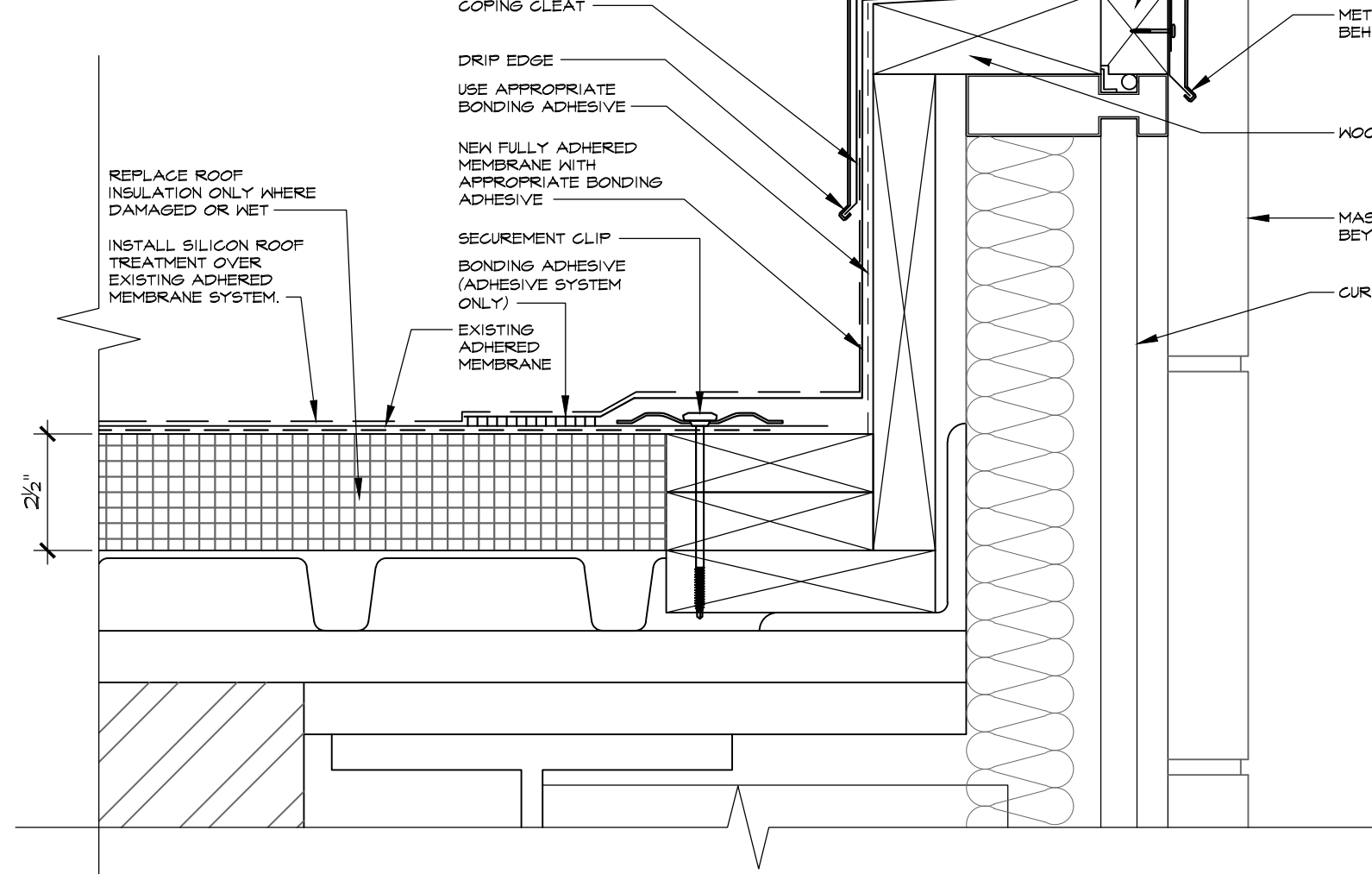
BARBOUR ELEMENTARY ROOF PLAN

SCALE: 1/16" = 1'-0"



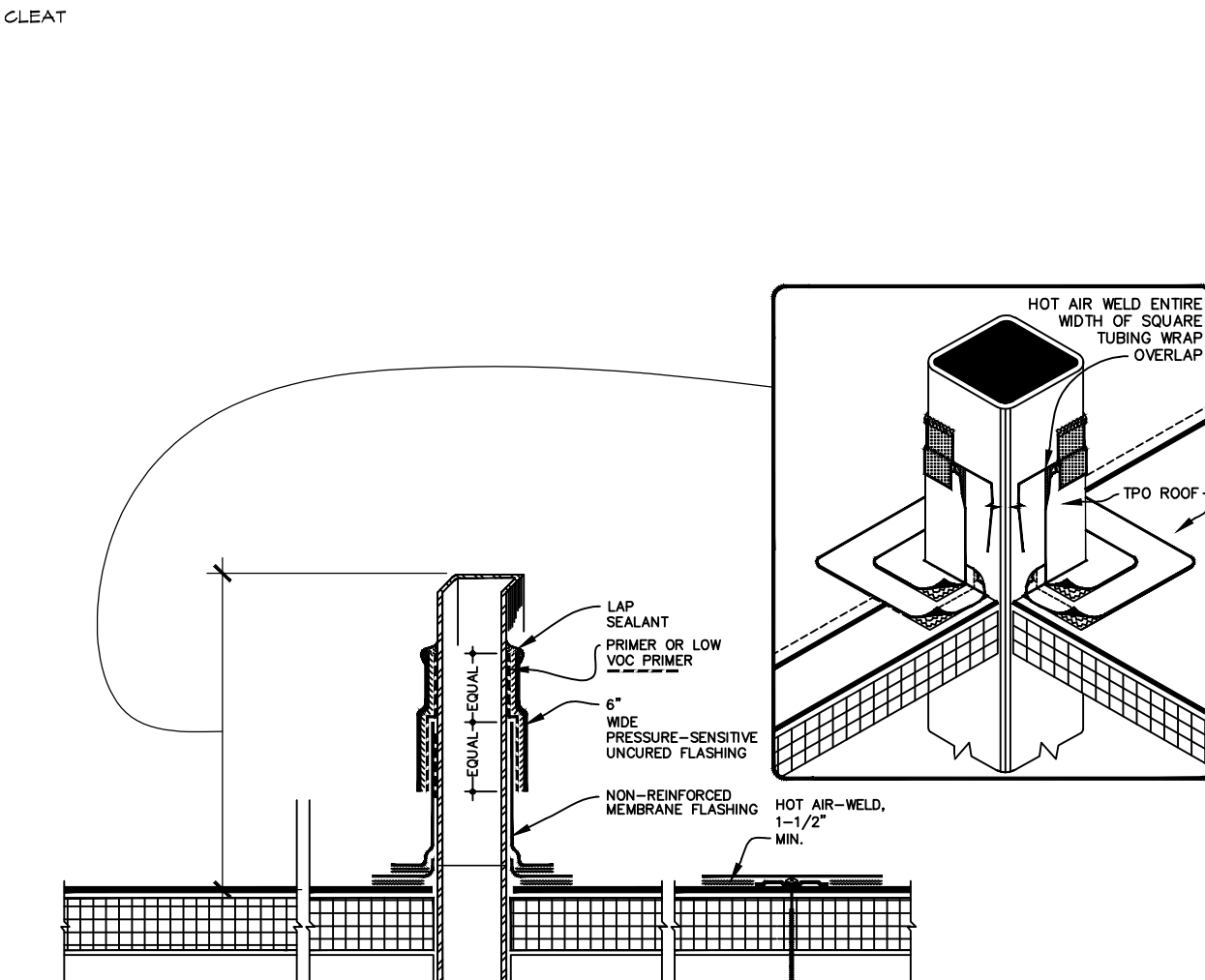
ROOF EDGE DETAIL AT STONE

SCALE: 1 1/2" = 1'-0"



ROOF EDGE DETAIL AT CURTAIN WALL

SCALE: 3" = 1'-0"



CHILLER SUPPORT

NTS

GENERAL NOTES (THIS SHEET ONLY)

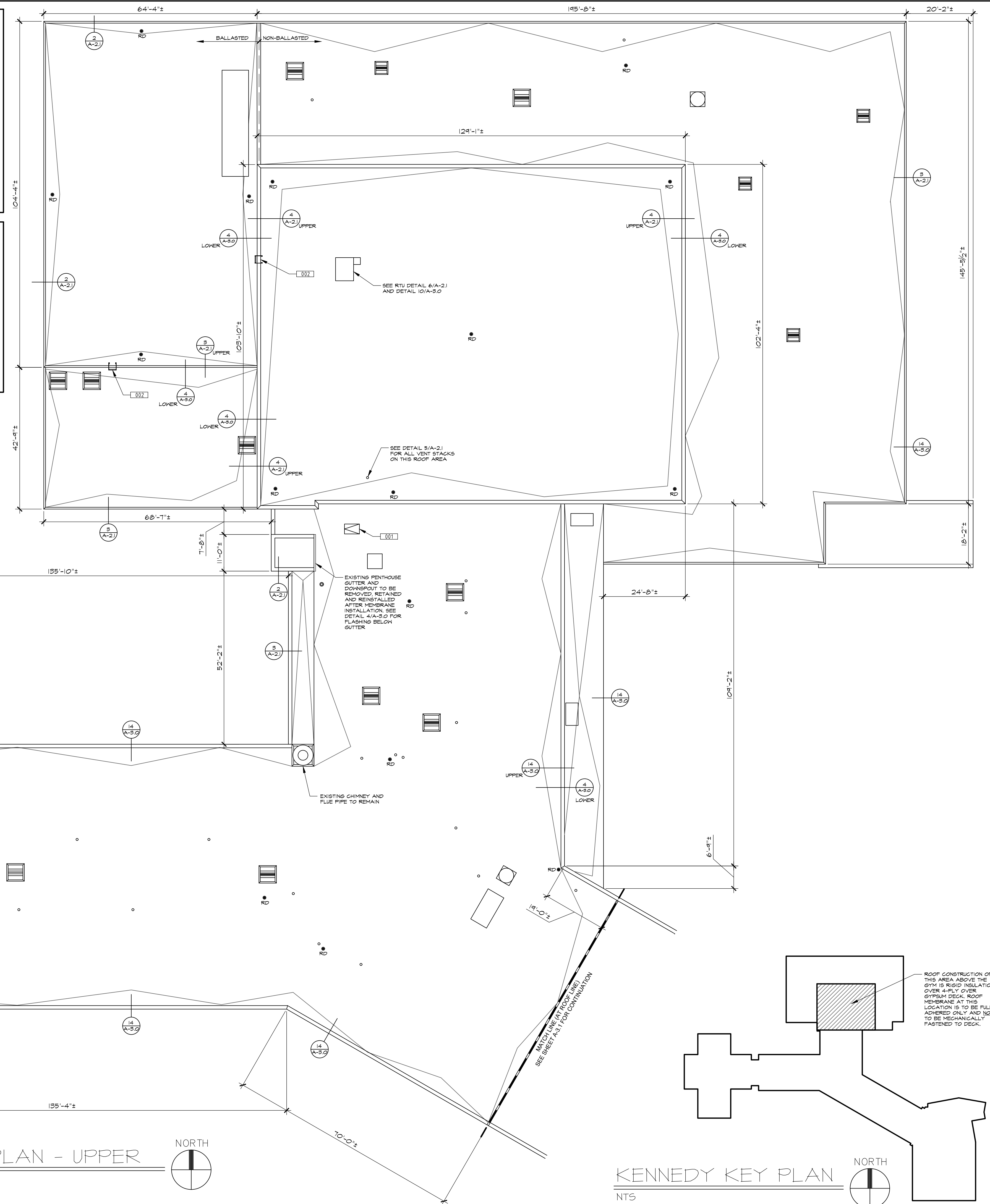
1. ALL ROOF DIMENSIONS ARE GIVEN FOR CONTRACTORS GENERAL INFORMATION ONLY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND MAKE ADJUSTMENTS AS NECESSARY.
2. CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE PROJECT AND TO FIELD VERIFY EXISTING CONDITIONS. THE LOCATIONS OF PLUMBING VENT PIPES, ROOF EQUIPMENT AND DOWNSPOUTS MAY VARY. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS NECESSARY TO COMPLETE THE DESCRIBED WORK.
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6. TEST LAP EDGES WITH PROBE TO VERIFY SEAM WELD CONTINUITY.
7. VERIFY FIELD STRENGTH OF SEAM A MINIMUM OF TWICE DAILY AND REPAIR SEAM SAMPLE AREAS.
8. REPAIR TEARS, VOIDS, AND LAPPED SEAMS IN ROOFING MEMBRANE THAT DOES NOT MEET REQUIREMENTS.
9. VERIFY THAT ALL ROOF EQUIPMENT IS 8" (MINIMUM) FROM BOTTOM OF UNIT TO NEW ROOF MEMBRANE. IF UNIT DOES NOT MEET CLEARANCE, THE CURB MUST BE RAISED OR A NEW CURB MUST BE INSTALLED TO MEET MINIMUM DISTANCE TO BOTTOM OF ROOF TOP EQUIPMENT.

LEGEND OF SYMBOLS (THIS SHEET ONLY)

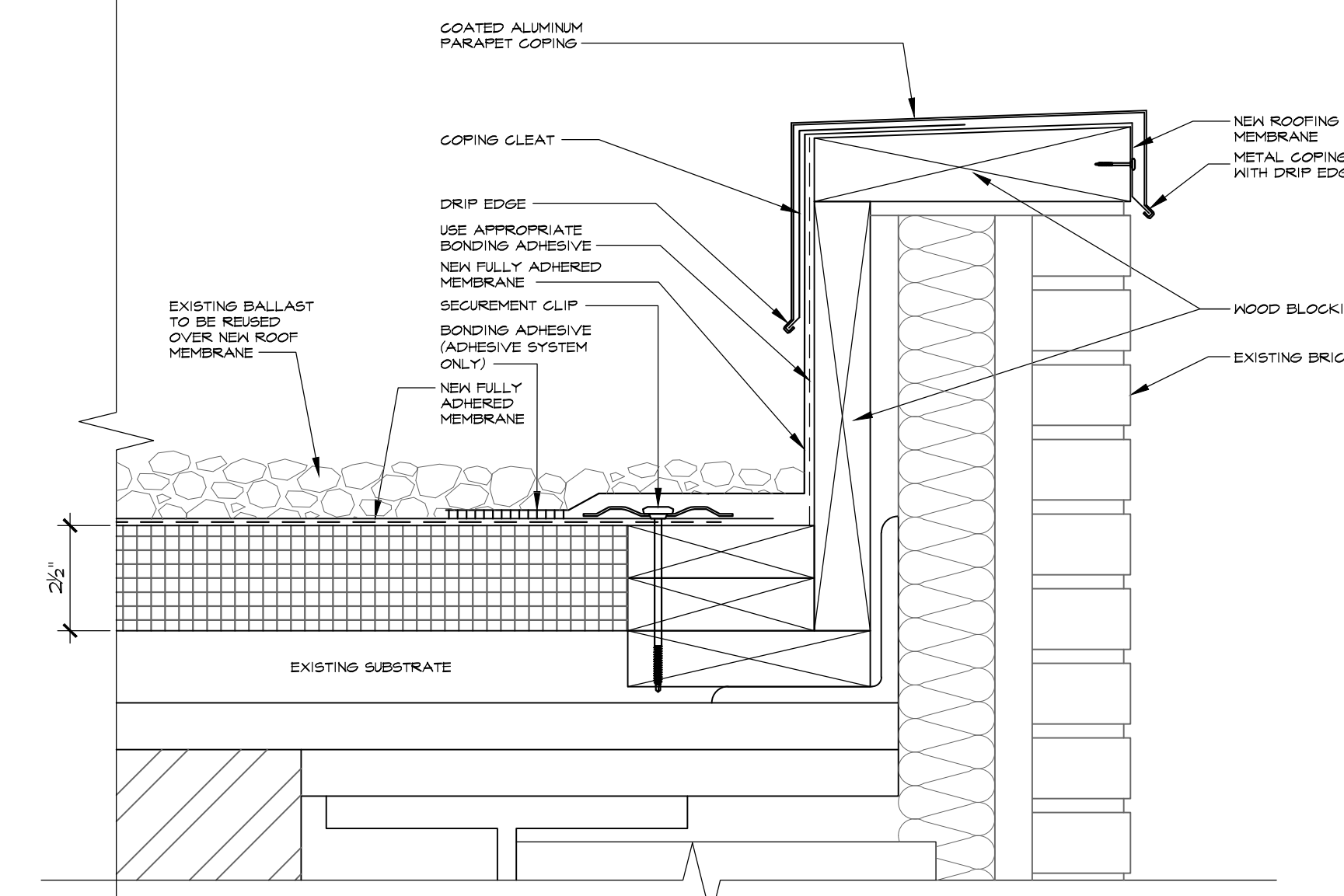
- | | |
|---|---|
|  | DETAIL No. |
| | SHEET No. |
|  | ROOFTOP EXHAUST FAN (SIZES VARY) - SEE DETAIL 6/A-3.0 |
|  | REPLACE ROOF ACCESS HATCH - SEE DETAILS 8 AND 12/A-3.0 |
|  | ROOF LADDER TO REMAIN |
|  | ROOF DRAIN - SEE DETAIL 9/A-3.0 |
|  | ROOFTOP EQUIPMENT - SEE DETAIL 1/A-3.0 |
|  | FLUE VENT PIPE - REPLACE FLASHINGS |
|  | ROOFTOP EQUIPMENT/CURB (SIZES AND SHAPES VARY) - SEE DETAIL 5/A-3.0 |
|  | ROOFTOP PVC PIPE |
|  | ROOF PLUMBING VENT PIPE - SEE DETAIL 2/A-3.0 |
|  | ROOFTOP EQUIPMENT - SEE DETAIL 1/A-3.0 |

KEYNOTES

- 001 EXISTING ROOF ACCESS HATCH TO BE REMOVED AND REPLACED. SEE DETAIL B/A-4.0 FOR ROOF HATCH INFORMATION
- 002 EXISTING ROOF LADDER TO REMAIN
- 003 EXISTING ROOF EQUIPMENT ON STRUTS TO BE REINSTALLED WITH NEW STRUTS.
- 004 NEW ROOF LADDER AT THIS LOCATION. SEE DETAIL B/A-3.0



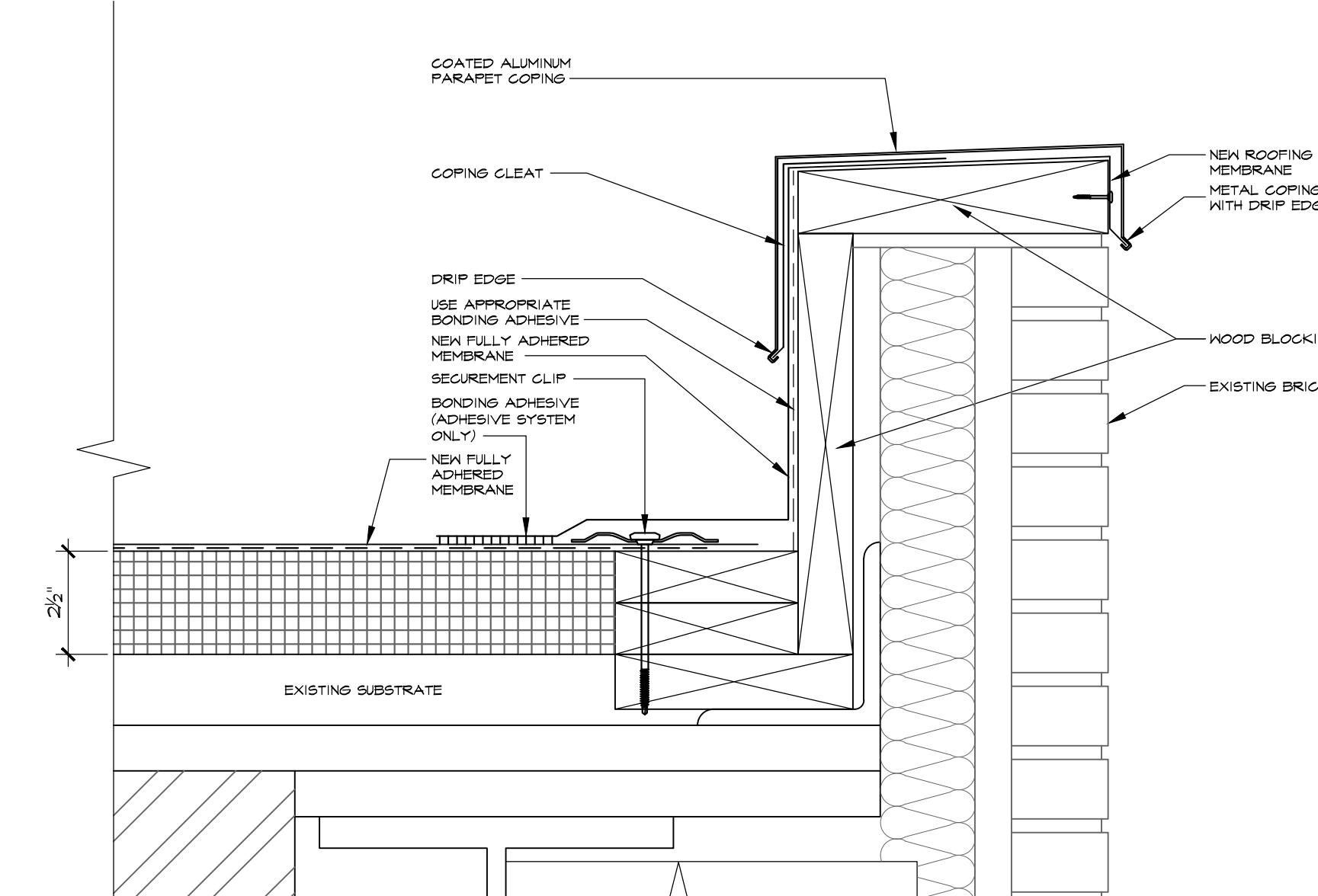
SEE SHEET A-2.0 FOR GENERAL NOTES,
KEY NOTES, AND LEGEND OF SYMBOLS



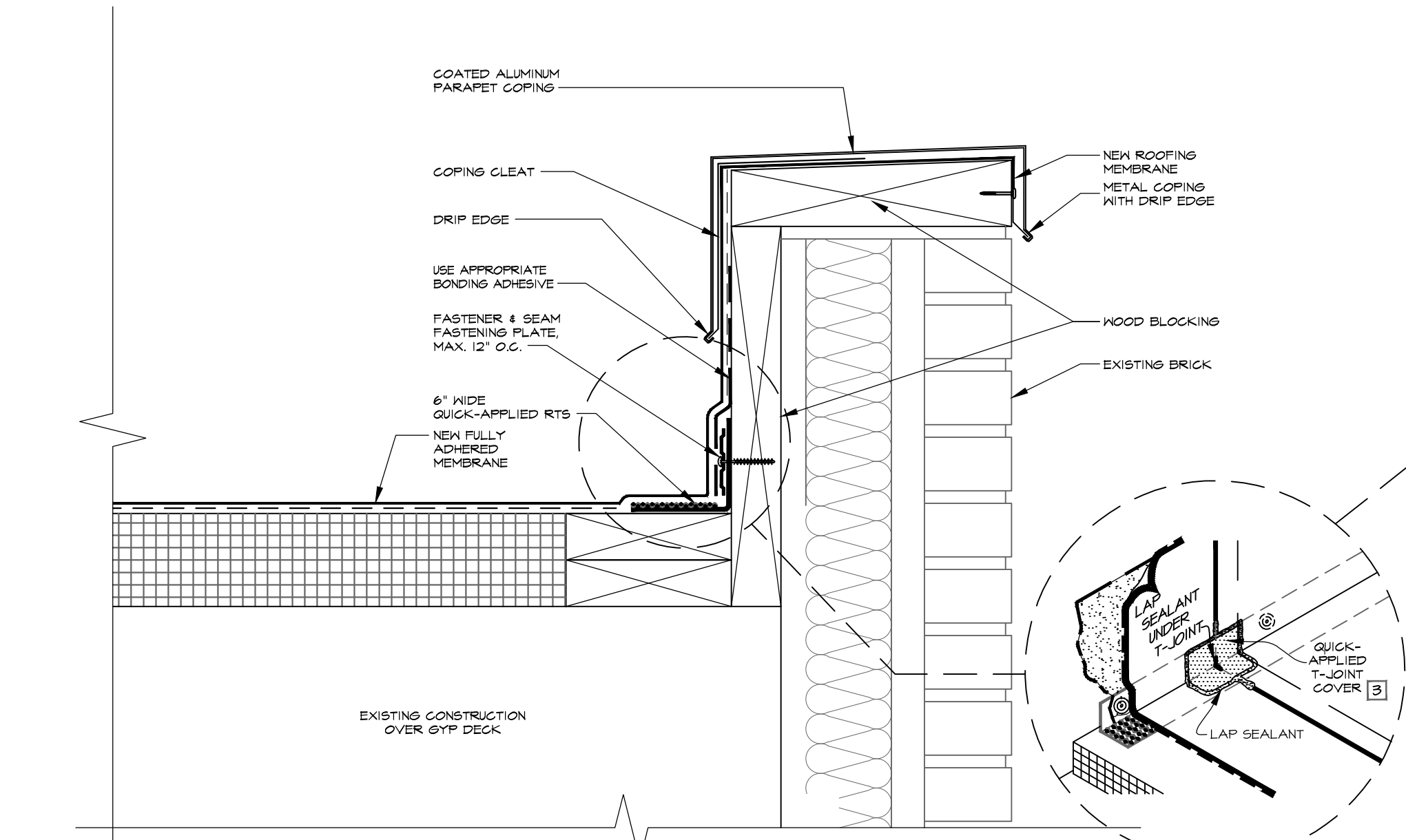
2
A-21

ROOF EDGE DETAIL

SCALE: 3" = 1'-0"



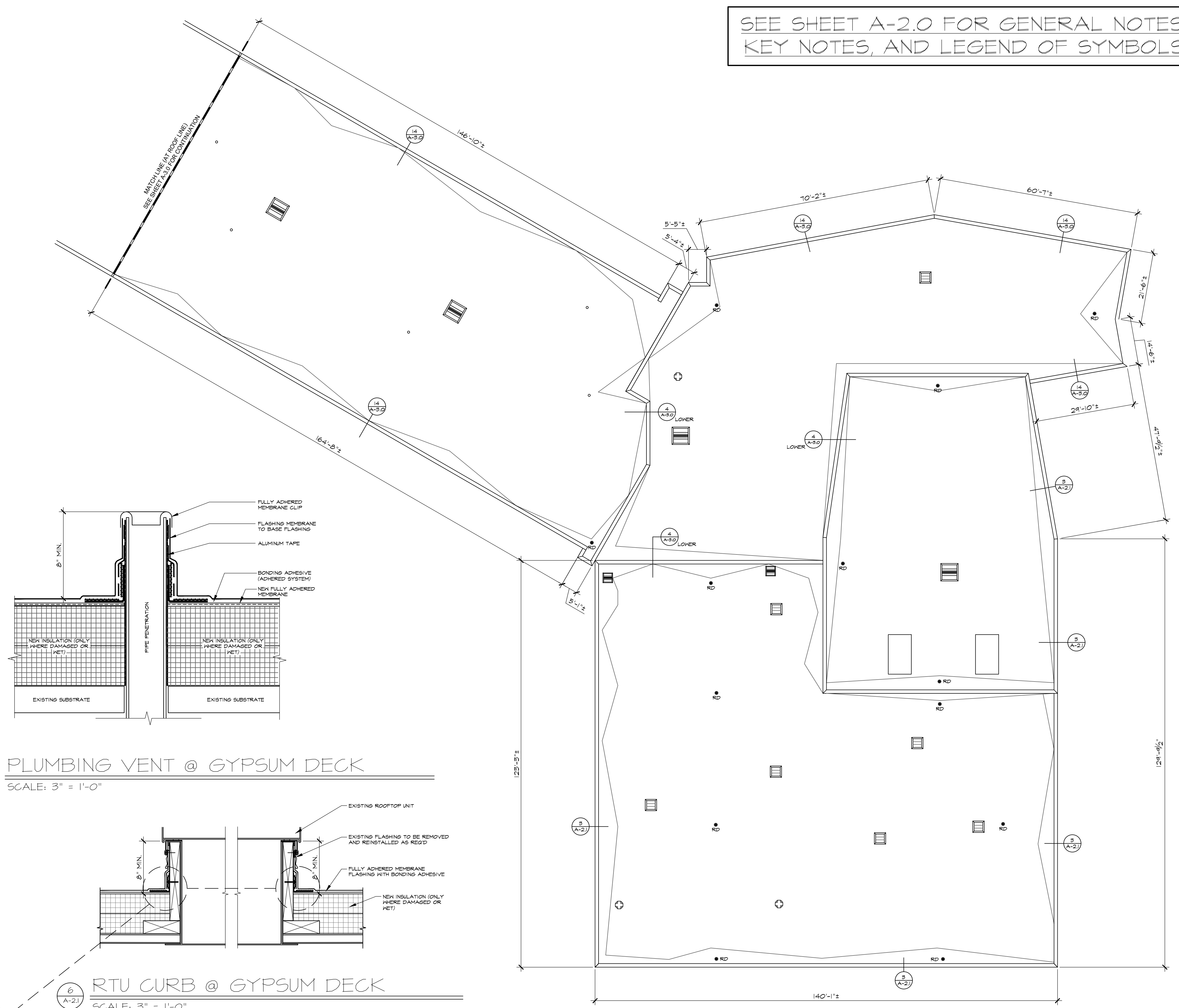
3 ROOF EDGE DETAIL
A-2.1
SCALE: 3" = 1'-0"



4
A-2J

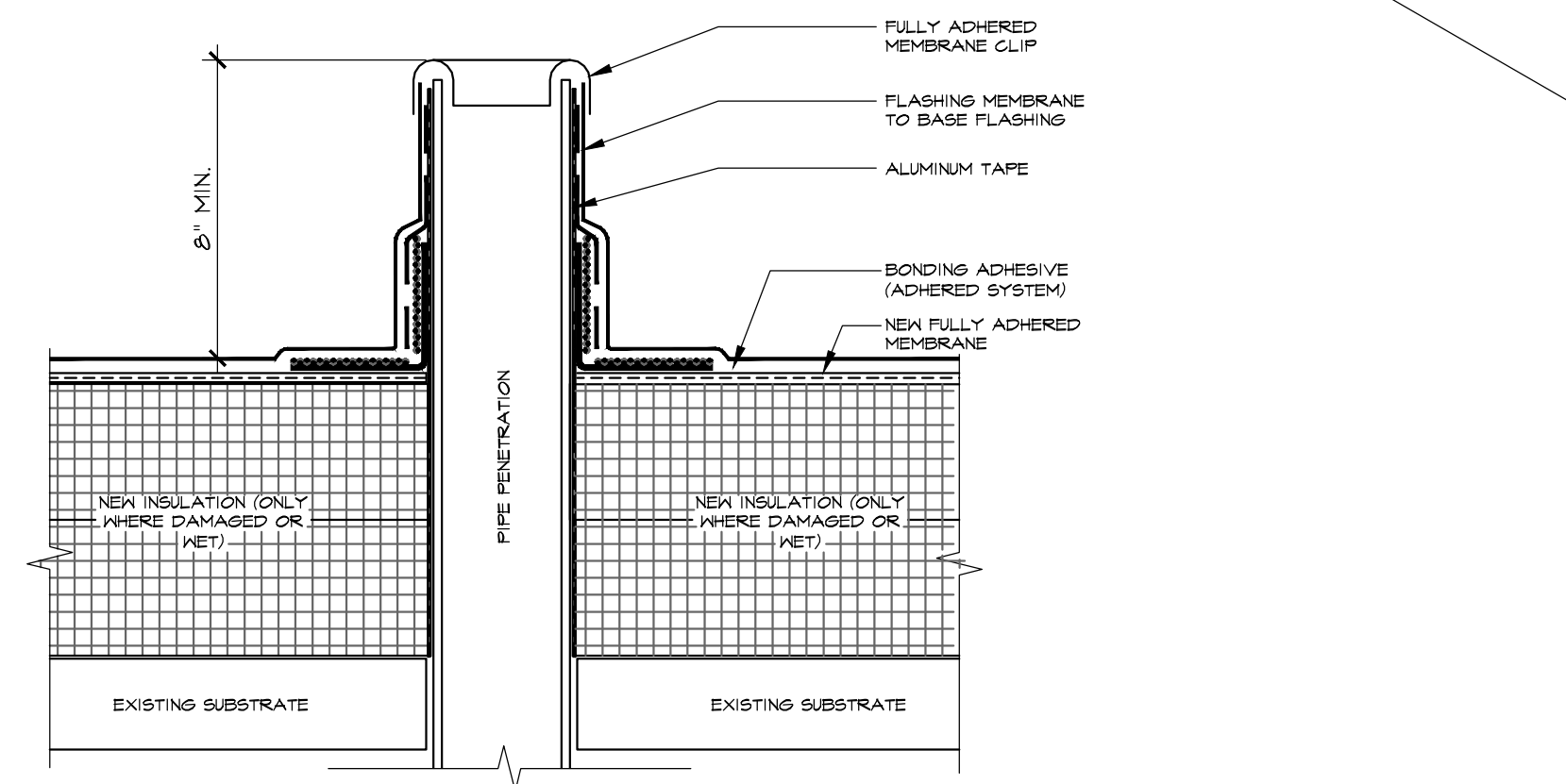
ROOF EDGE DETAIL @ GYPSUM DECK

SCALE: 3" = 1'-0"

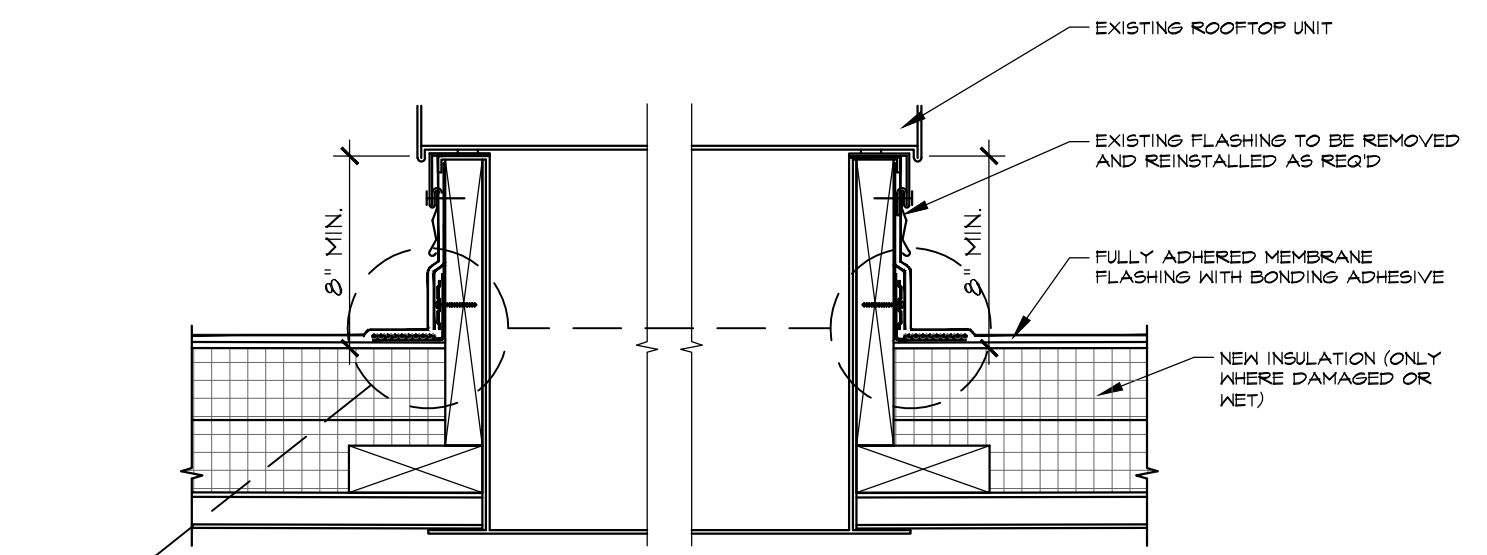


KENNEDY SCHOOL ROOF PLAN - LOWER

SCALE: 1/16" = 1'-0"



5 PLUMBING VENT @ GYPSUM DECK
A-21 SCALE: 3" = 1'-0"



RTU CURB @ GYPSUM DECK
SCALE: 3" = 1'-0"

