

## ROCKFORD BOARD OF EDUCATION INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES FOR SCHOOL DISTRICT NO. 205 ROCKFORD, ILLINOIS

IFB No. 22-49 Administration Building Lower-Level Renovations

DATE: May 4, 2022

RE: ADDENDUM NO. 1

### To All Bidders:

Included are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 1st floor prior to coming to the bid opening. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Director of Purchasing by email at <a href="mailto:purchasingdeptstaff@rps205.com">purchasingdeptstaff@rps205.com</a>.

### ROCKFORD BOARD OF EDUCATION

By: Dane Youngblood Director of Purchasing

### ADMINISTRATION BUILDING BASEMENT RENOVATION ROCKFORD PUBLIC SCHOOLS 205 ROCKFORD, ILLINOIS

### **LARSON & DARBY GROUP**

### **ARCHITECTURE-ENGINEERING-INTERIORS**

4949 Harrison Avenue, Suite 100 815/484-0739 Rockford, IL 61108 FAX 815.229.9867

TO: ALL BIDDERS

RE: ADDENDUM #1

Changes to Bidding Documents Dated April 13, 2022

PROJECT: ADMINISTRATION BUILDING BASEMENT RENOVATION

**ROCKFORD PUBLIC SCHOOLS 205** 

ROCKFORD, ILLINOIS

PROJECT NO.: RPS IFB 22-49, RPS PROJECT NO. 2112

LDG PROJECT 30186

DATE: May 4, 2022

Please attach this Addendum to the Project Manual and Drawings for the referenced project. Take the changes to the Project Manual and Drawings into consideration in preparing your Bid.

Bidders shall make note in writing on Bid Form that this Addendum has been taken into consideration.

Failure to do so may be sufficient cause to reject the Bid.

LARSON & DAREY GROUP

Ged Trias Al

This Addendum consists of 1 page, plus materials itemized herein.

- I. PRE-BID CONFERENCE
  - A. Pre-Bid Conference Opening Statement is issued herewith
  - B. Minutes of the Pre-Bid Conference dated April 28, 2022 are issued herewith.
  - C. Pre-Bid Conference Attendance Record, 2 pages, is issued herewith.

### II. GENERAL CLARIFICATIONS

A. Scranton Products submitted a request to substitute Scranton HDPE toilet partitions in lieu of specified metal toilet partitions. This proposed substitution is rejected.

### III. ADDITIONS OR CHANGES TO THE DRAWINGS:

REISSUED DRAWINGS: The following revised Drawings, which replace previous issues of the Drawings, are issued herewith:

A1.1, ED1.1, E2.1.

**END OF ADDENDUM #1** 

RPS 2112 ADDENDUM #1 Page-1 L&D 30186

ROCKFORD PUBLIC SCHOOLS
IFB No. 22-49 Administration Building Lower-Level Renovations
Pre-Bid Meeting Sign-In Sheet
April 26, 2022 at 10:00 a.m.

### PRE-BID CONFERENCE OPENING STATEMENT

Welcome to the mandatory pre-bid conference for IFB No. 22-49 Administration Building Lower-Level Renovations for the Rockford Public Schools.

The purpose of this meeting is to receive input, comments, questions, clarifications and suggested changes relative to this solicitation. As a reminder, the only acceptable changes to the Bid/RFP are formal Addenda published by the RPS Purchasing department. Additionally, the Addendum may address other issues identified by the School District.

The goal of today's meeting is to increase your knowledge of the solicitation as it is written and provide an information mechanism in which you may advise the School District of any changes it should make. Consequently, any changes you wish the Rockford Public Schools to consider must be submitted in writing to the Purchasing department before the deadline as expressed in the solicitation.

We will try to answer as many of the questions as possible. If we cannot answer a question today, we will defer that answer to the published Addendum. Additionally, minutes from this pre-bid conference will be published in the Addendum.

- Bid Opening is scheduled for May 12, 2022 at 2:00 pm Rockford Board of Education, 6th floor Conference Room. Late bids will not be accepted. Faxed or emailed bids will not be accepted.
- ➤ Board Approval May 24, 2022.
- ➢ Bid RFI Procedures All written correspondence during the bid process MUST be sent to Dane Youngblood, Director of Purchasing, via email at PurchasingDeptStaff@rps205.com. Last RFI will be accepted until May 3, 2022 at 12 pm. Last addendum will be issued by May 5, 2022 at 4:30 pm.
- Addenda will be emailed to all attendees at the pre-bid conference, posted on the RPS website and Bonfire.
- ➤ PLEASE reference the **REQUIRED FORMS CHECK LIST** for all documents that **must** be submitted with your bid offer form. All forms must be properly completed, signed and submitted or your bid will be deemed non-responsive.



4949 Harrison Avenue Suite 100 Rockford, Illinois 61108 Tel. (815) 484.0739 Fax (815) 229.9867 E-Mail Idg@larsondarby.com

### **MEMORANDUM of PRE-BID MEETING**

TO: Chris Liszka (CL)

**RPS Construction Project Manager** 

CC: Ged Trias (GT)

Julie A. Williams (JW)

Project file

DATE: April 28, 2022

RE: RPS Admin Bld Renovations-Basement Renovations

Pre-Bid Meeting-onsite LDG Project #30186

FROM: Julie A. Williams

1. Chris Liska opened the meeting by welcoming the attendees and introducing the design team as:

- a. Chris Lizska-RPS representative
- b. Ged Trias, Larson & Darby Group
- c. Julie Williams, Larson & Darby Group
- Chris read the Pre-Bid Conference Opening Statement (see attached) which outlines the bid schedule and expectations then turned it over to Ged.
- 3. GT: Project overview:
  - a. RPS wishes to renovate the Basement level to accommodate the Special Ed Programs that once were located at the Page Park School.
  - b. Alternate 1 scope includes the Storage area and adjacent rooms as shown on the drawings.
  - c. Coordination with RPS elevator modernization project will need to be addressed.
    - i. The elevator project has yet to go out to bid
- 4. JW: Described finishes involved as per RPS standards with only change that new LVT at 5mm thickness in lieu of 2.5mm as previous standard.
- 5. CL: Expect to start project immediately after award of bid.
  - a. Move quickly with submittals
  - b. Identify long lead items
  - c. RPS realizes the situation with current market and leadtimes
- 6. JW: Submittal process is as described in specs: (3) of each type, product data, samples and shop drawings. Allows for a copy for LDG, RPS and GC. Ideally all together in one submittal. If unable to, follow up quickly with subsequent submittals.
- 7. CL asked for questions?
- 8. Following questions were asked:
  - Q: What is schedule?
  - A: Commencement: Work to begin immediately after award of bid.

Final completion: Before start of school on September 1st, 2022

Substantial completion: end of August 2022

- Q: What is budget?
- A: RPS does not share budget information
- Q: Hours of work?
- A: Work to be done during normal business hours. Some exceptions may be made for special accommodations as decided and agreed upon during course of construction.
- Q: Concern for noise levels at Registration?
- A: RPS has no concern about noise levels
- Q: How do we access the jobsite?
- A: RPS to coordinate areas of use. Service elevator will be available as well as both stairwells
- Q: What is the coordination with the Elevator modernization work?
- A: Coordination will be with piping
- Q: Is there special demo for removing the hood? Are controls tied to fire alarms?
- A: RPS to determine and advise
- Q: What about the serving counter?
- A: Serving counter is part of demo.
- 9. CL stated that this is 100% Contract work. RPS is not involved in any construction on this project.
- 10. CL stated this is not a Federal project.
- 11. CL adjourned meeting, thanking the attendees and advising attendees conduct a walk through on their own.

### **END**

The foregoing constitutes our understanding of the matters discussed and conclusions reached. Other participants are requested to review and advise the undersigned, in writing, of any omissions or different understandings they may have.



# PRE-BID MEETING SIGN-IN SHEET

IFB No. 22-49 Administration Building Lower-Level Renovations

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Murch Sular; Stastrom DSons	Stenstrom	Antiqua Tin.	Lason & Lason Brilders	RINGUAND JOHNSON	1632 155205.com		Company Name	RITE EMAIL ADDRESS SO T
Harrison Avenue		8	S612 Industrial the	1725 HUNTWOODE.			Company Address	PLEASE WRITE EMAIL ADDRESS SO THAT IT IS LEGIBLE IN ORDER TO RECI
116166 9769	- 865-519	Chreage 4084905311	15-979-0201	779-970-4980			Telephone	TO RECEIVE ADDENDUM INFORMATION
manushi @	jeffb@ rstenstrom.com	alanderos Antiquos, com	Estmating O LBuildersu	estimating Cringlanda			E-mail	INFORMATION

ROCKFORD PUBLIC SCHOOLS IFB No. 22-49 Administration Building Lower-Level Renovations Pre-Bid Meeting Sign-In Sheet April 26, 2022 at 10:00 a.m.

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ROCKFORD PUBLIC SCHOOLS IFB No. 22-49 Administration Building Lower-Level Renovations Pre-Bid Meeting Sign-In Sheet April 26, 2022 at 10:00 a.m.

### PRE-BID CONFERENCE OPENING STATEMENT

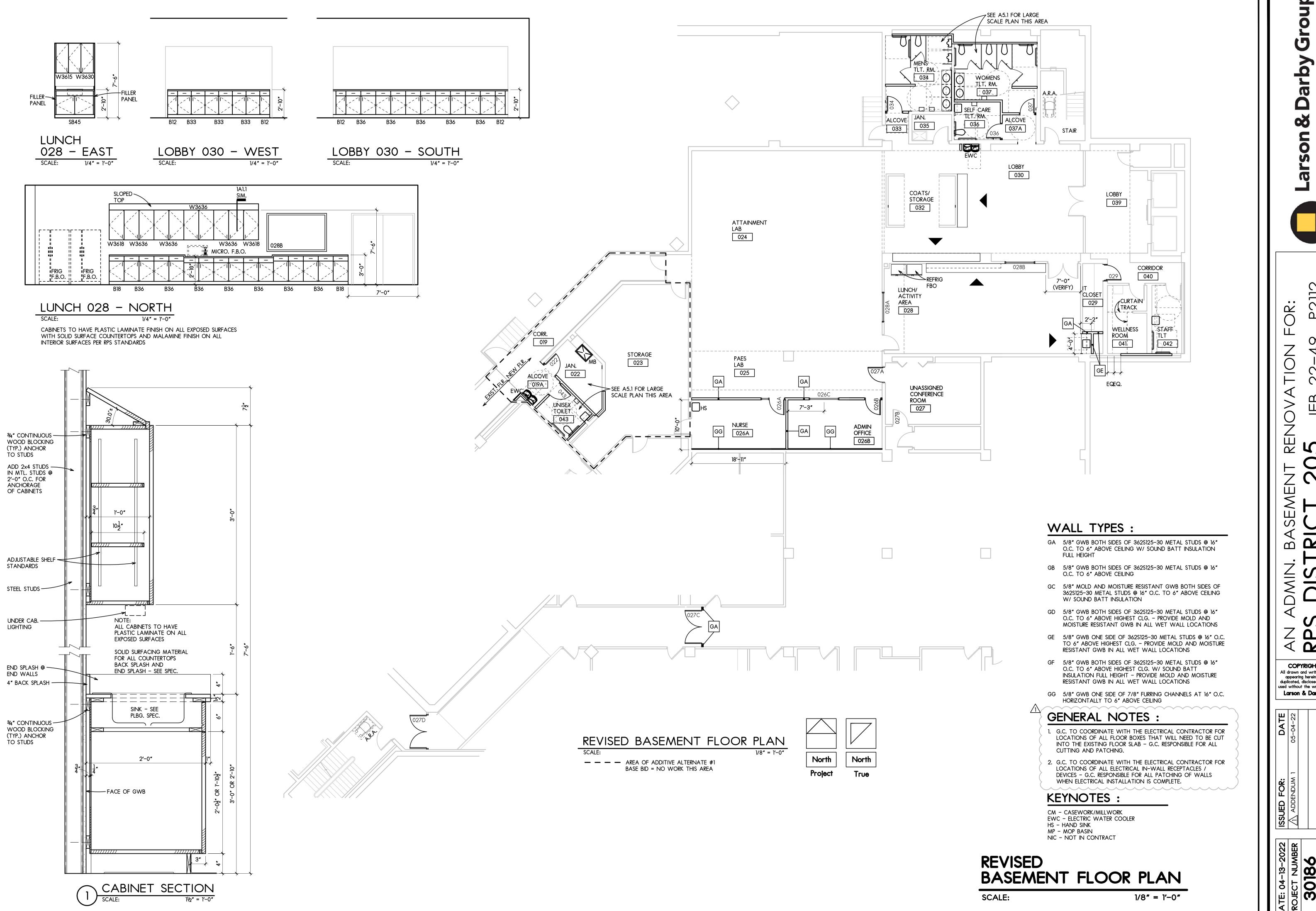
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Larson & Darby Group

30186 HEET NUMBE

30186

DRAWING NOTES:

- 1 "NL" DENOTES NIGHTLIGHT ON 24/7 AND CONNECTED TO EXISTING EMERGENCY POWER PANEL WITH GENERATOR BACK-UP.
- 2 PROVIDE nLIGHT CONTROLS WITH DIMMING AND SCENE CONTROLLER. LIGHTING TO OPERATE 'ON' UPON OCCUPANCY SINCE THESE LIGHTS ARE LOCATED IN THE PATH OF EGRESS.
- 3) ALL TYPE "AN" LIGHTING FIXTURES ARE nLIGHT ENABLED, CONTRACTOR SHALL INTERCONNECT FIXTURES WITH PLENUM RATED CATEGORY 5 CABLE.

### **GENERAL NOTES:**

THE MINIMUM WIRE SIZE SHALL BE #12 AWG. PROVIDE DEDICATED NEUTRALS; NO COMMON NEUTRALS ARE PERMITTED.

THE MINIMUM CONDUIT SIZE FOR HOMERUNS AND BRANCH FEEDS SHALL BE 3/4". 1/2" CONDUIT SHALL BE ACCEPTABLE FOR BRANCH WIRING FOR SINGLE CIRCUITS ONLY. ALL BRANCH CIRCUITS CIRCUITS SHALL TERMINATE AT 20A-1P CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS SPECIFICALLY INDICATED OTHERWISE.

THE CONTRACTOR SHALL UPSIZE CONDUCTORS AND CONDUITS (OVER 75'-0" IN LENGTH) TO COMPENSATE FOR VOLTAGE DROP.

THE CONTRACTOR SHALL PROVIDE ALL PENETRATIONS, SLEEVES AND SEALANT AS REQUIRED THRU PARTITIONS TO ACCOMMODATE ANY CONDUITS / RACEWAYS, CABLING, ETC. ALL PENETRATIONS THRU RATED WALL ASSEMBLY(IES) MUST MEET THE UL RATING OF THE WALL

REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING MOUNTING HEIGHTS AND EXACT LOCATIONS OF ALL ELECTRICAL DEVICES BEFORE ROUGH-IN.

THE CONTRACTOR SHALL VERIFY EXACT EQUIPMENT LOCATIONS, LOAD INFORMATION, VOLTAGE, AMPERAGE, CONNECTION TYPE, ETC. WITH EQUIPMENT BEING SUPPLIED PRIOR TO ROUGH-IN.

ALL CIRCUITING NUMBERS ARE CONNECTED TO PANEL "LP-BN" UNLESS SPECIFICALLY INDICATED OTHERWISE.

### DEVICE SYMBOLS LEGEND:

SYMBOL DESCRIPTION

- X EXISTING ELECTRICAL EQUIPMENT OR DEVICE TO REMAIN.
- XRR EXISTING ELETRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED AND WALL PATCHED.
- XR EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW
- XO NEW ELECTRICAL EQUIPMENT INSTALLED OVER EXISTING OUTLET.

ALL UNMARKED LIGHTING FIXTURES ARE TYPE "AN" UNLESS INDICATED OTHERWISE - TYPICAL.

HOMERUN ALL NORMAL LIGHTING BRANCH CIRCUITS TO EXISTING PANEL "LP-BN" AND EMERGENCY LIGHTING CIRCUITS TO EXISTING PANEL "EM1-S1" (ON FIRST FLOOR). CIRCUIT NUMBERS INDICATED ARE FOR REFERENCE PURPOSES ONLY IN ORDER TO INDICATE GROUPING.



BASEMENT - LIGHTING PLAN

North

North Project True

1/8" = 1'-0"

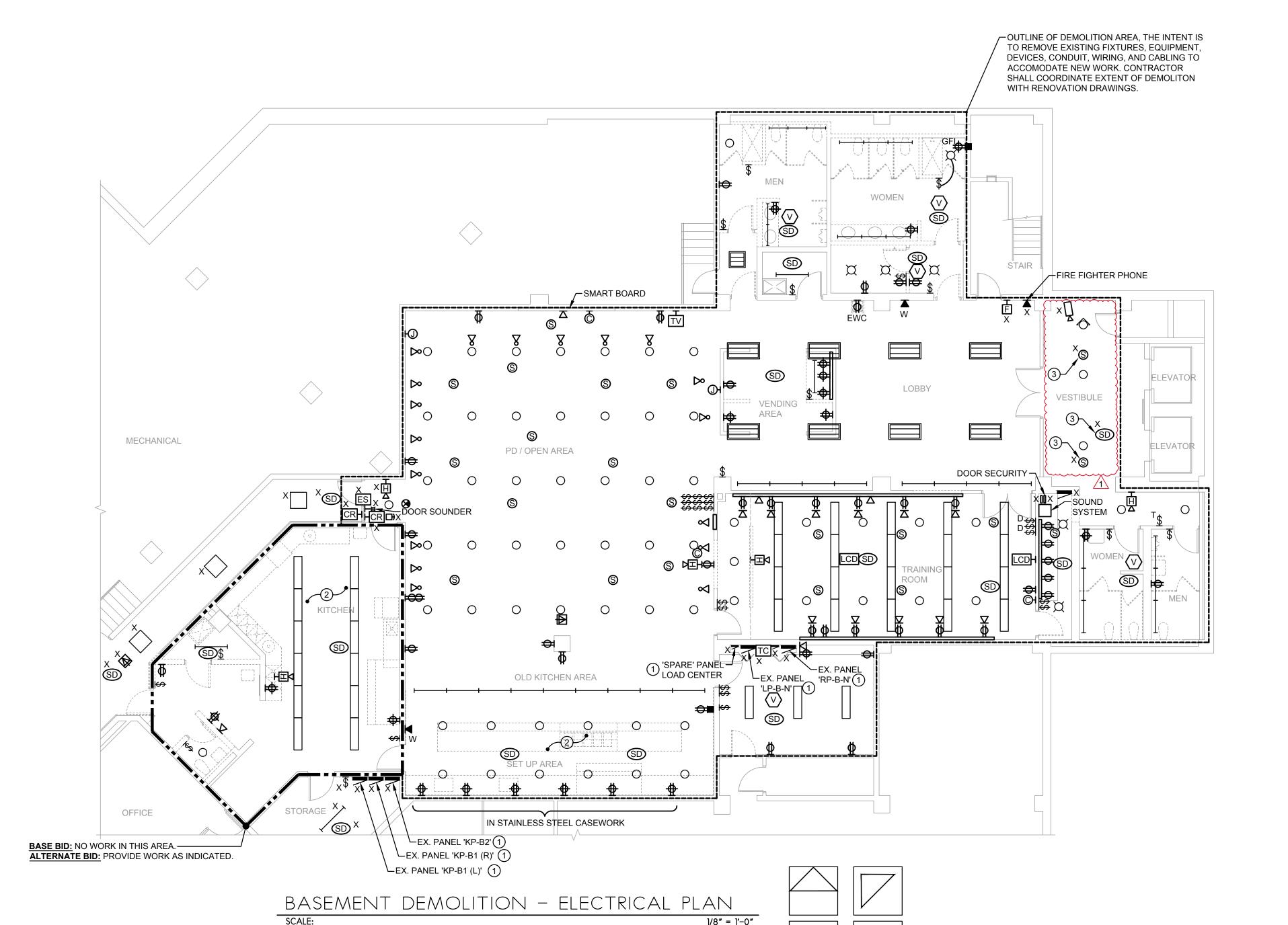
LIGHTING CONTROLS SCHEDULE:									
AREA SERVED	VACANCY SENSOR	OCCUPANCY SENSOR	TIME-CLOCK	DIMMING	DAYLIGHTING	SCENES	REMARKS		
OFFICES AND CONFERENCE ROOMS	<b>√</b>			<b>&gt;</b>					
TOILETS, JANITOR, AND STORAGE ROOMS		✓							
LOBBY, ATTAINMENT LAB AND PAES LAB		✓		<b>√</b>		✓	PROVIDE WITH TWO SCENES PER AREA AND PROGRAMMED PER OWNER REQUIREMENTS.		

MOTORIZED PROJECTION SCREENS - LOCAL SOUND SYSTEM EQUIPMENT A/V EQUIPMENT SHELF

ACCESS CONTROL DEVICES KITCHEN EQUIPMENT

### **EXISTING CONDITIONS NOTE:**

1. EXISTING CONDITIONS WERE DEVELOPED BY A COMBINATION OF FIELD SURVEYING, AS-BUILTS, SERVICING CONTRACTOR'S PROGRAM REPORT, ETC... BUT SOME ASSUMPTIONS WERE MADE DUE TO LIMITED ACCESS (I.E. CASEWORK / EQUIPMENT OBSTRUCTIONS, "HIDDEN" FROM VIEW IN HIGH / DARK CEILINGS, ETC.... THESE PLANS SHALL NOT BE THE SOLE SOURCE OF EXISTING CONDITIONS, CONTRACTOR SHALL FIELD VERIFY ALL AS REQUIRED AND IMMEDIATELY NOTIFY ARCHITECT / ENGINEER OF ANY DEVIATIONS AND / OR PROBLEMATIC ITEMS.



North

Project

North

True

### **DRAWING NOTES:**

- (1) EXISTING PANELBOARD TO REMAIN. CONTRACTOR SHALL TRACE OUT ALL EXISTING LOADS SERVED FROM THIS PANEL. ALL CIRCUITS WHICH NEED TO REMAIN ACTIVE AFTER DEMOLITION TO REMAIN. CONTRACTOR SHALL PROVIDE ADDITIONAL CONDUIT AND WIRING REQUIRED TO MAINTAIN ACTIVE. ALL CIRCUITS MADE SPARE DURING DEMOLITION SHALL BE MARKED ACCORDINGLY FOR RE-USE.
- (2) CONTRACTOR SHALL ELECTRICALLY DISCONNECT EXISTING KITCHEN EQUIPMENT FOR REMOVAL. ONCE KITCHEN EQUIPMENT HAS BEEN REMOVED, CONTRACTOR SHALL REMOVE ALL RECEPTACLES, DISCONNECTS, STARTERS, DEVICES, CONDUIT, WIRING, AND CABLING.
- (3) REINSTALL INTO NEW CEILING.

### **GENERAL DEMOLITION NOTES:**

- 1. ALL INDICATED ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND RELATED CONDUIT AND WIRING TO BE REMOVED UNLESS NOTED OTHERWISE. RE-FEED ANY DOWNSTREAM ITEMS WHICH REMAIN.
- 2. ALL DEMOLITION OF THE ELECTRICAL SYSTEM AS NOTED FOR ON THE DEMOLITION DRAWINGS SHALL BE COORDINATED WITH THE RENOVATION REQUIREMENTS TO DETERMINE THIS CONTRACTORS
- 3. IT IS THE INTENT OF THE ELECTRICAL DEMOLITION DRAWING(S) TO INDICATE AREAS IN WHICH ELECTRICAL EQUIPMENT, CONDUIT, LIGHTING FIXTURES, DEVICES, ETC... NEED TO BE REMOVED, RELOCATED OR MODIFIED BY THIS CONTRACTOR TO ALLOW FOR THE RENOVATION PHASE OF CONSTRUCTION. THE ELECTRICAL DEMOLITION PLAN IS FOR REFERENCE PURPOSES ONLY AND IT IS NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS.
- 4. THIS CONTRACTOR SHALL VISIT THE BUILDING, BEFORE SUBMITTING HIS BID, TO VERIFY THE EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK.
- 5. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ELECTRICAL DEMOLITION REQUIRED TO ACCOMMODATE THE RENOVATION. REMOVE AS REQUIRED ALL LIGHTING FIXTURES, RECEPTACLES, EQUIPMENT, DEVICES, ETC.... PULL OUT ALL UNUSED CONDUCTORS AND CABLES AND REMOVE ALL ABANDONED CONDUIT. ALL REMOVED EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS NOTED OTHERWISE.
- 6. THE CONTRACTOR SHALL IDENTIFY ALL CONDUITS ENTERING PANELBOARDS WITHIN AREA OF WORK. ALL ABANDONED CONDUITS TO BE TAGGED "PIPE ABANDONED" IF THE PIPE IS NO LONGER ACCESSIBLE IN THE FIELD, I.E.: CUT OFF AND ABANDONED IN THE FLOOR OR WALL.

### **DEMOLITION SYMBOLS:**

SYMBOL DESCRIPTION

- X EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
- R EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED
- XRR EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED.
- XR EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION).

### SALVAGED EQUIPMENT NOTE:

- THE FOLLOWING EQUIPMENT TO BE REMOVED BY OWNER / OWNER'S CONTRACTOR. DO  $\underline{\mathsf{NOT}}$  THROW OUT ANY:
- WALL MOUNTED DISPLAY
- AUDIO-VISUAL PROJECTOR
- WIRELESS ACCESS POINT
- DOOR SECURITY EQUIPMENT

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