

# ROCKFORD BOARD OF EDUCATION INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES FOR SCHOOL DISTRICT NO. 205 ROCKFORD, ILLINOIS

RFQ No. 16-19 Gregory Elementary School Additions

DATE: Wednesday, December 9, 2015

RE: ADDENDUM NO. 3

#### To All:

Attached are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

THE BID OPENING WILL BE CHANGED TO FRIDAY, DECEMBER 11, 2015 AT 2:00 P.M. (CST) IN THE 6<sup>TH</sup> FLOOR CONFERENCE ROOM

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 3rd floor prior to coming to the 6th floor. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Purchasing Process Manager by email at tamara.pugh@rps205.com.

#### ROCKFORD BOARD OF EDUCATION

By: Tamara Pugh

Purchasing Process Manager

SECTION 072500 - WEATHER BARRIERS

PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
  - 1. Building wrap.

#### 1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product.
  - 1. For building wrap, include data on air and water-vapor permeance based on testing according to referenced standards.

#### PART 2 - PRODUCTS

#### 2.1 WATER-RESISTIVE BARRIER

- A. Building Wrap: ASTM E 1677, Type I air barrier; with flame-spread and smoke-developed indexes of less than 25 and 450, respectively, when tested according to ASTM E 84; UV stabilized; and acceptable to authorities having jurisdiction.
  - 1. Products: Subject to compliance with requirements, provide one of the following:
    - a. Dow Chemical Company (The); Styrofoam Weathermate Plus Brand Housewrap.
    - b. DuPont (E. I. du Pont de Nemours and Company); Tyvek CommercialWrap.
    - c. Ludlow Coated Products; Air Stop Housewrap.
    - d. Raven Industries Inc.; Fortress Pro Weather Protective Barrier.
    - e. Reemay, Inc.; Typar HouseWrap.
  - 2. Water-Vapor Permeance: Not less than 75 perms (4300 ng/Pa x s x sq. m) per ASTM E 96/E 96M, Desiccant Method (Procedure A).
  - 3. Air Permeance: Not more than 0.004 cfm/sq. ft. at 0.3-inch wg (0.02 L/s x sq. m at 75 Pa) when tested according to ASTM E 2178.
  - 4. Allowable UV Exposure Time: Not less than three months.
  - 5. Fire Propagation Characteristics: Passes NFPA 285 testing as part of an approved assembly.
- B. Building-Wrap Tape: Pressure-sensitive plastic tape recommended by building-wrap manufacturer for sealing joints and penetrations in building wrap.

#### 2.2 MISCELLANEOUS MATERIALS

A. Nails and Staples: ASTM F 1667.

ADDENDUM NO. 3

PART 3 - EXECUTION

#### 3.1 WATER-RESISTIVE BARRIER INSTALLATION

- A. Building Wrap: Comply with manufacturer's written instructions.
  - 1. Seal seams, edges, fasteners, and penetrations with tape.
  - 2. Extend into jambs of openings and seal corners with tape.

END OF SECTION 072500

**ADDENDUM NO. 3** 

ADDENDUM NO. 3 ISSUED: DECEMBER 7, 2015

#### SECTION 074213 - FORMED METAL WALL PANELS

#### PART 1 - GENERAL

#### 1.1 SUMMARY

#### A. Section Includes:

1. Exposed-fastener, lap-seam metal wall panels.

#### 1.2 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.
  - 1. Meet with Owner, Architect, Owner's insurer if applicable, metal panel Installer, metal panel manufacturer's representative, structural-support Installer, and installers whose work interfaces with or affects metal panels, including installers of doors, windows, and louvers.
  - 2. Review and finalize construction schedule and verify availability of materials, Installer's personnel, equipment, and facilities needed to make progress and avoid delays.
  - 3. Review methods and procedures related to metal panel installation, including manufacturer's written instructions.
  - 4. Examine support conditions for compliance with requirements, including alignment between and attachment to structural members.
  - 5. Review flashings, special siding details, wall penetrations, openings, and condition of other construction that affect metal panels.
  - 6. Review governing regulations and requirements for insurance, certificates, and tests and inspections if applicable.
  - 7. Review temporary protection requirements for metal panel assembly during and after installation.
  - 8. Review of procedures for repair of metal panels damaged after installation.
  - 9. Document proceedings, including corrective measures and actions required, and furnish copy of record to each participant.

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
  - 1. Include construction details, material descriptions, dimensions of individual components and profiles, and finishes for each type of panel and accessory.

#### B. Shop Drawings:

- 1. Include fabrication and installation layouts of metal panels; details of edge conditions, joints, panel profiles, corners, anchorages, attachment system, trim, flashings, closures, and accessories; and special details.
- 2. Accessories: Include details of the flashing, trim, and anchorage systems, at a scale of not less than 1-1/2 inches per 12 inches (1:10).

- C. Samples for Verification: For each type of exposed finish, prepared on Samples of size indicated below:
  - 1. Metal Panels: 12 inches (305 mm) long by actual panel width. Include fasteners, closures, and other metal panel accessories.

#### 1.4 CLOSEOUT SUBMITTALS

A. Maintenance Data: For metal panels to include in maintenance manuals.

#### 1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver components, metal panels, and other manufactured items so as not to be damaged or deformed. Package metal panels for protection during transportation and handling.
- B. Unload, store, and erect metal panels in a manner to prevent bending, warping, twisting, and surface damage.
- C. Stack metal panels horizontally on platforms or pallets, covered with suitable weathertight and ventilated covering. Store metal panels to ensure dryness, with positive slope for drainage of water. Do not store metal panels in contact with other materials that might cause staining, denting, or other surface damage.
- D. Retain strippable protective covering on metal panels during installation.

#### 1.6 FIELD CONDITIONS

A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit assembly of metal panels to be performed according to manufacturers' written instructions and warranty requirements.

#### 1.7 COORDINATION

A. Coordinate metal panel installation with rain drainage work, flashing, trim, construction of soffits, and other adjoining work to provide a leakproof, secure, and noncorrosive installation.

#### PART 2 - PRODUCTS

#### 2.1 PERFORMANCE REQUIREMENTS

- A. Structural Performance: Provide metal panel systems capable of withstanding the effects of the following loads, based on testing according to ASTM E 1592:
  - 1. Wind Loads: As indicated on Drawings.
  - 2. Deflection Limits: For wind loads, no greater than 1/180 of the span.

ADDENDUM NO. 3

- B. Thermal Movements: Allow for thermal movements from ambient and surface temperature changes by preventing buckling, opening of joints, overstressing of components, failure of joint sealants, failure of connections, and other detrimental effects. Base calculations on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.
  - Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.
- C. Fire-Resistance Ratings: Comply with ASTM E 119; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
  - 1. Indicate design designations from UL's "Fire Resistance Directory" or from the listings of another qualified testing agency.

#### 2.2 EXPOSED-FASTENER, LAP-SEAM METAL WALL PANELS

- A. General: Provide factory-formed metal panels designed to be field assembled by lapping side edges of adjacent panels and mechanically attaching panels to supports using exposed fasteners in side laps. Include accessories required for weathertight installation.
- B. Corrugated-Profile, Exposed-Fastener Metal Wall Panels : Formed with alternating curved ribs spaced at 2.67 inches (68 mm) o.c. across width of panel.
  - 1. Basis-of-Design Product: Subject to compliance with requirements, provide 1/2' corrugated by Peterson Pac-Clad or comparable product by one of the following:
    - AEP Span; a BlueScope Steel company.
    - b. Alcoa Architectural Products (USA).
    - c. ATAS International, Inc.
    - d. Centria
    - e. Englert, Inc.
    - f. Fabral.
    - g. Firestone Metal Products, LLC.
    - h. MBCI; a division of NCI Building Systems, L.P.
    - i. McElroy Metal, Inc.
    - j. Metal Sales Manufacturing Corporation.
  - Metallic-Coated Steel Sheet: Zinc-coated (galvanized) steel sheet complying with ASTM A 653/A 653M, G90 (Z275) coating designation, or aluminum-zinc alloy-coated steel sheet complying with ASTM A 792/A 792M, Class AZ50 (Class AZM150) coating designation; structural quality. Prepainted by the coil-coating process to comply with ASTM A 755/A 755M.
    - a. Nominal Thickness: 24 gauge.
    - b. Exterior Finish: Two-coat fluoropolymer.
    - c. Color: As selected by Architect from manufacturer's full range.
  - 3. Rib Spacing: 2.67 inches (68 mm) o.c.
  - 4. Panel Coverage: 42.6 inches (1084 mm).
  - 5. Panel Height: 0.5 inch (13 mm).

ADDENDUM NO. 3

#### 2.3 MISCELLANEOUS MATERIALS

- A. Miscellaneous Metal Subframing and Furring: ASTM C 645, cold-formed, metallic-coated steel sheet, ASTM A 653/A 653M, G90 (Z275 hot-dip galvanized) coating designation or ASTM A 792/A 792M, Class AZ50 (Class AZM150) aluminum-zinc-alloy coating designation unless otherwise indicated. Provide manufacturer's standard sections as required for support and alignment of metal panel system.
  - 1. Hat-Shaped, Rigid Furring Channels:
    - a. Depths as indicated.
- B. Flashing and Trim: Provide flashing and trim formed from same material as metal panels as required to seal against weather and to provide finished appearance. Locations include, but are not limited to, bases, drips, sills, jambs, corners, endwalls, framed openings, rakes, fasciae, parapet caps, soffits, reveals, and fillers. Finish flashing and trim with same finish system as adjacent metal panels.
- C. Panel Fasteners: Self-tapping screws designed to withstand design loads. Provide exposed fasteners with heads matching color of metal panels by means of plastic caps or factory-applied coating. Provide EPDM or PVC sealing washers for exposed fasteners.
- D. Panel Sealants: Provide sealant type recommended by manufacturer that are compatible with panel materials, are nonstaining, and do not damage panel finish.
  - 1. Sealant Tape: Pressure-sensitive, 100 percent solids, gray polyisobutylene compound sealant tape with release-paper backing. Provide permanently elastic, nonsag, nontoxic, nonstaining tape 1/2 inch (13 mm) wide and 1/8 inch (3 mm) thick.
  - 2. Joint Sealant: ASTM C 920; elastomeric polyurethane or silicone sealant; of type, grade, class, and use classifications required to seal joints in metal panels and remain weathertight; and as recommended in writing by metal panel manufacturer.

#### 2.4 FABRICATION

- A. General: Fabricate and finish metal panels and accessories at the factory, by manufacturer's standard procedures and processes, as necessary to fulfill indicated performance requirements demonstrated by laboratory testing. Comply with indicated profiles and with dimensional and structural requirements.
- B. Provide panel profile, including major ribs and intermediate stiffening ribs, if any, for full length of panel.
- C. Fabricate metal panel joints with factory-installed captive gaskets or separator strips that provide a weathertight seal and prevent metal-to-metal contact, and that minimize noise from movements.
- D. Sheet Metal Flashing and Trim: Fabricate flashing and trim to comply with manufacturer's recommendations and recommendations in SMACNA's "Architectural Sheet Metal Manual" that apply to design, dimensions, metal, and other characteristics of item indicated.
  - Form exposed sheet metal accessories that are without excessive oil canning, buckling, and tool marks and that are true to line and levels indicated, with exposed edges folded back to form hems.

ADDENDUM NO. 3

- 2. Seams for Aluminum: Fabricate nonmoving seams with flat-lock seams. Form seams and seal with epoxy seam sealer. Rivet joints for additional strength.
- 3. Seams for Other Than Aluminum: Fabricate nonmoving seams in accessories with flat-lock seams. Tin edges to be seamed, form seams, and solder.
- 4. Sealed Joints: Form nonexpansion, but movable, joints in metal to accommodate sealant and to comply with SMACNA standards.
- 5. Conceal fasteners and expansion provisions where possible. Exposed fasteners are not allowed on faces of accessories exposed to view.
- 6. Fabricate cleats and attachment devices from same material as accessory being anchored or from compatible, noncorrosive metal recommended in writing by metal panel manufacturer.
  - a. Size: As recommended by SMACNA's "Architectural Sheet Metal Manual" or metal wall panel manufacturer for application but not less than thickness of metal being secured.

#### 2.5 FINISHES

- A. Protect mechanical and painted finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- B. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Noticeable variations in same piece are not acceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.
- C. Steel Panels and Accessories:
  - Two-Coat Fluoropolymer: AAMA 621. Fluoropolymer finish containing not less than 70
    percent PVDF resin by weight in color coat. Prepare, pretreat, and apply coating to
    exposed metal surfaces to comply with coating and resin manufacturers' written
    instructions.

#### PART 3 - EXECUTION

#### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances, metal panel supports, and other conditions affecting performance of the Work.
  - 1. Examine wall framing to verify that girts, angles, channels, studs, and other structural panel support members and anchorage have been installed within alignment tolerances required by metal wall panel manufacturer.
- B. Examine roughing-in for components and systems penetrating metal panels to verify actual locations of penetrations relative to seam locations of metal panels before installation.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

ADDENDUM NO. 3

#### 3.2 PREPARATION

A. Miscellaneous Supports: Install subframing, furring, and other miscellaneous panel support members and anchorages according to ASTM C 754 and metal panel manufacturer's written recommendations.

#### 3.3 METAL PANEL INSTALLATION

- A. General: Install metal panels according to manufacturer's written instructions in orientation, sizes, and locations indicated. Install panels perpendicular to supports unless otherwise indicated. Anchor metal panels and other components of the Work securely in place, with provisions for thermal and structural movement.
  - 1. Shim or otherwise plumb substrates receiving metal panels.
  - 2. Flash and seal metal panels at perimeter of all openings. Fasten with self-tapping screws. Do not begin installation until air- or water-resistive barriers and flashings that will be concealed by metal panels are installed.
  - 3. Install screw fasteners in predrilled holes.
  - 4. Locate and space fastenings in uniform vertical and horizontal alignment.
  - 5. Install flashing and trim as metal panel work proceeds.
  - 6. Locate panel splices over, but not attached to, structural supports. Stagger panel splices and end laps to avoid a four-panel lap splice condition.
  - 7. Align bottoms of metal panels and fasten with blind rivets, bolts, or self-tapping screws. Fasten flashings and trim around openings and similar elements with self-tapping screws.
  - 8. Provide weathertight escutcheons for pipe- and conduit-penetrating panels.

#### B. Fasteners:

- 1. Steel Panels: Use stainless-steel fasteners for surfaces exposed to the exterior; use galvanized-steel fasteners for surfaces exposed to the interior.
- C. Metal Protection: Where dissimilar metals contact each other or corrosive substrates, protect against galvanic action as recommended in writing by metal panel manufacturer.
- D. Lap-Seam Metal Panels: Fasten metal panels to supports with fasteners at each lapped joint at location and spacing recommended by manufacturer.
  - 1. Lap ribbed or fluted sheets one full rib. Apply panels and associated items true to line for neat and weathertight enclosure.
  - Provide metal-backed washers under heads of exposed fasteners bearing on weather side of metal panels.
  - 3. Locate and space exposed fasteners in uniform vertical and horizontal alignment. Use proper tools to obtain controlled uniform compression for positive seal without rupture of washer.
  - 4. Install screw fasteners with power tools having controlled torque adjusted to compress washer tightly without damage to washer, screw threads, or panels. Install screws in predrilled holes.
  - 5. Flash and seal panels with weather closures at perimeter of all openings.
- E. Accessory Installation: Install accessories with positive anchorage to building and weathertight mounting, and provide for thermal expansion. Coordinate installation with flashings and other components.

ADDENDUM NO. 3

- Install components required for a complete metal panel system including trim, copings, corners, seam covers, flashings, sealants, gaskets, fillers, closure strips, and similar items. Provide types indicated by metal wall panel manufacturer; or, if not indicated, provide types recommended by metal panel manufacturer.
- F. Flashing and Trim: Comply with performance requirements, manufacturer's written installation instructions, and SMACNA's "Architectural Sheet Metal Manual." Provide concealed fasteners where possible, and set units true to line and level as indicated. Install work with laps, joints, and seams that are permanently watertight.
  - 1. Install exposed flashing and trim that is without buckling and tool marks, and that is true to line and levels indicated, with exposed edges folded back to form hems. Install sheet metal flashing and trim to fit substrates and achieve waterproof performance.
  - 2. Expansion Provisions: Provide for thermal expansion of exposed flashing and trim. Space movement joints at a maximum of 10 feet (3 m) with no joints allowed within 24 inches (610 mm) of corner or intersection. Where lapped expansion provisions cannot be used or would not be sufficiently waterproof, form expansion joints of intermeshing hooked flanges, not less than 1 inch (25 mm) deep, filled with mastic sealant (concealed within joints).

#### 3.4 CLEANING AND PROTECTION

- A. Remove temporary protective coverings and strippable films, if any, as metal panels are installed, unless otherwise indicated in manufacturer's written installation instructions. On completion of metal panel installation, clean finished surfaces as recommended by metal panel manufacturer. Maintain in a clean condition during construction.
- B. After metal panel installation, clear weep holes and drainage channels of obstructions, dirt, and sealant.
- C. Replace metal panels that have been damaged or have deteriorated beyond successful repair by finish touchup or similar minor repair procedures.

END OF SECTION 074213

ADDENDUM NO. 3

Rockford Public Schools District 205 Gregory Elementary School – Addition & Renovation 4820 Carol Ct, Rockford IL 61108 Cannon Design Project No. 004645.06

**BID ADDENDUM NO. 03** 

Date of Addendum: December 08, 2015

Original Date of Contract Documents: Issued for Bid: November 03, 2015

Attn: Architects and Engineers

Craig Elliott
Ragnar Benson Construction
1907 Kishwaukee Street
Rockford, Illinois 61104

Cannon Design 225 N. Michigan Ave, Suite 1100 Chicago, Illinois 60601

This Addendum amends Drawings and/or Specifications and/or Addenda for the above titled project, as indicated below, and is hereby incorporated into the Contract Documents as part thereof.

Bidders are required to acknowledge receipt of this Addendum in the space provided on the Proposal/Bid Form.

**SPECIFICATIONS (PROJECT MANUAL)** 

#### 1. 042000 – UNIT MASONRY

- A. Page 042000-11, Article 2.10, Insert Paragraph F to read as follows:
  - "F. Masonry Cleaner: Propriety Mixture; Sure-Kleen Vanatrol by Proso Co."
- B. Page 042000-20, Article 3.15, Delete Paragraph D in its entirety and replace with the following:
  - "D. Final Cleaning of Brick Work:
    - 1. After mortar is thoroughly set and cured, clean sample wall area of approximately 20 sq. ft. as follows. Obtain Architect's acceptance of sample cleaning before proceeding to clean rest of masonry work.
    - 2. Protect non-masonry surfaces from contact with cleaner.
    - 3. Mix the cleaning agent with not less than six (6) parts water and as recommended by the manufacturer.
    - 4. Working areas not larger than 150 sq. ft. at a time, thoroughly wet the masonry surface.
    - 5. Apply the cleaning solution liberally with a natural fiber brush.
    - 6. Allow cleaning solution to remain on the wall for approximately 5 minutes. Do not allow the cleaning solution to dry on the wall.
    - 7. Scrape off excess mortar deposits. Use of metal scrapers is discouraged. Use of wire brushes is forbidden.
    - 8. Reapply cleaning solution.
    - 9. Rinse thoroughly with fresh water at a pressure not to exceed 1000 psi.
    - 10. When working from staging, keep area below surface wet."

#### 2. 072500 – WEATHER BARRIERS

A. Section 072500 is new but was not issued in Addendum No. 1 or Addendum No. 2 and is hereby included as an attachment to Addendum No. 3.

#### 3. 074213 – FORMED METAL WALL PANELS

A. Section 074213 is new but was not issued in Addendum No. 1 or Addendum No. 2 and is hereby included as an attachment to Addendum No. 3.

#### **DRAWINGS**

#### 1. <u>D0201.B – LEVEL 01 ARCHITECTURAL DEMOLITION PLAN – AREA B</u>

A. Drawing D0201.C has been revised and is being issued as an attachment to this Addendum.

#### 2. D0201.C - LEVEL 01 ARCHITECTURAL DEMOLITION PLAN - AREA C

A. Drawing D0201.C has been revised and is being issued as an attachment to this Addendum.

#### 3. D0301 – LEVEL 01 PLUMBING DEMOLITION PLAN

B. Drawing D0301 was not issued in Addendum No. 2 and has been revised and being issued as an attachment to this Addendum

#### 4. A0051 - ARCHITECTURAL SITE PLAN

A. Drawing D0051 has been revised and is being issued as an attachment to this Addendum.

#### 5. A0101.B – LEVEL 01 ARCHITECTURAL PLAN – AREA B

A. Drawing A0101.B has been revised and is being issued as an attachment to this Addendum.

#### 6. A0101.C – LEVEL 01 ARCHITECTURAL PLAN – AREA C

A. Drawing A0101.C has been revised and is being issued as an attachment to this Addendum.

#### 7. <u>A0601 – INTERIOR ELEVATIONS</u>

A. Drawing A0601 has been revised and is being issued as an attachment to this Addendum.

#### 8. <u>A1200 – FINISH LEGEND, NOTES AND DETAILS</u>

A. Drawing A1200 has been revised and is being issued as an attachment to this

Addendum.

#### 9. A1201.B – LEVEL 01 FINISH PLAN – AREA B

A. Drawing A1201.B has been revised and is being issued as an attachment to this Addendum.

#### 10. A1201.C – LEVEL 01 FINISH PLAN – AREA C

A. Drawing A1201.C has been revised and is being issued as an attachment to this Addendum.

#### 11. A1301 – GYMNASIUM STRIPING PLANS

A. Drawing A1301 has been revised and is being issued as an attachment to this Addendum.

#### 12. <u>P0101.B – LEVEL 01 PLUMBING PLAN – AREA B</u>

A. Drawing P0101.B has been revised and is being issued as an attachment to this Addendum.

#### 13. P0101.C - LEVEL 01 PLUMBING PLAN - AREA C

A. Drawing P0101.C has been revised and is being issued as an attachment to this Addendum.

#### 14. <u>P0401 – WATER RISER DIAGRAMS</u>

A. Drawing P0401 has been revised and is being issued as an attachment to this Addendum.

#### 15. <u>P0501 – SCHEDULES</u>

A. Drawing P0501 has been revised and is being issued as an attachment to this Addendum.

#### 16. <u>E0201.C – LEVEL 01 POWER AND SYSTEMS PLAN – AREA C</u>

A. Drawing E0201.C has been revised and is being issued as an attachment to this Addendum.

#### RFIs:

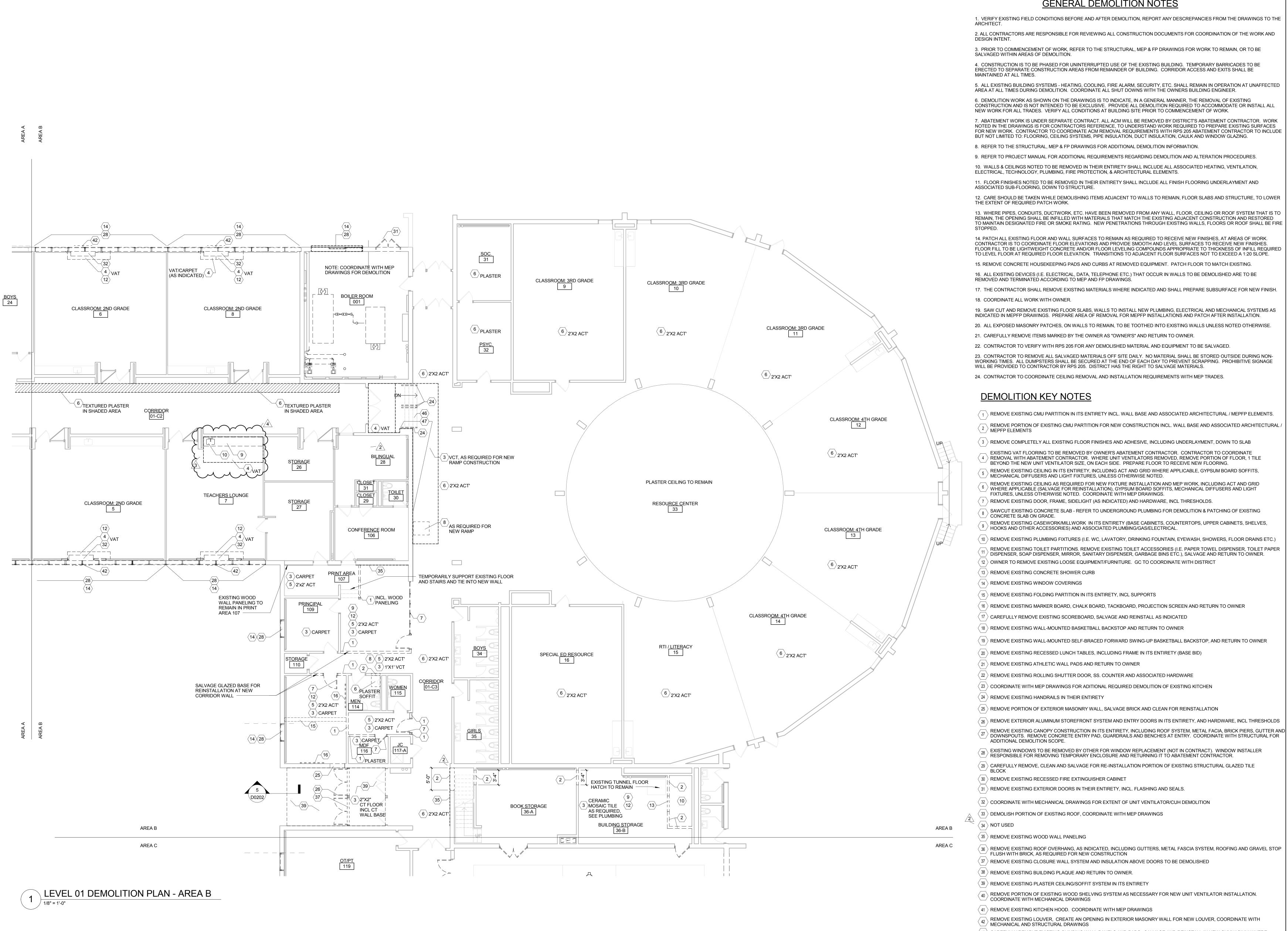
#### 4. RFI ID NO. 1104: GREGORY – MISC MECHANICAL

- A. Due to the table being cut off in the rfi report issued in Addendum 02, below are answers to RFI questions 8, 9, 10, 11 to RFI ID No. 1104
  - a) 8. Is it possible to view a Duct Insulation Schedule Matrix simply indicating which systems require External and which systems indicate

Internal (Liner) duct insulation?

- (1) The contractor is to indicate insulation locations on the submitted coordination drawings.
- After reviewing the Architectural reflected ceiling plan/drawings, the only rooms found to require Double Wall Round Ductwork is the GYM Storage #140 and GYMNASIUM #139 (Non Fibric Duct)
  - (1) Correct. The rigid ductwork in the new gymnasium is to be double-walled rectangular ductwork, as noted on the drawings.
- c) 10. All "M" Plan sheets have General note #1, clean all existing to remain outdoor air intake louvers and ductwork in school, there are louvers that have been clearly damaged, are we to repair or replace these items?
  - (1) All outdoor louvers at grade are called to be replaced throughout the school (either with the new unit ventilators or the louvers for 119 and 124. The only louvers to remain (and be cleaned) are for the equipment in the mechanical loft over the Book Storage room in Area B. These louvers do not need to be replaced but are to be cleaned to remove debris deposited there from construction activities.
- d) 11. Specification 22 13 16 Sanitary Waste, Storm and Vent Piping, indicates Cast Iron as the only allowable material for underground & Above ground applications, Is it acceptable to utilize Schedule 40 PVC for the underground and aboveground areas not effected by a return air plenum?
  - (1) Schedule 40 PVC is acceptable for underground installations only.

END OF ADDENDUM NO. 3



**GENERAL DEMOLITION NOTES** 

1. VERIFY EXISTING FIELD CONDITIONS BEFORE AND AFTER DEMOLITION, REPORT ANY DESCREPANCIES FROM THE DRAWINGS TO THE

3. PRIOR TO COMMENCEMENT OF WORK, REFER TO THE STRUCTURAL, MEP & FP DRAWINGS FOR WORK TO REMAIN, OR TO BE

4. CONSTRUCTION IS TO BE PHASED FOR UNINTERRUPTED USE OF THE EXISTING BUILDING. TEMPORARY BARRICADES TO BE ERECTED TO SEPARATE CONSTRUCTION AREAS FROM REMAINDER OF BUILDING. CORRIDOR ACCESS AND EXITS SHALL BE

5. ALL EXISTING BUILDING SYSTEMS - HEATING, COOLING, FIRE ALARM, SECURITY, ETC. SHALL REMAIN IN OPERATION AT UNAFFECTED

AREA AT ALL TIMES DURING DEMOLITION. COORDINATE ALL SHUT DOWNS WITH THE OWNERS BUILDING ENGINEER. 6. DEMOLITION WORK AS SHOWN ON THE DRAWINGS IS TO INDICATE. IN A GENERAL MANNER. THE REMOVAL OF EXISTING CONSTRUCTION AND IS NOT INTENDED TO BE EXCLUSIVE. PROVIDE ALL DEMOLITION REQUIRED TO ACCOMMODATE OR INSTALL ALL NEW WORK FOR ALL TRADES. VERIFY ALL CONDITIONS AT BUILDING SITE PRIOR TO COMMENCEMENT OF WORK.

7. ABATEMENT WORK IS UNDER SEPARATE CONTRACT. ALL ACM WILL BE REMOVED BY DISTRICT'S ABATEMENT CONTRACTOR. WORK NOTED IN THE DRAWINGS IS FOR CONTRACTORS REFERENCE, TO UNDERSTAND WORK REQUIRED TO PREPARE EXISTING SURFACES FOR NEW WORK. CONTRACTOR TO COORDINATE ACM REMOVAL REQUIREMENTS WITH RPS 205 ABATEMENT CONTRACTOR TO INCLUDE BUT NOT LIMITED TO: FLOORING, CEILING SYSTEMS, PIPE INSULATION, DUCT INSULATION, CAULK AND WINDOW GLAZING.

- 9. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS REGARDING DEMOLITION AND ALTERATION PROCEDURES.
- 11. FLOOR FINISHES NOTED TO BE REMOVED IN THEIR ENTIRETY SHALL INCLUDE ALL FINISH FLOORING UNDERLAYMENT AND

12. CARE SHOULD BE TAKEN WHILE DEMOLISHING ITEMS ADJACENT TO WALLS TO REMAIN, FLOOR SLABS AND STRUCTURE, TO LOWER

REMAIN, THE OPENING SHALL BE INFILLED WITH MATERIALS THAT MATCH THE EXISTING ADJACENT CONSTRUCTION AND RESTORED TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING. NEW PENETRATIONS THROUGH EXISTING WALLS, FLOORS OR ROOF SHALL BE FIRE

14. PATCH ALL EXISTING FLOOR AND WALL SURFACES TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES, AT AREAS OF WORK. CONTRACTOR IS TO COORDINATE FLOOR ELEVATIONS AND PROVIDE SMOOTH AND LEVEL SURFACES TO RECEIVE NEW FINISHES. FLOOR FILL TO BE LIGHTWEIGHT CONCRETE AND/OR FLOOR LEVELING COMPOUNDS APPROPRIATE TO THICKNESS OF INFILL REQUIRED TO LEVEL FLOOR AT REQUIRED FLOOR ELEVATION. TRANSITIONS TO ADJACENT FLOOR SURFACES NOT TO EXCEED A 1:20 SLOPE.

- 15. REMOVE CONCRETE HOUSEKEEPING PADS AND CURBS AT REMOVED EQUIPMENT. PATCH FLOOR TO MATCH EXISTING.
- 16. ALL EXISTING DEVICES (I.E. ELECTRICAL, DATA, TELEPHONE ETC.) THAT OCCUR IN WALLS TO BE DEMOLISHED ARE TO BE

INDICATED IN MEPFP DRAWINGS. PREPARE AREA OF REMOVAL FOR MEPFP INSTALLATIONS AND PATCH AFTER INSTALLATION.

23. CONTRACTOR TO REMOVE ALL SALVAGED MATERIALS OFF SITE DAILY. NO MATERIAL SHALL BE STORED OUTSIDE DURING NON-WORKING TIMES. ALL DUMPSTERS SHALL BE SECURED AT THE END OF EACH DAY TO PREVENT SCRAPPING. PROHIBITIVE SIGNAGE

- REMOVE EXISTING CMU PARTITION IN ITS ENTIRETY INCL. WALL BASE AND ASSOCIATED ARCHITECTURAL / MEPFP ELEMENTS.
- REMOVE PORTION OF EXISTING CMU PARTITION FOR NEW CONSTRUCTION INCL. WALL BASE AND ASSOCIATED ARCHITECTURAL
- $\langle$  3  $\rangle$  REMOVE COMPLETELY ALL EXISTING FLOOR FINISHES AND ADHESIVE, INCLUDING UNDERLAYMENT, DOWN TO SLAB
- REMOVAL WITH ABATEMENT CONTRACTOR. WHERE UNIT VENTILATORS REMOVED, REMOVE PORTION OF FLOOR, 1 TILE
- REMOVE EXISTING CEILING AS REQUIRED FOR NEW FIXTURE INSTALLATION AND MEP WORK, INCLUDING ACT AND GRID
- WHERE APPLICABLE (SALVAGE FOR REINSTALLATION), GYPSUM BOARD SOFFITS, MECHANICAL DIFFUSERS AND LIGHT
- REMOVE EXISTING DOOR, FRAME, SIDELIGHT (AS INDICATED) AND HARDWARE, INCL THRESHOLDS.

- $\langle$  10  $\rangle$  REMOVE EXISTING PLUMBING FIXTURES (I.E. WC, LAVATORY, DRINKING FOUNTAIN, EYEWASH, SHOWERS, FLOOR DRAINS ETC.)
- REMOVE EXISTING TOILET PARTITIONS. REMOVE EXISTING TOILET ACCESSORIES (I.E. PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, SOAP DISPENSER, MIRROR, SANITARY DISPENSER, GARBAGE BINS ETC.), SALVAGE AND RETURN TO OWNER.
- $\Omega \setminus \mathsf{OWNER}$  TO REMOVE EXISTING LOOSE EQUIPMENT/FURNITURE. GC TO COORDINATE WITH DISTRICT
- $\langle$  16  $\rangle$  REMOVE EXISTING MARKER BOARD, CHALK BOARD, TACKBOARD, PROJECTION SCREEN AND RETURN TO OWNER
- ( 19 ) REMOVE EXISTING WALL-MOUNTED SELF-BRACED FORWARD SWING-UP BASKETBALL BACKSTOP, AND RETURN TO OWNER
- $\langle$  25  $\rangle$  REMOVE PORTION OF EXTERIOR MASONRY WALL, SALVAGE BRICK AND CLEAN FOR REINSTALLATION .
- $\langle$   $_{26}$  angle REMOVE EXTERIOR ALUMINUM STOREFRONT SYSTEM AND ENTRY DOORS IN ITS ENTIRETY, AND HARDWARE, INCL THRESHOLDS
- DOWNSPOUTS. REMOVE CONCRETE ENTRY PAD, GUARDRAILS AND BENCHES AT ENTRY. COORDINATE WITH STRUCTURAL FOR
- 28 EXISTING WINDOWS TO BE REMOVED BY OTHER FOR WINDOW REPLACEMENT (NOT IN CONTRACT). WINDOW INSTALLER  $\frac{20}{2}$  RESPONSIBLE FOR REMOVING TEMPORARY ENCLOSURE AND RETURNING IT TO ABATEMENT CONTRACTOR.
- (29) CAREFULLY REMOVE, CLEAN AND SALVAGE FOR RE-INSTALLATION PORTION OF EXISTING STRUCTURAL GLAZED TILE
- $\langle$  36  $\rangle$  REMOVE EXISTING ROOF OVERHANG, AS INDICATED, INCLUDING GUTTERS, METAL FASCIA SYSTEM, ROOFING AND GRAVEL STOP
- REMOVE EXISTING LOUVER, CREATE AN OPENING IN EXTERIOR MASONRY WALL FOR NEW LOUVER, COORDINATE WITH
- $\langle$  43  $\rangle$  carefully remove existing climbing wall panels and pads. Salvage and reinstall in New Gymnasium where
- $\langle$  44  $\rangle$  REMOVE EXISTING STRUCTURAL GLAZED TILE WINDOW STOOL
- $\overline{\langle 45 \rangle}$  CAREFULLY REMOVE, CLEAN AND SALVAGE FOR RE-INSTALLATION FACE BRICK, AS REQUIRED FOR NEW BEAM TIE IN TO
- ── EXISTING CMU AT EXTERIOR WALL REFER TO STRUCTURAL DRAWINGS  $\langle$   $_{46}$  angle REMOVE EXISTING METAL STAIR NOSINGS AND RUBBER RISERS COMPLETELY
- $\left<47\right>$  SAWCUT EXISTING WOOD PANELING, APPROXIMATELY 1"-2" ABOVE NEW RAMP SURACE (SEE SHEET A0811 FOR RAMP



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224-717-1999

ADDENDUM 03 ADDENDUM 02 ADDENDUM 01 ISSUED FOR BID

Date Description

**KEY PLAN** 

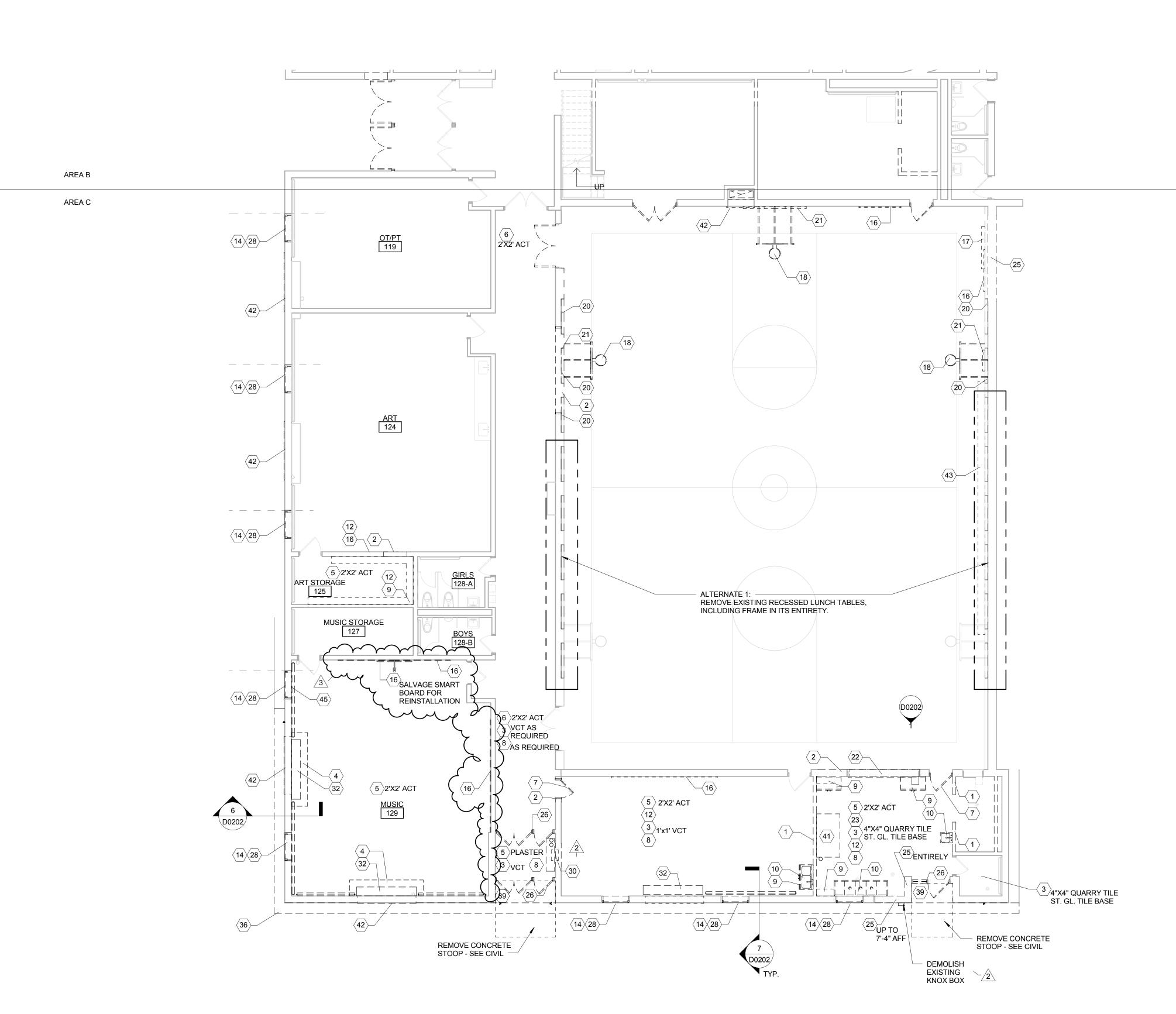
Drawing Title: LEVEL 01 **ARCHITECTURAL** 

**DEMOLITION PLAN - AREA** Project No.: 004645.06 Checked by: Checker

12/04/2015

11/19/2015

11/03/2015



1 LEVEL 01 DEMOLITION PLAN - AREA C

### **GENERAL DEMOLITION NOTES**

 VERIFY EXISTING FIELD CONDITIONS BEFORE AND AFTER DEMOLITION, REPORT ANY DESCREPANCIES FROM THE DRAWINGS TO THE ARCHITECT.
 ALL CONTRACTORS ARE RESPONSIBLE FOR REVIEWING ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF THE WORK AND

3. PRIOR TO COMMENCEMENT OF WORK, REFER TO THE STRUCTURAL, MEP & FP DRAWINGS FOR WORK TO REMAIN, OR TO BE

4. CONSTRUCTION IS TO BE PHASED FOR UNINTERRUPTED USE OF THE EXISTING BUILDING. TEMPORARY BARRICADES TO BE ERECTED TO SEPARATE CONSTRUCTION AREAS FROM REMAINDER OF BUILDING. CORRIDOR ACCESS AND EXITS SHALL BE MAINTAINED AT ALL TIMES.

5. ALL EXISTING BUILDING SYSTEMS - HEATING, COOLING, FIRE ALARM, SECURITY, ETC. SHALL REMAIN IN OPERATION AT UNAFFECTED AREA AT ALL TIMES DURING DEMOLITION. COORDINATE ALL SHUT DOWNS WITH THE OWNERS BUILDING ENGINEER.

6. DEMOLITION WORK AS SHOWN ON THE DRAWINGS IS TO INDICATE, IN A GENERAL MANNER, THE REMOVAL OF EXISTING CONSTRUCTION AND IS NOT INTENDED TO BE EXCLUSIVE. PROVIDE ALL DEMOLITION REQUIRED TO ACCOMMODATE OR INSTALL ALL NEW WORK FOR ALL TRADES. VERIFY ALL CONDITIONS AT BUILDING SITE PRIOR TO COMMENCEMENT OF WORK.

7. ABATEMENT WORK IS UNDER SEPARATE CONTRACT. ALL ACM WILL BE REMOVED BY DISTRICT'S ABATEMENT CONTRACTOR. WORK NOTED IN THE DRAWINGS IS FOR CONTRACTORS REFERENCE, TO UNDERSTAND WORK REQUIRED TO PREPARE EXISTING SURFACES FOR NEW WORK. CONTRACTOR TO COORDINATE ACM REMOVAL REQUIREMENTS WITH RPS 205 ABATEMENT CONTRACTOR TO INCLUDE BUT NOT LIMITED TO: FLOORING, CEILING SYSTEMS, PIPE INSULATION, DUCT INSULATION, CAULK AND WINDOW GLAZING.

8. REFER TO THE STRUCTURAL, MEP & FP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

9. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS REGARDING DEMOLITION AND ALTERATION PROCEDURES.
 10. WALLS & CEILINGS NOTED TO BE REMOVED IN THEIR ENTIRETY SHALL INCLUDE ALL ASSOCIATED HEATING, VENTILATION, ELECTRICAL, TECHNOLOGY, PLUMBING, FIRE PROTECTION, & ARCHITECTURAL ELEMENTS.

11. FLOOR FINISHES NOTED TO BE REMOVED IN THEIR ENTIRETY SHALL INCLUDE ALL FINISH FLOORING UNDERLAYMENT AND ASSOCIATED SUB-FLOORING, DOWN TO STRUCTURE.

12. CARE SHOULD BE TAKEN WHILE DEMOLISHING ITEMS ADJACENT TO WALLS TO REMAIN, FLOOR SLABS AND STRUCTURE, TO LOWER THE EXTENT OF REQUIRED PATCH WORK.

13. WHERE PIPES, CONDUITS, DUCTWORK, ETC. HAVE BEEN REMOVED FROM ANY WALL, FLOOR, CEILING OR ROOF SYSTEM THAT IS TO REMAIN, THE OPENING SHALL BE INFILLED WITH MATERIALS THAT MATCH THE EXISTING ADJACENT CONSTRUCTION AND RESTORED TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING. NEW PENETRATIONS THROUGH EXISTING WALLS, FLOORS OR ROOF SHALL BE FIRE STOPPED.

14. PATCH ALL EXISTING FLOOR AND WALL SURFACES TO REMAIN AS REQUIRED TO RECEIVE NEW FINISHES, AT AREAS OF WORK. CONTRACTOR IS TO COORDINATE FLOOR ELEVATIONS AND PROVIDE SMOOTH AND LEVEL SURFACES TO RECEIVE NEW FINISHES. FLOOR FILL TO BE LIGHTWEIGHT CONCRETE AND/OR FLOOR LEVELING COMPOUNDS APPROPRIATE TO THICKNESS OF INFILL REQUIRED TO LEVEL FLOOR AT REQUIRED FLOOR ELEVATION. TRANSITIONS TO ADJACENT FLOOR SURFACES NOT TO EXCEED A 1:20 SLOPE.

TO LEVEL FLOOR AT REQUIRED FLOOR ELEVATION. TRANSITIONS TO ADJACENT FLOOR SURFACES NOT TO EXCEED A 1:20 SLOP

15. REMOVE CONCRETE HOUSEKEEPING PADS AND CURBS AT REMOVED EQUIPMENT. PATCH FLOOR TO MATCH EXISTING.

16. ALL EXISTING DEVICES (I.E. ELECTRICAL, DATA, TELEPHONE ETC.) THAT OCCUR IN WALLS TO BE DEMOLISHED ARE TO BE

REMOVED AND TERMINATED ACCORDING TO MEP AND FP DRAWINGS.

17. THE CONTRACTOR SHALL REMOVE EXISTING MATERIALS WHERE INDICATED AND SHALL PREPARE SUBSURFACE FOR NEW FINISH.

18. COORDINATE ALL WORK WITH OWNER.19. SAW CUT AND REMOVE EXISTING FLOOR SLABS, WALLS TO INSTALL NEW PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS AS

SAW CUT AND REMOVE EXISTING FLOOR SLABS, WALLS TO INSTALL NEW PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS AS INDICATED IN MEPFP DRAWINGS. PREPARE AREA OF REMOVAL FOR MEPFP INSTALLATIONS AND PATCH AFTER INSTALLATION.
 ALL EXPOSED MASONRY PATCHES, ON WALLS TO REMAIN, TO BE TOOTHED INTO EXISTING WALLS UNLESS NOTED OTHERWISE.

21. CAREFULLY REMOVE ITEMS MARKED BY THE OWNER AS "OWNER'S" AND RETURN TO OWNER.

22. CONTRACTOR TO VERIFY WITH RPS 205 FOR ANY DEMOLISHED MATERIAL AND EQUIPMENT TO BE SALVAGED.
23. CONTRACTOR TO REMOVE ALL SALVAGED MATERIALS OFF SITE DAILY. NO MATERIAL SHALL BE STORED OUTSIDE DURING NON-WORKING TIMES. ALL DUMPSTERS SHALL BE SECURED AT THE END OF EACH DAY TO PREVENT SCRAPPING. PROHIBITIVE SIGNAGE WILL BE PROVIDED TO CONTRACTOR BY RPS 205. DISTRICT HAS THE RIGHT TO SALVAGE MATERIALS.

24. CONTRACTOR TO COORDINATE CEILING REMOVAL AND INSTALLATION REQUIREMENTS WITH MEP TRADES.

### **DEMOLITION KEY NOTES**

SALVAGED WITHIN AREAS OF DEMOLITION.

- REMOVE EXISTING CMU PARTITION IN ITS ENTIRETY INCL. WALL BASE AND ASSOCIATED ARCHITECTURAL / MEPFP ELEMENTS.
- REMOVE PORTION OF EXISTING CMU PARTITION FOR NEW CONSTRUCTION INCL. WALL BASE AND ASSOCIATED ARCHITECTURAL MEPFP ELEMENTS
- 3 REMOVE COMPLETELY ALL EXISTING FLOOR FINISHES AND ADHESIVE, INCLUDING UNDERLAYMENT, DOWN TO SLAB
- EXISTING VAT FLOORING TO BE REMOVED BY OWNER'S ABATEMENT CONTRACTOR. CONTRACTOR TO COORDINATE 4 REMOVAL WITH ABATEMENT CONTRACTOR. WHERE UNIT VENTILATORS REMOVED, REMOVE PORTION OF FLOOR, 1 TILE
- BEYOND THE NEW UNIT VENTILATOR SIZE, ON EACH SIDE. PREPARE FLOOR TO RECEIVE NEW FLOORING.
- REMOVE EXISTING CEILING IN ITS ENTIRETY, INCLUDING ACT AND GRID WHERE APPLICABLE, GYPSUM BOARD SOFFITS, MECHANICAL DIFFUSERS AND LIGHT FIXTURES, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING CEILING AS REQUIRED FOR NEW FIXTURE INSTALLATION AND MEP WORK, INCLUDING ACT AND GRID WHERE APPLICABLE (SALVAGE FOR REINSTALLATION), GYPSUM BOARD SOFFITS, MECHANICAL DIFFUSERS AND LIGHT
- FIXTURES, UNLESS OTHERWISE NOTED. COORDINATE WITH MEP DRAWINGS.

  7 REMOVE EXISTING DOOR, FRAME, SIDELIGHT (AS INDICATED) AND HARDWARE, INCL THRESHOLDS.
- SAWCUT EXISTING CONCRETE SLAB REFER TO UNDERGROUND PLUMBING FOR DEMOLITION & PATCHING OF EXISTING CONCRETE SLAB ON GRADE.
- REMOVE EXISTING CASEWORK/MILLWORK IN ITS ENTIRETY (BASE CABINETS, COUNTERTOPS, UPPER CABINETS, SHELVES, HOOKS AND OTHER ACCESSORIES) AND ASSOCIATED PLUMBING/GAS/ELECTRICAL.
- To Remove existing plumbing fixtures (i.e. WC, Lavatory, Drinking Fountain, Eyewash, Showers, Floor Drains etc.)
- REMOVE EXISTING TOILET PARTITIONS. REMOVE EXISTING TOILET ACCESSORIES (I.E. PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, SOAP DISPENSER, MIRROR, SANITARY DISPENSER, GARBAGE BINS ETC.), SALVAGE AND RETURN TO OWNER.
- OWNER TO REMOVE EXISTING LOOSE EQUIPMENT/FURNITURE. GC TO COORDINATE WITH DISTRICT
- 13 REMOVE EXISTING CONCRETE SHOWER CURB
- 14 REMOVE EXISTING WINDOW COVERINGS
- 15 REMOVE EXISTING FOLDING PARTITION IN ITS ENTIRETY, INCL SUPPORTS
- 16 REMOVE EXISTING MARKER BOARD, CHALK BOARD, TACKBOARD, PROJECTION SCREEN AND RETURN TO OWNER
- (17) CAREFULLY REMOVE EXISTING SCOREBOARD, SALVAGE AND REINSTALL AS INDICATED
- igg(18igg) REMOVE EXISTING WALL-MOUNTED BASKETBALL BACKSTOP AND RETURN TO OWNER
- 19 REMOVE EXISTING WALL-MOUNTED SELF-BRACED FORWARD SWING-UP BASKETBALL BACKSTOP, AND RETURN TO OWNER
- $\langle 20 \rangle$  REMOVE EXISTING RECESSED LUNCH TABLES, INCLUDING FRAME IN ITS ENTIRETY (BASE BID)
- 21 REMOVE EXISTING ATHLETIC WALL PADS AND RETURN TO OWNER
- $\stackrel{\smile}{22}$  REMOVE EXISTING ROLLING SHUTTER DOOR, SS. COUNTER AND ASSOCIATED HARDWARE
- 23 COORDINATE WITH MEP DRAWINGS FOR ADITIONAL REQUIRED DEMOLITION OF EXISTING KITCHEN
- 24 REMOVE EXISTING HANDRAILS IN THEIR ENTIRETY
- 25 REMOVE PORTION OF EXTERIOR MASONRY WALL, SALVAGE BRICK AND CLEAN FOR REINSTALLATION
- $\langle 26 \rangle$  REMOVE EXTERIOR ALUMINUM STOREFRONT SYSTEM AND ENTRY DOORS IN ITS ENTIRETY, AND HARDWARE, INCL THRESHOLDS
- REMOVE EXISTING CANOPY CONSTRUCTION IN ITS ENTIRETY, INCLUDING ROOF SYSTEM, METAL FACIA, BRICK PIERS, GUTTER AND DOWNSPOUTS. REMOVE CONCRETE ENTRY PAD, GUARDRAILS AND BENCHES AT ENTRY. COORDINATE WITH STRUCTURAL FOR ADDITIONAL DEMOLITION SCOPE.
- EXISTING WINDOWS TO BE REMOVED BY OTHER FOR WINDOW REPLACEMENT (NOT IN CONTRACT). WINDOW INSTALLER RESPONSIBLE FOR REMOVING TEMPORARY ENCLOSURE AND RETURNING IT TO ABATEMENT CONTRACTOR.
- CAREFULLY REMOVE, CLEAN AND SALVAGE FOR RE-INSTALLATION PORTION OF EXISTING STRUCTURAL GLAZED TILE
- 30 REMOVE EXISTING RECESSED FIRE EXTINGUISHER CABINET
- $\bigcirc$  REMOVE EXISTING EXTERIOR DOORS IN THEIR ENTIRETY, INCL. FLASHING AND SEALS.
- COORDINATE WITH MECHANICAL DRAWINGS FOR EXTENT OF UNIT VENTILATOR/CUH DEMOLITION
- 2 DEMOLISH PORTION OF EXISTING ROOF, COORDINATE WITH MEP DRAWINGS
  34 NOT USED
- 35 REMOVE EXISTING WOOD WALL PANELING
- $\sqrt{36}$  REMOVE EXISTING ROOF OVERHANG, AS INDICATED, INCLUDING GUTTERS, METAL FASCIA SYSTEM, ROOFING AND GRAVEL STOP
- FLUSH WITH BRICK, AS REQUIRED FOR NEW CONSTRUCTION

  37 REMOVE EXISTING CLOSURE WALL SYSTEM AND INSULATION ABOVE DOORS TO BE DEMOLISHED.
- 38 REMOVE EXISTING BUILDING PLAQUE AND RETURN TO OWNER.
- REMOVE EXISTING BUILDING PLAQUE AND RETURN TO OWNER.
- (39) REMOVE EXISTING PLASTER CEILING/SOFFIT SYSTEM IN ITS ENTIRETY

  (40) REMOVE PORTION OF EXISTING WOOD SHELVING SYSTEM AS NECESSARY FOR NEW UNIT VENTILATOR INSTALLATION.
- COORDINATE WITH MECHANICAL DRAWINGS

  41 REMOVE EXISTING KITCHEN HOOD. COORDINATE WITH MEP DRAWINGS
- REMOVE EXISTING LOUVER, CREATE AN OPENING IN EXTERIOR MASONRY WALL FOR NEW LOUVER, COORDINATE WITH MECHANICAL AND STRUCTURAL DRAWINGS
- CAREFULLY REMOVE EXISTING CLIMBING WALL PANELS AND PADS. SALVAGE AND REINSTALL IN NEW GYMNASIUM WHERE
- 44 REMOVE EXISTING STRUCTURAL GLAZED TILE WINDOW STOOL
- CAREFULLY REMOVE, CLEAN AND SALVAGE FOR RE-INSTALLATION FACE BRICK, AS REQUIRED FOR NEW BEAM TIE IN TO EXISTING CMU AT EXTERIOR WALL REFER TO STRUCTURAL DRAWINGS
- $\overline{\langle}_{46}$  REMOVE EXISTING METAL STAIR NOSINGS AND RUBBER RISERS COMPLETELY
- $\overline{\langle 47 \rangle}$  SAWCUT EXISTING WOOD PANELING, APPROXIMATELY 1"-2" ABOVE NEW RAMP SURACE (SEE SHEET A0811 FOR RAMP



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3 ADDENDUM 03 2 ADDENDUM 01 1 ISSUED FOR BID

No. Description Date

LEVEL 01 ARCHITECTURAL

**KEY PLAN** 

Project No.: 004645.06

Drawing Title:

D0201 C

**DEMOLITION PLAN - AREA** 

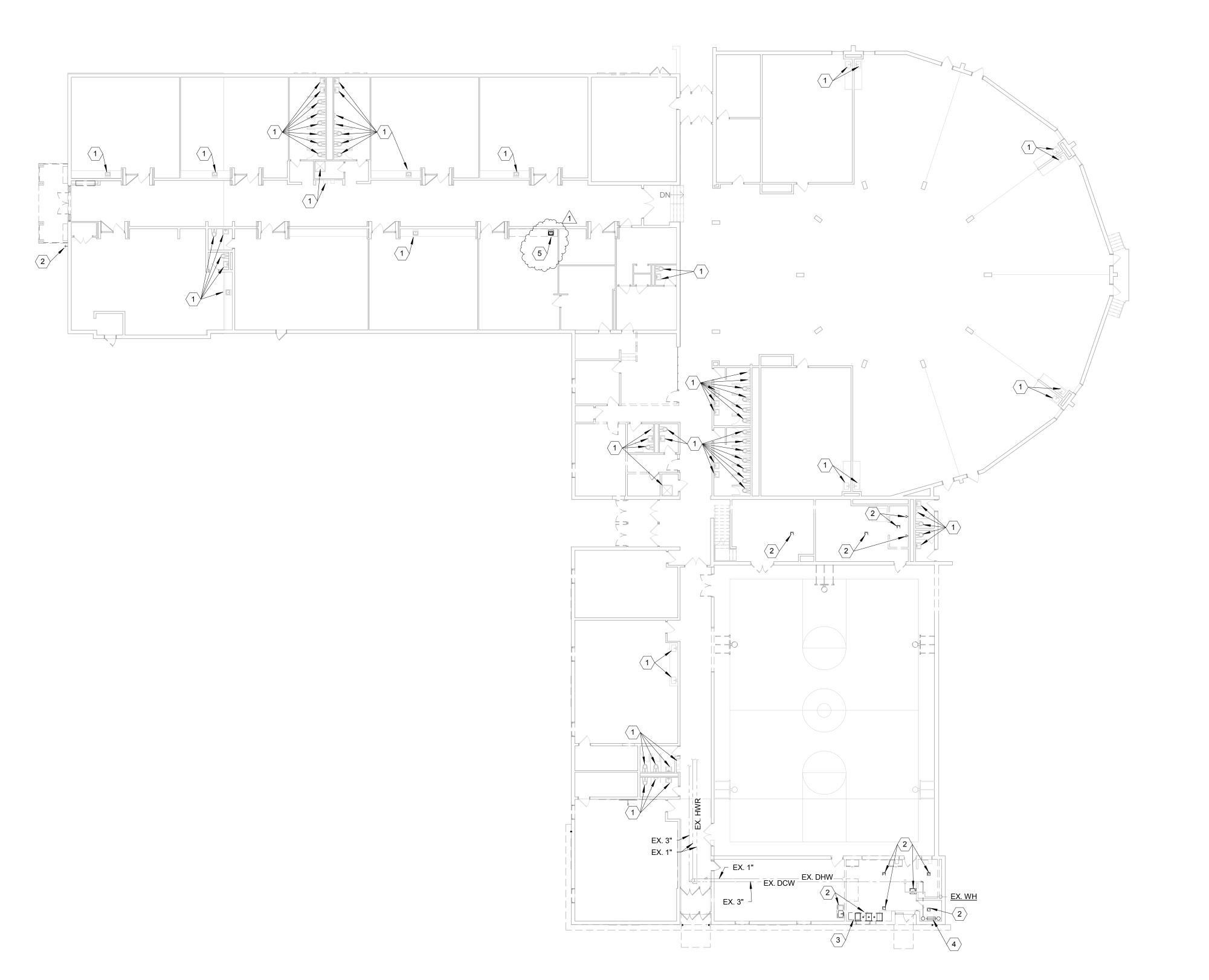
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11/19/2015

11/03/2015



NOTES:

EXISTING PLUMBING FIXTURE TO REMAIN.
 DISCONNECT AND DEMOLISH EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED DCW, DHW, V, AND/OR W PIPING BACK TO MAINS AND CAP OR PREPARE PIPING FOR NEW CONNECTIONS AS REQUIRED. CUT AND PATCH EXISTING WALLS, CEILINGS, AND/OR FLOOR TO MATCH EXISTING AS REQUIRED.

DISCONNECT AND DEMOLISH EXISTING GREASE INTERCEPTOR.

DISCONNECT AND DEMOLISH EXISTING 4" DCW PIPING AND WATER METER IN ITS ENTIRETY AS INDICATED. PREPARE PIPING FOR NEW CONNECTION. REFER TO CIVIL PLANS FOR MORE INFORMATION.

5. DISCONNECT AND DEMOLISH EXISTING PLUMBING FIXTURE. PREPARE EXISTING ROUGH-IN FOR NEW CONNECTIONS AS REQUIRED.

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1 ADDENDUM 03 ISSUED FOR BIE

KEY PLAN

Drawing Title:

LEVEL 01 - PLUMBING DEMOLITION PLAN

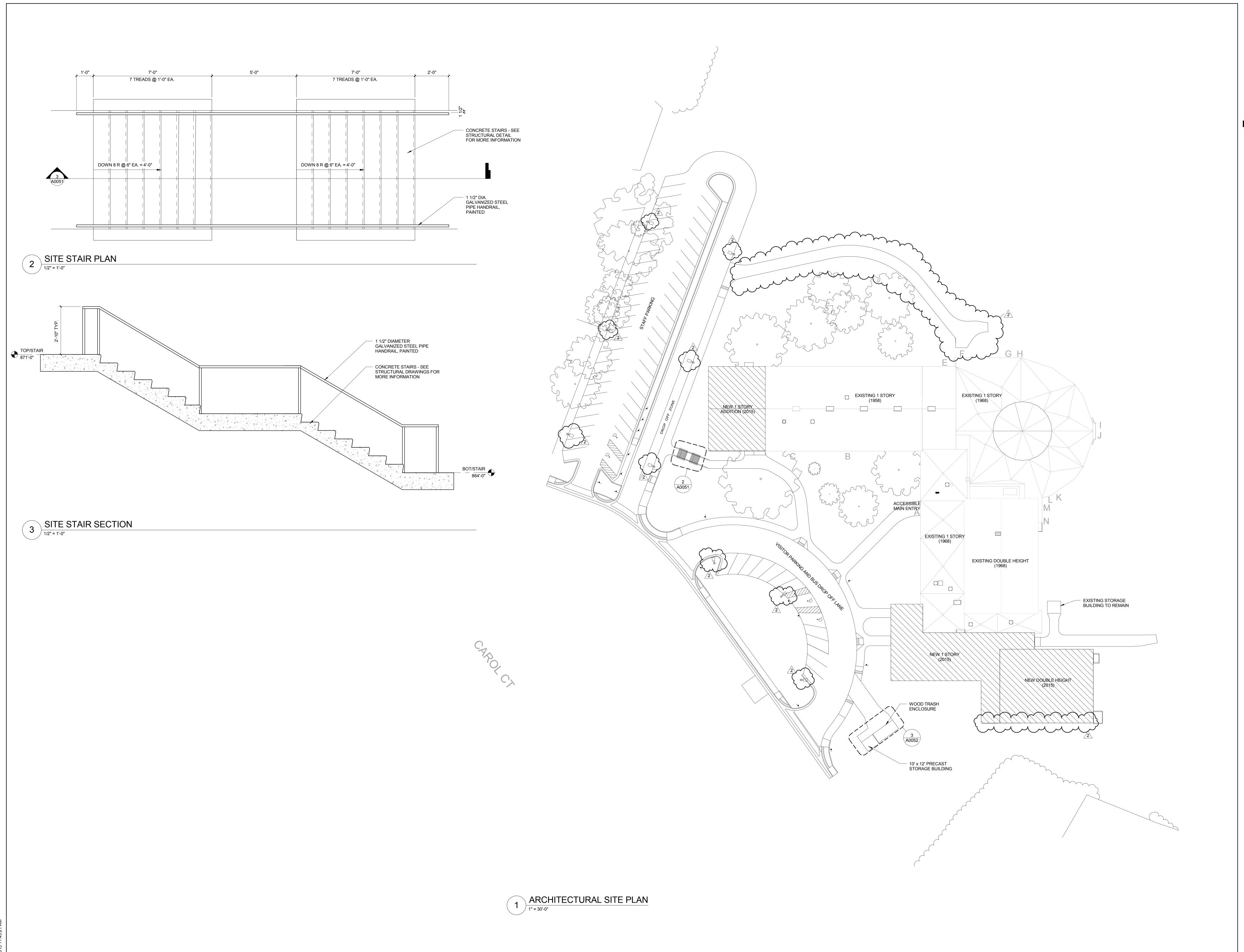
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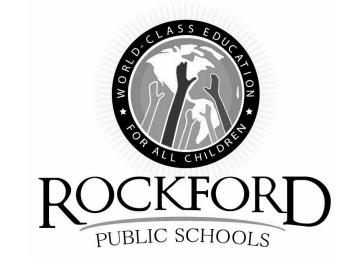
D0301

1 LEVEL 01 PLUMBING DEMOLITION PLAN

1/16" = 1'-0"

in Design 2014
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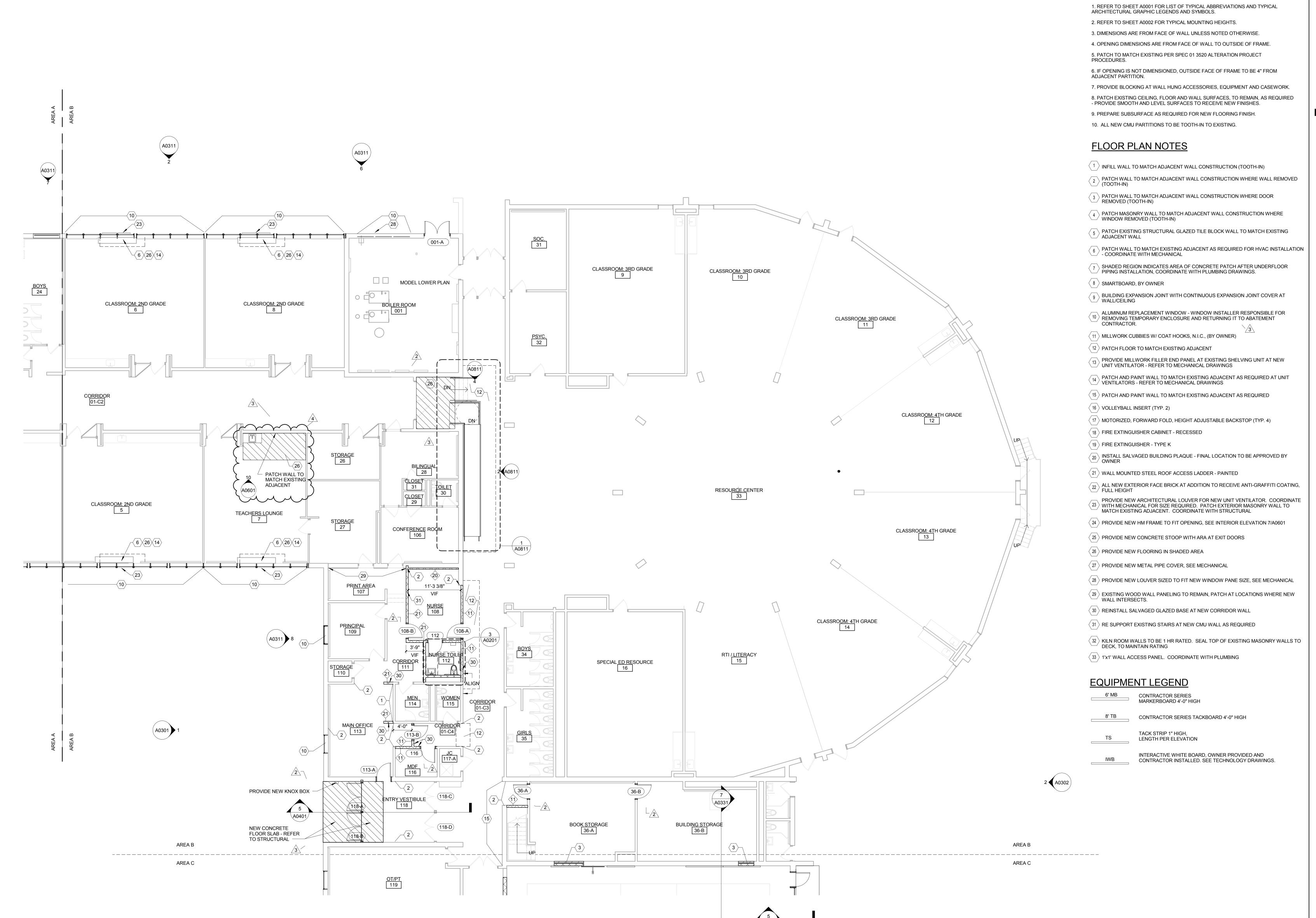
ARCHITECTURAL SITE PLAN

Project No.: 004645.06 Check

A0051

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GENERAL FLOOR PLAN NOTES

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ADDENDUM 02 ADDENDUM 01 ISSUED FOR BID Description

ADDENDUM 03

Date Drawing Title:

**LEVEL 01 FLOOR PLAN -AREA B** 

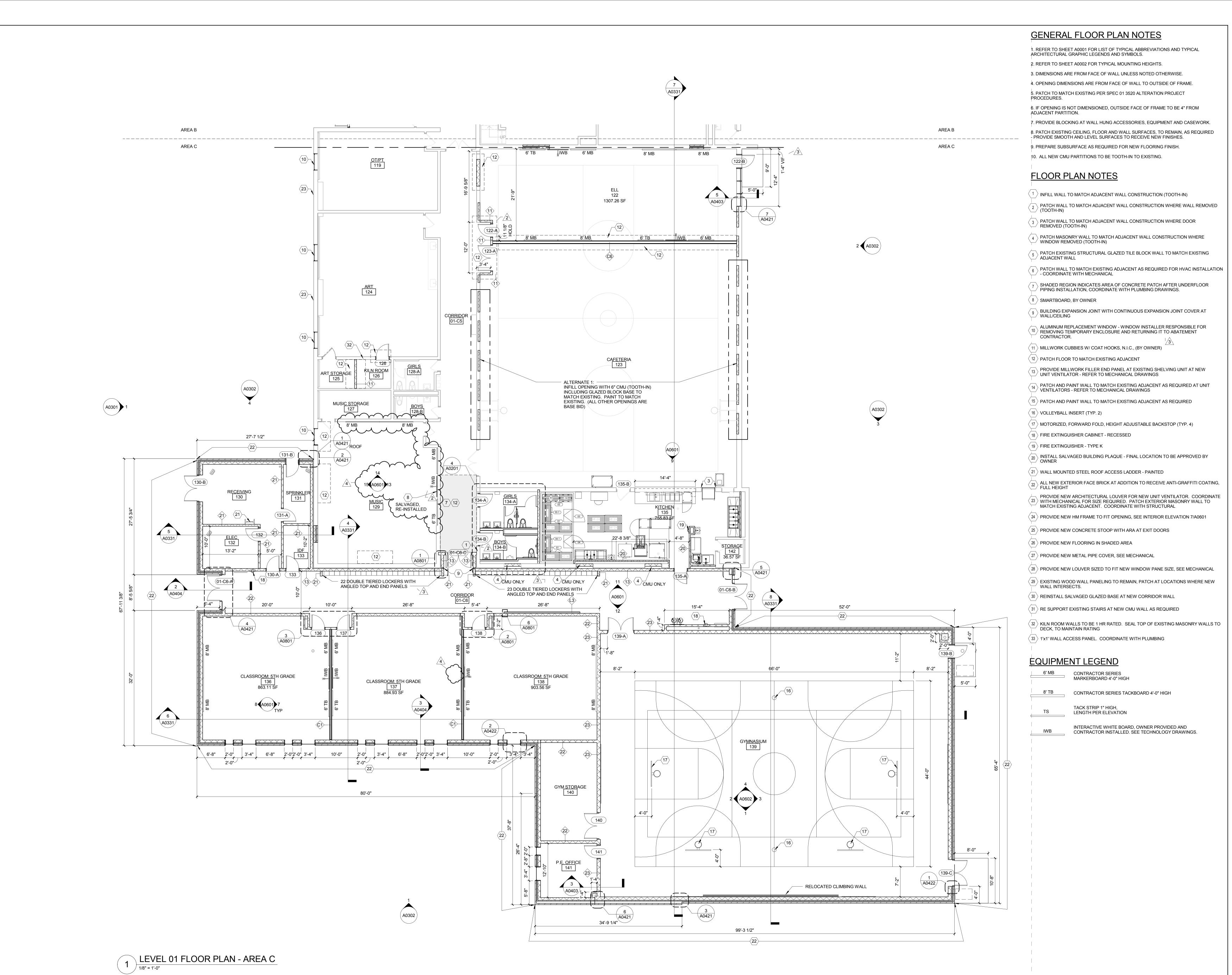
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1 LEVEL 01 FLOOR PLAN - AREA B

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11/03/2015





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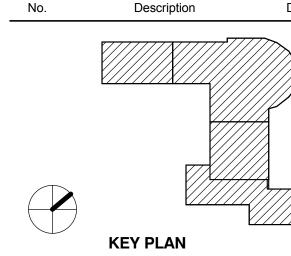
4 ADDENDUM 03
3 ADDENDUM 02
2 ADDENDUM 01
1 ISSUED FOR BID

11/03/2015

Date

12/04/2015

11/19/2015

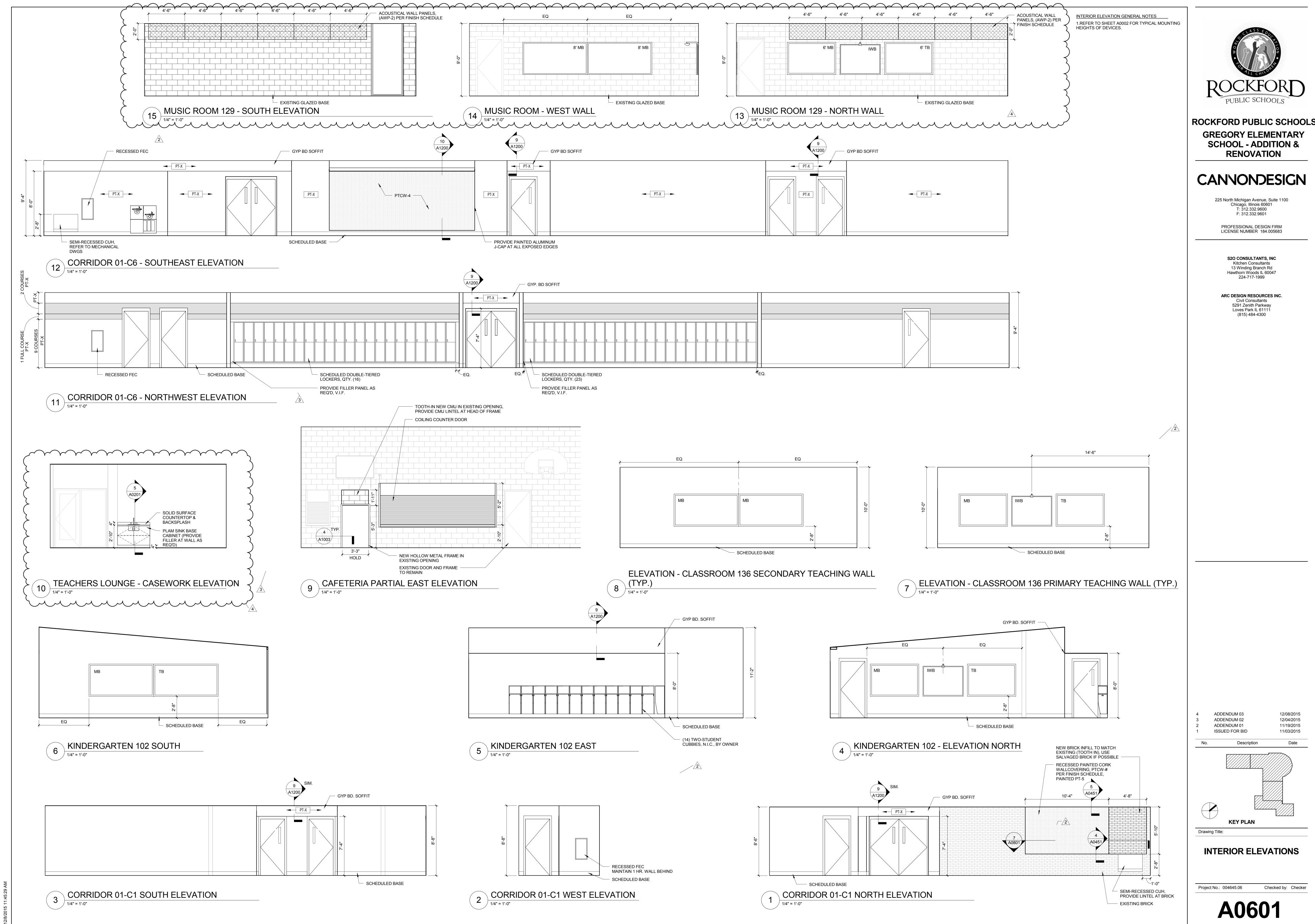


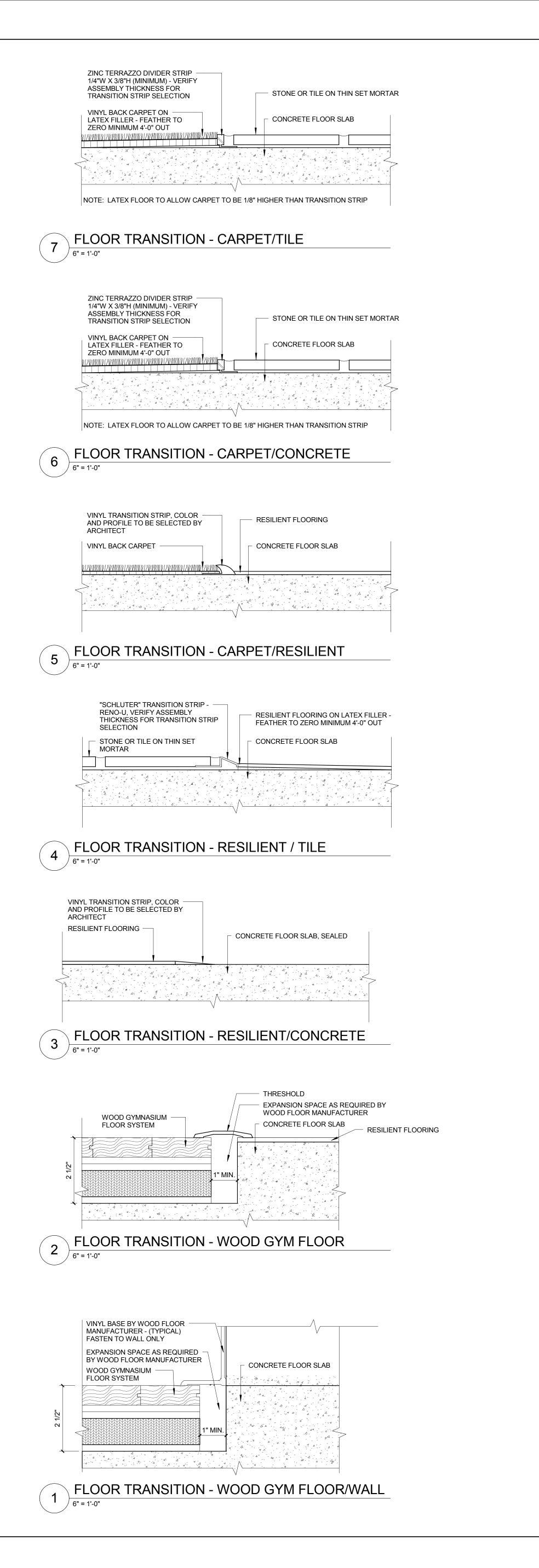
LEVEL 01 FLOOR PLAN -AREA C

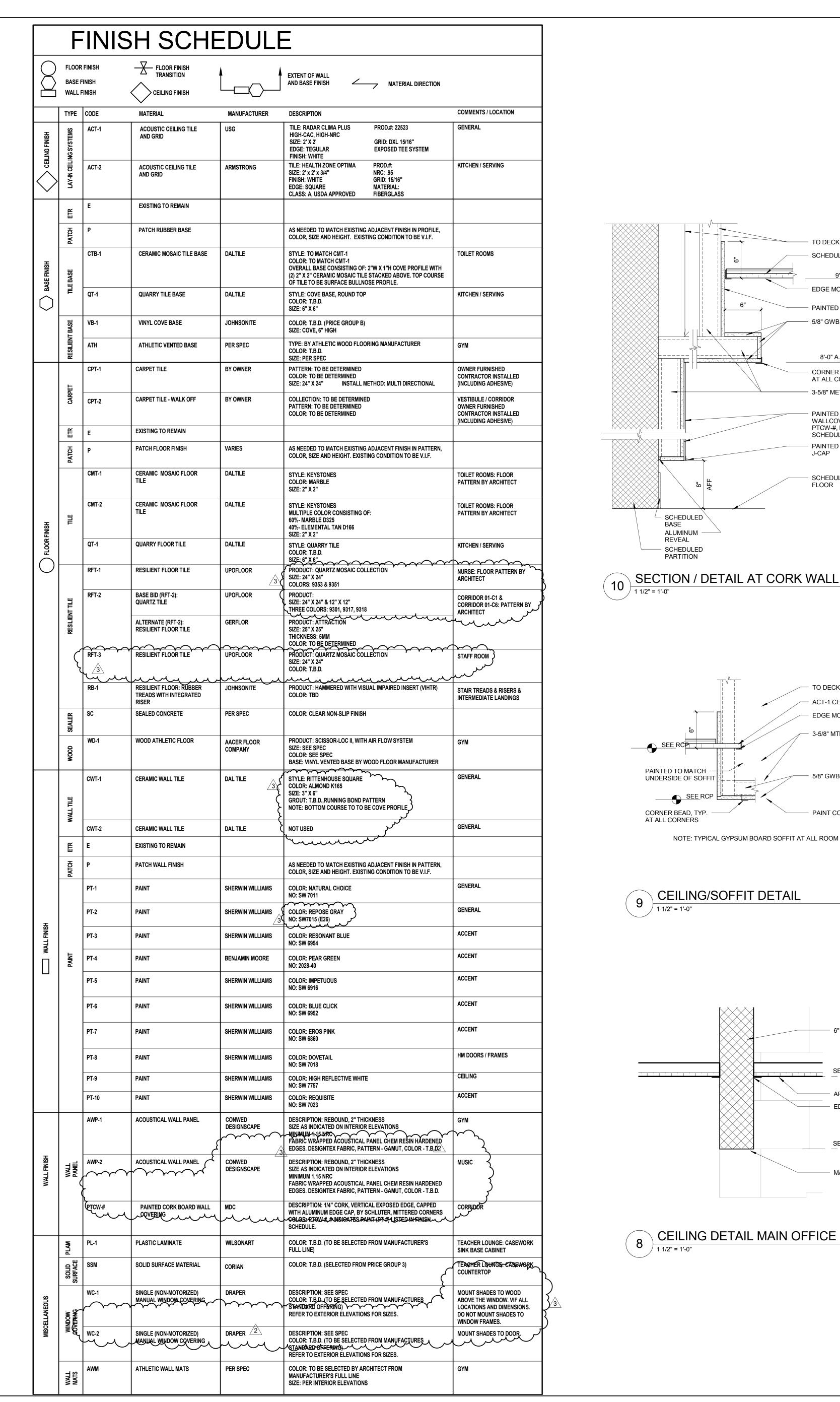
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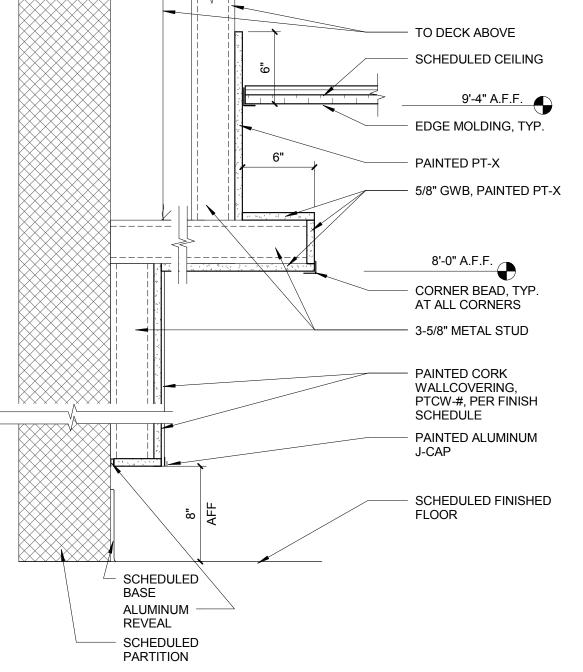
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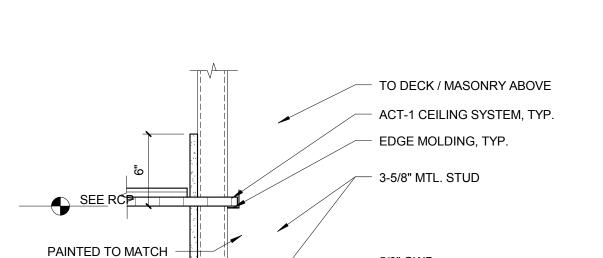
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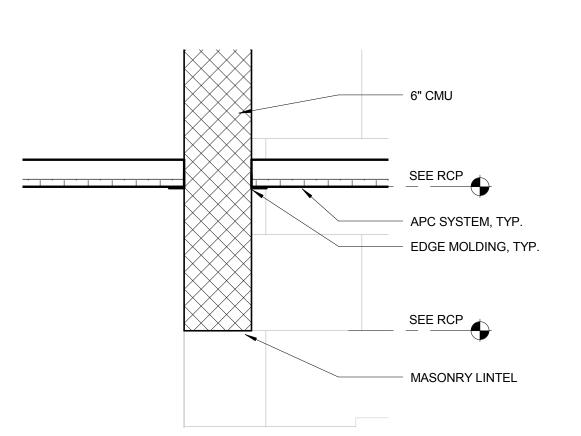


CORNER BEAD, TYP. - PAINT COLOR PER RCP AT ALL CORNERS NOTE: TYPICAL GYPSUM BOARD SOFFIT AT ALL ROOM ENTRANCES

- 5/8" GWB

UNDERSIDE OF SOFFIT

SEE RCP



CEILING DETAIL MAIN OFFICE

**GENERAL FINISH NOTES** 

CEILING UNLESS NOTED OTHERWISE. 2. PROVIDE BULLNOSE CERAMIC TILE TRIM AT CERAMIC TILE ADJACENT WALL TRANSITION AND OUTSIDE CORNERS.

1. ALL WALLS TO RECEIVE PAINT FINISH TO FNISHED

3. WALL TILE TO CONTINUE BEHIND ACCESSORIES. 4. PROVIDE EPOXY PAINT FOR TOILET ROOMS WITH GYP. BD. WALLS. SEE SPECIFICATION. 5. CERAMIC WALL TILE AT TOILET ROOMS TO BE 48" HIGH. A.F.F.

1. FOR FLOOR TRANSITION DETAILS SEE SHEET

2. ALL FLOORING MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR STOP SIDE. REFER TO SHEET A1200 FOR TYPICAL FLOOR TRANSITION LOCATION. 3. FLOORING TO CONTINUE UNDER CABINETRY. 4. FLOOR PATCHING: REFER TO SHEETS A0101.A, A0101.B, AND A0101.C, KEYNOTE #12, FOR ALL LOCATIONS. MATCHING EXISTING MATERIAL, FINISH, COLOR, AND PATTERN, U.N.O.

BASE

1. COVE PROFILE BASE TO BE USED AT CARPET FLOOR FINISH.

2. CERAMIC WALL TILE TO HAVE COVE CERAMIC BASE COURSE. 3. NO WALL BASE AT SEALED CONCRETE FLOORS, UNLESS NOTED OTHERWISE.

MISCELLANEOUS

1. INTERIOR HOLLOW METAL DOOR AND FRAME TO BE PT-8 UNLESS NOTED OTHERWISE. 2. GWB CEILINGS/SOFFITS PT-9 UNLESS NOTED OTHERWISE. 3. PROVIDE WINDOW COVERINGS AT ALL NEW

EXTERIOR WINDOWS, INCLUDING REPLACEMENT WINDOWS. (WC-1) PER FINISH SCHEDULE. REFER TO SPECIFICATION.

FINISH SYMBOL KEY\_ ---- FLOOR - WALL

GENERAL ROOM FINISHES SHOWN IN SYBMOL, EXCEPTIONS AS NOTED. SEE SHEET A1200 FOR FINISH LEGEND  $\langle$  #  $\rangle$  WITH NUMBER INDICATES KEY NOTE

1 PATCH FLOOR FINISH (1X1 CERAMIC MOSAIC TILE) TO MATCH EXIST. WHERE WALL AND CURB REMOVED

PUBLIC SCHOOLS

ROCKFORD PUBLIC SCHOOLS **GREGORY ELEMENTARY SCHOOL - ADDITION & RENOVATION** 

## CANVONDESIGN

225 North Michigan Avenue, Suite 1100 Chicago, Illinois 60601 T: 312.332.9600 F: 312.332.9601

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184.005683

S20 CONSULTANTS, INC Kitchen Consultants 13 Winding Branch Rd Hawthorn Woods IL 60047

**ARC DESIGN RESOURCES INC** Civil Consultants 5291 Zenith Parkway Loves Park IL 61111 (815) 484-4300

224-717-1999

ADDENDUM 03 ADDENDUM 01 ISSUED FOR BID Description

**KEY PLAN** 

FINISH LEGEND, NOTES **AND DETAILS** 

Project No.: 004645.06

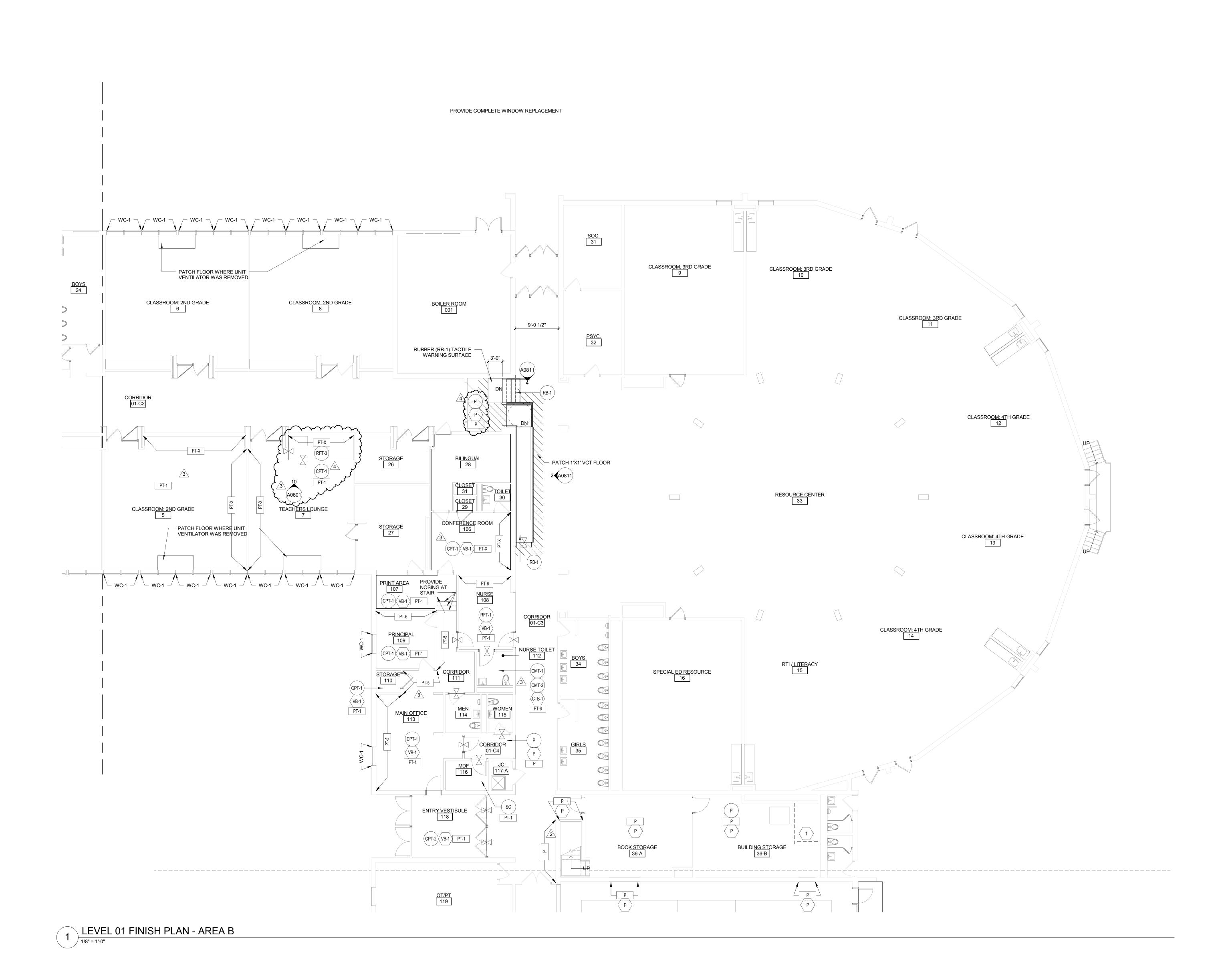
Drawing Title:

Checked by: Checker

11/19/2015

11/03/2015

Date



GENERAL FINISH NOTES

WALLS

1. ALL WALLS TO RECEIVE PAINT FINISH TO FNISHED CEILING UNLESS NOTED OTHERWISE.

2. PROVIDE BULLNOSE CERAMIC TILE TRIM AT CERAMIC TILE ADJACENT WALL TRANSITION AND OUTSIDE CORNERS. 3. WALL TILE TO CONTINUE BEHIND ACCESSORIES.

4. PROVIDE EPOXY PAINT FOR TOILET ROOMS WITH GYP. BD. WALLS. SEE SPECIFICATION. 5. CERAMIC WALL TILE AT TOILET ROOMS TO BE 48" HIGH. A.F.F.

<u>FLOOR</u>
1. FOR FLOOR TRANSITION DETAILS SEE SHEET

2. ALL FLOORING MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR STOP SIDE. REFER TO SHEET A1200 FOR TYPICAL FLOOR TRANSITION LOCATION. 3. FLOORING TO CONTINUE UNDER CABINETRY. 4. FLOOR PATCHING: REFER TO SHEETS A0101.A, A0101.B, AND A0101.C, KEYNOTE #12, FOR ALL LOCATIONS. MATCHING EXISTING MATERIAL, FINISH, COLOR, AND PATTERN, U.N.O.

BASE

1. COVE PROFILE BASE TO BE USED AT CARPET FLOOR FINISH. 2. CERAMIC WALL TILE TO HAVE COVE CERAMIC BASE

COURSE. 3. NO WALL BASE AT SEALED CONCRETE FLOORS, UNLESS NOTED OTHERWISE.

MISCELLANEOUS

1. INTERIOR HOLLOW METAL DOOR AND FRAME TO BE PT-8 UNLESS NOTED OTHERWISE. 2. GWB CEILINGS/SOFFITS PT-9 UNLESS NOTED OTHERWISE.

3. PROVIDE WINDOW COVERINGS AT ALL NEW EXTERIOR WINDOWS, INCLUDING REPLACEMENT WINDOWS. (WC-1) PER FINISH SCHEDULE. REFER TO SPECIFICATION.

FINISH SYMBOL KEY\_

— FLOOR BASE - WALL

GENERAL ROOM FINISHES SHOWN IN SYBMOL, EXCEPTIONS AS NOTED. SEE SHEET A1200 FOR FINISH LEGEND  $\langle$  #  $\rangle$  WITH NUMBER INDICATES KEY NOTE

1 PATCH FLOOR FINISH (1X1 CERAMIC MOSAIC TILE) TO MATCH EXIST. WHERE WALL AND CURB REMOVED PUBLIC SCHOOLS

**ROCKFORD PUBLIC SCHOOLS GREGORY ELEMENTARY** SCHOOL - ADDITION & **RENOVATION** 

# CANVONDESIGN

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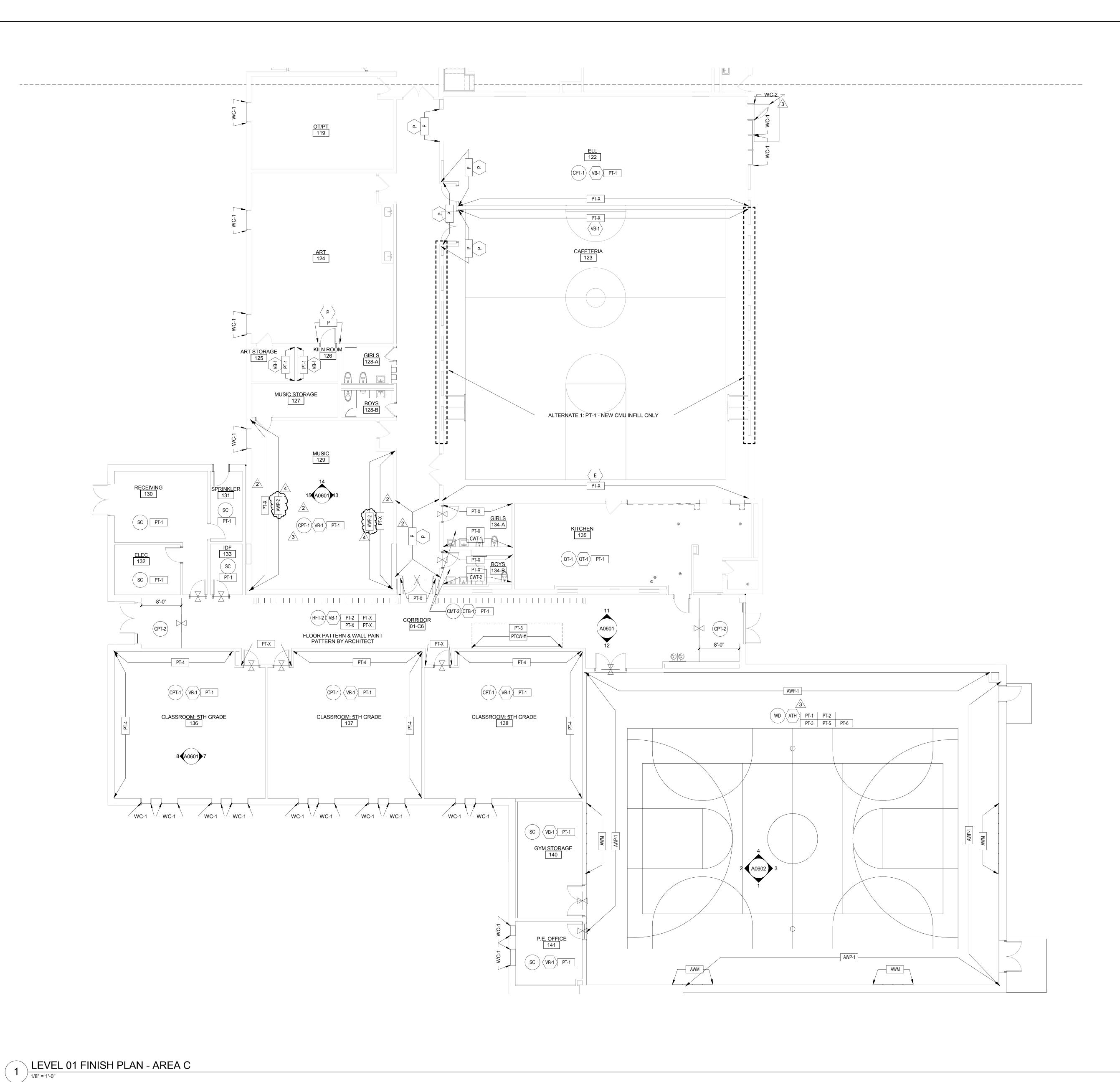
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ADDENDUM 02 ADDENDUM 01 ISSUED FOR BID Description

Drawing Title:

**LEVEL 01 FINISH PLAN -AREA B** 

A1201.B



GENERAL FINISH NOTES

WALLS

1. ALL WALLS TO RECEIVE PAINT FINISH TO FNISHED CEILING UNLESS NOTED OTHERWISE.

2. PROVIDE BULLNOSE CERAMIC TILE TRIM AT CERAMIC TILE ADJACENT WALL TRANSITION AND OUTSIDE CORNERS.

OUTSIDE CORNERS.

3. WALL TILE TO CONTINUE BEHIND ACCESSORIES.

4. PROVIDE EPOXY PAINT FOR TOILET ROOMS WITH

GYP. BD. WALLS. SEE SPECIFICATION.

5. CERAMIC WALL TILE AT TOILET ROOMS TO BE 48"
HIGH. A.F.F.

<u>FLOOR</u> 1. FOR FLOOR TRANSITION DETAILS SEE SHEET A1200.

ALL FLOORING MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR STOP SIDE. REFER TO SHEET A1200 FOR TYPICAL FLOOR TRANSITION LOCATION.
 FLOORING TO CONTINUE UNDER CABINETRY.
 FLOOR PATCHING: REFER TO SHEETS A0101.A, A0101.B, AND A0101.C, KEYNOTE #12, FOR ALL LOCATIONS. MATCHING EXISTING MATERIAL, FINISH, COLOR, AND PATTERN, U.N.O.

BASE
1. COVE PROFILE BASE TO BE USED AT CARPET FLOOR FINISH.

2. CERAMIC WALL TILE TO HAVE COVE CERAMIC BASE COURSE.

3. NO WALL BASE AT SEALED CONCRETE FLOORS, UNLESS NOTED OTHERWISE.

MISCELLANEOUS

1. INTERIOR HOLLOW METAL DOOR AND FRAME TO BE PT-8 UNLESS NOTED OTHERWISE.

2. GWB CEILINGS/SOFFITS PT-9 UNLESS NOTED OTHERWISE.

3. PROVIDE WINDOW COVERINGS AT ALL NEW EXTERIOR WINDOWS, INCLUDING REPLACEMENT WINDOWS. (WC-1) PER FINISH SCHEDULE. REFER TO SPECIFICATION.

FINISH SYMBOL KEY

- FLOOR
BASE
- WALL

GENERAL ROOM FINISHES SHOWN IN SYBMOL, EXCEPTIONS AS NOTED.

SEE SHEET A1200 FOR FINISH LEGEND

(#) WITH NUMBER INDICATES KEY NOTE

1 PATCH FLOOR FINISH (1X1 CERAMIC MOSAIC TILE) TO MATCH EXIST. WHERE WALL AND CURB REMOVED

ROCKFORD

PUBLIC SCHOOLS

ROCKFORD PUBLIC SCHOOLS

GREGORY ELEMENTARY

SCHOOL - ADDITION &

RENOVATION

## CANVONDESIGN

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224-717-1999

ARC DESIGN RESOURCES INC.
Civil Consultants
5291 Zenith Parkway
Loves Park IL 61111
(815) 484-4300

4 ADDENDUM 03
3 ADDENDUM 02
2 ADDENDUM 01
1 ISSUED FOR BID

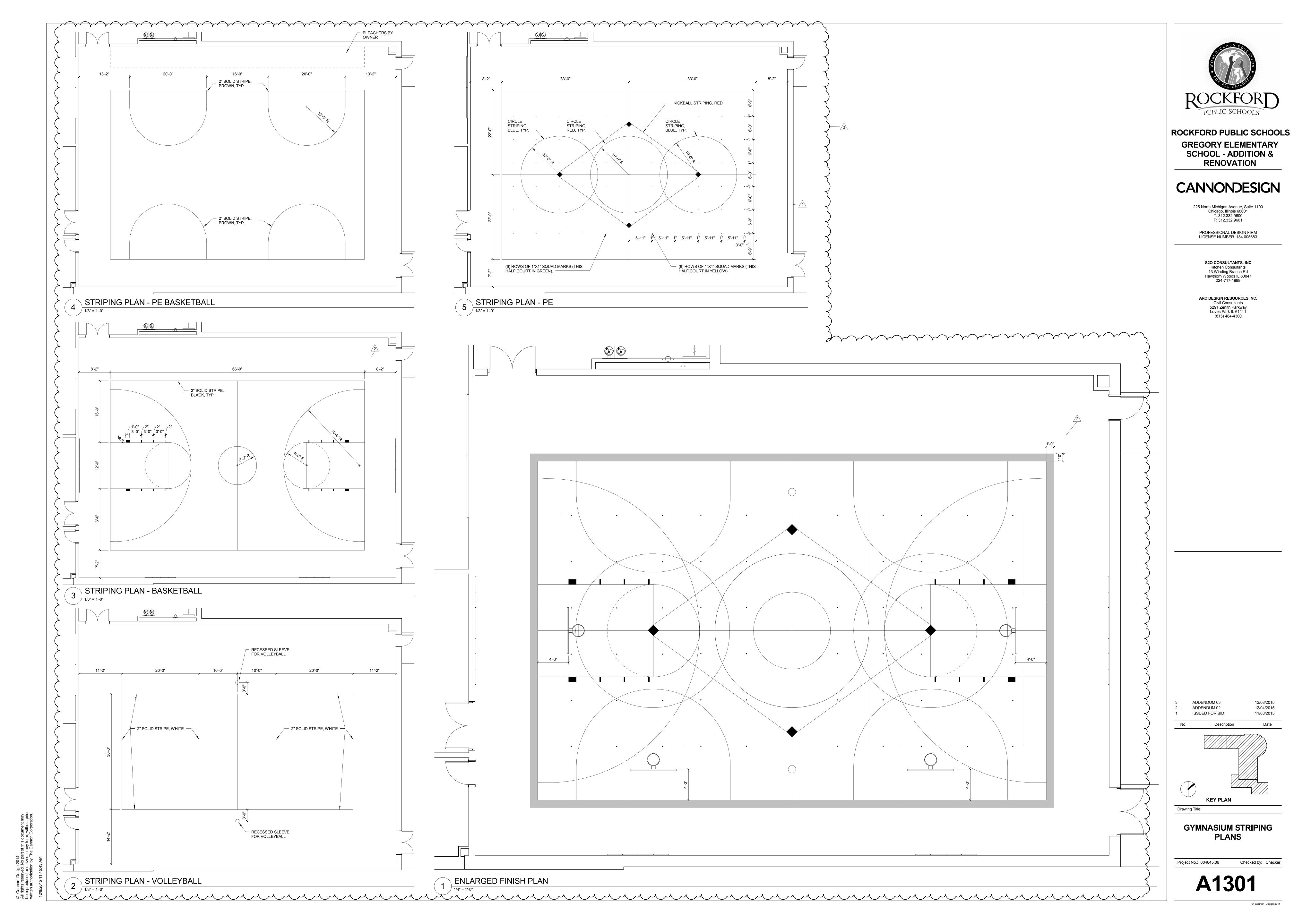
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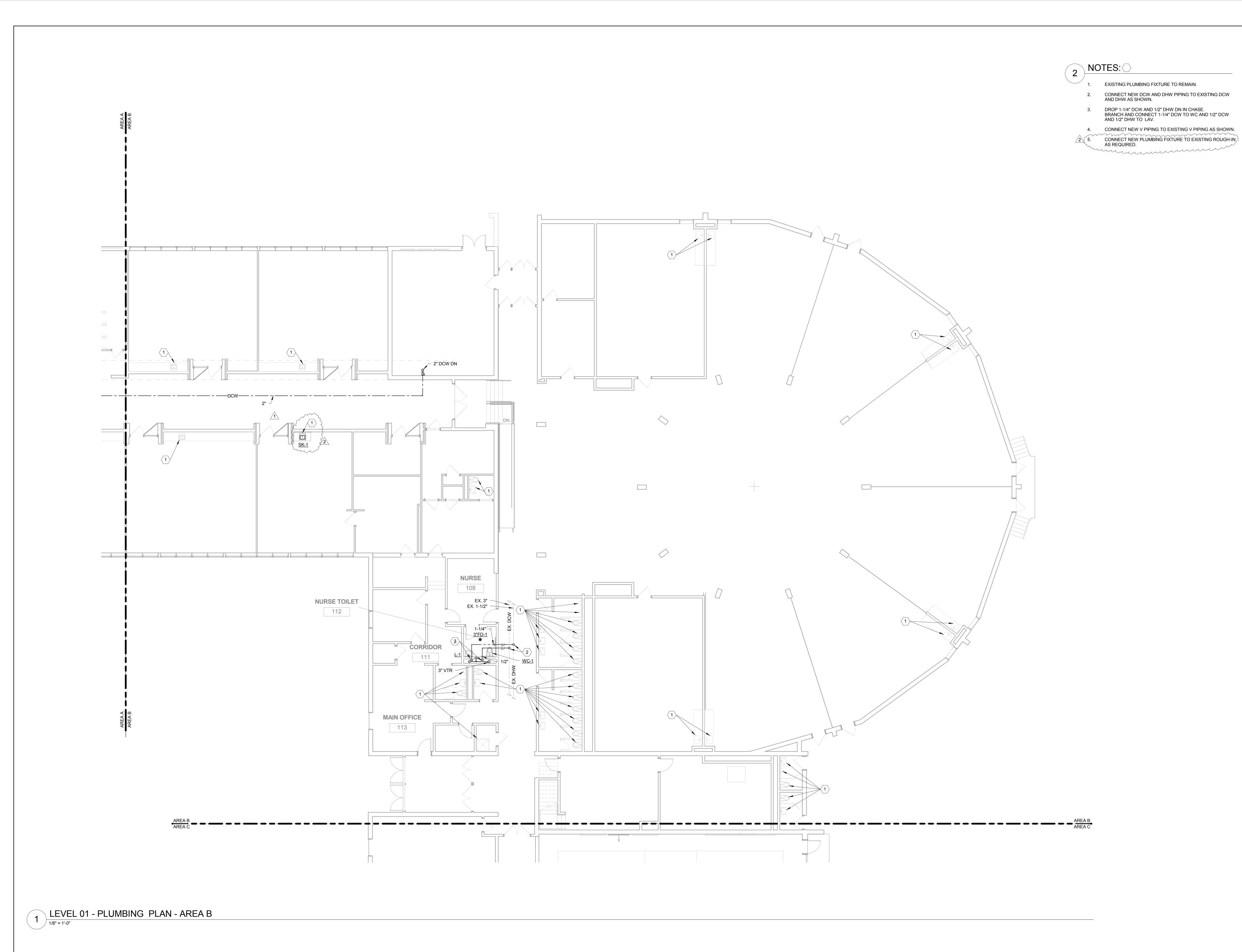
Drawing Title:

LEVEL 01 FINISH PLAN -AREA C

Project No.: 004645.06

A1201.C







ROCKFORD PUBLIC SCHOOLS **GREGORY ELEMENTARY SCHOOL - ADDITION & RENOVATION** 

# CANVONDESIGN

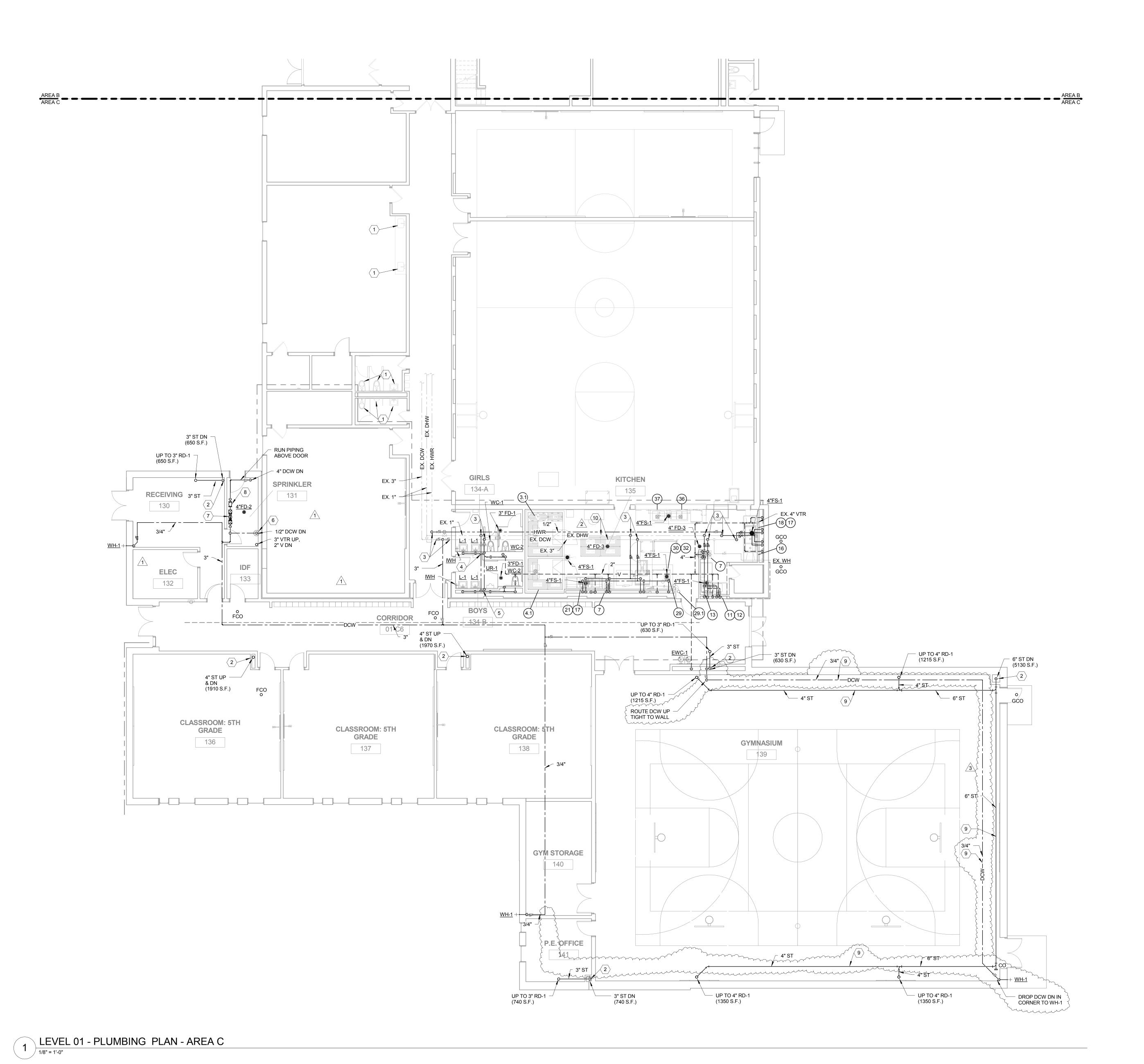
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Description

Drawing Title:

**LEVEL 01 - PLUMBING** PLAN - AREA B



NOTES:

- EXISTING PLUMBING FIXTURE TO REMAIN
- PROVIDE CLEANOUT AT BASE OF RISER.
- CONNECT NEW DCW, DHW, AND/OR HWR PIPING TO EXISTING DCW, DHW, AND/OR HWR AS SHOWN.
- DROP 2" DCW AND 1/2" DHW DN IN CHASE. BRANCH AND CONNECT 1-1/4" DCW TO EACH WC (2), 3/4" DCW TO IWH, AND 1/2" DCW AND 1/2" DHW TO EACH LAV (2).
- DROP 1-1/2" DCW AND 1/2" DHW DN IN CHASE. BRANCH AND CONNECT 1-1/4" DCW TO WC, 1" DCW TO UR, 3/4" DCW TO IWH, AND 1/2" DCW AND 1/2" DHW TO EACH LAV (2).
- 6. TRAP PRIMER. REFER TO DETAIL 3/P0601 FOR MORE INFORMATION.
- REDUCED PRESSURE ZONE BACKFLOW PREVENTER (RPZ-1). REFER TO DETAIL 9/P0601 FOR MORE INFORMATION.
- 8. 4" WATER METER (WM-1). REFER TO DETAIL 9/P0601 FOR MORE INFORMATION.
- 9. PIPING TO BE RUN UP IN JOIST SPACE. PROVIDE PVC JACKETING OVER INSULATION ON ANY EXPOSED
- DISCONNECT AND RELOCATE EXISTING DHW AND HWR PIPING AS REQUIRED IF IN CONFLICT WITH NEW CONSTRUCTION.

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**ROCKFORD PUBLIC SCHOOLS** 

**GREGORY ELEMENTARY** 

**SCHOOL - ADDITION &** 

**RENOVATION** 

CANVONDESIGN

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184.005683

KITCHEN EQUIPMENT NOTES:

\*\* REFER TO KITCHEN CONSULTANT DRAWING

FS101M FOR KITCHEN EQUIPMENT CONNECTION REQUIREMENTS. PLUMBING CONTRACTOR SHALL MAKE ALL SANITARY SWERE AND WAER CONNECTIONS REQUIRED FOR KITCHEN.

03.1. EVAPORATOR COIL

- 04. EVAPORATOR COIL WALK-IN FREEZER
- 07. HAND SINK
- GARBAGE DISPOSER
- 12. PRE-RINSE FAUCET
- 13. WAREWASHER
- 16. THREE COMPARTMENT SCULLERY SINK
- 17. FAUCET
- 18. LEVER DRAIN
- 21. PREP SINK
- 29. COMBINATION OVEN-STEAMER 29.1 WATER FILTRATION SYSTEM
- 30. TILT SKILLET
- 32. FLOOR THROUGH
- 36. HOT WELL DROP-IN
- HOT/COLD UNIT DROP-IN

ADDENDUM 02 ADDENDUM 01 ISSUED FOR BID Description

Drawing Title:

ADDENDUM 03

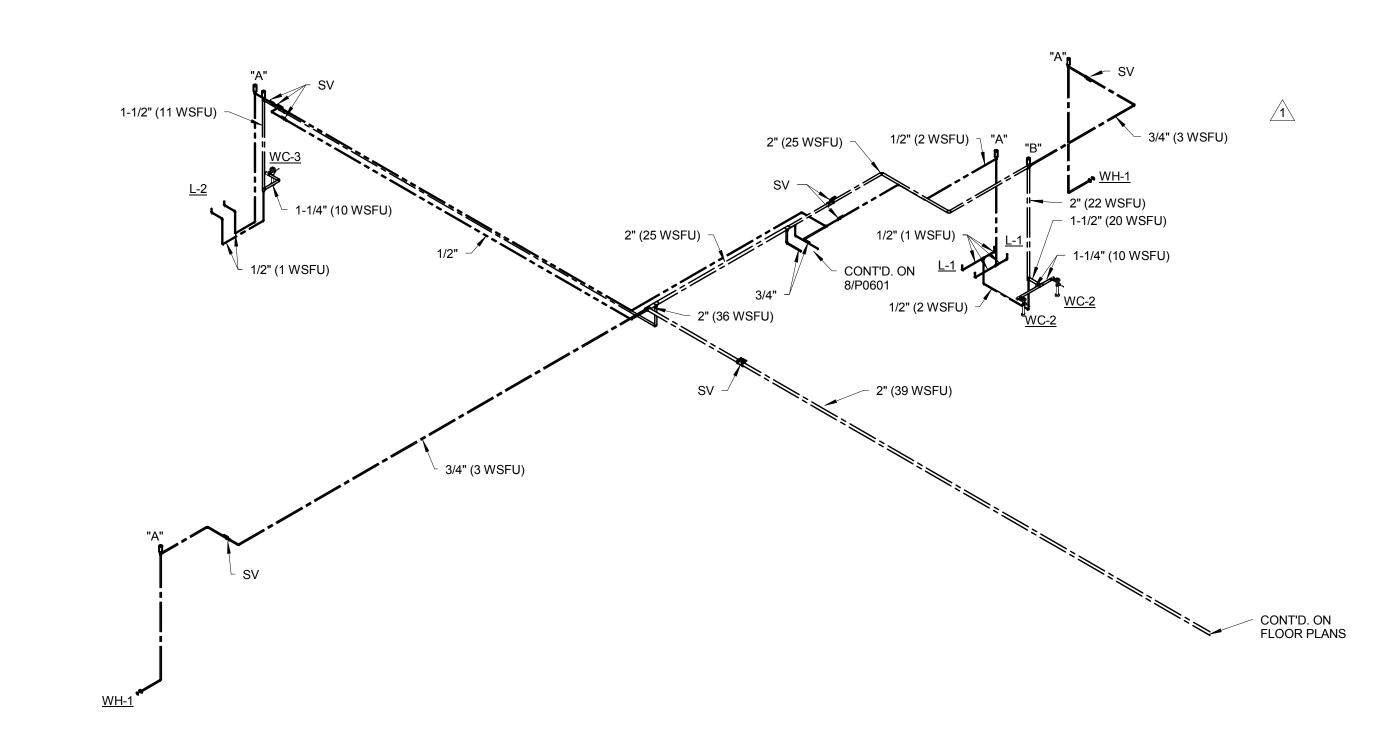
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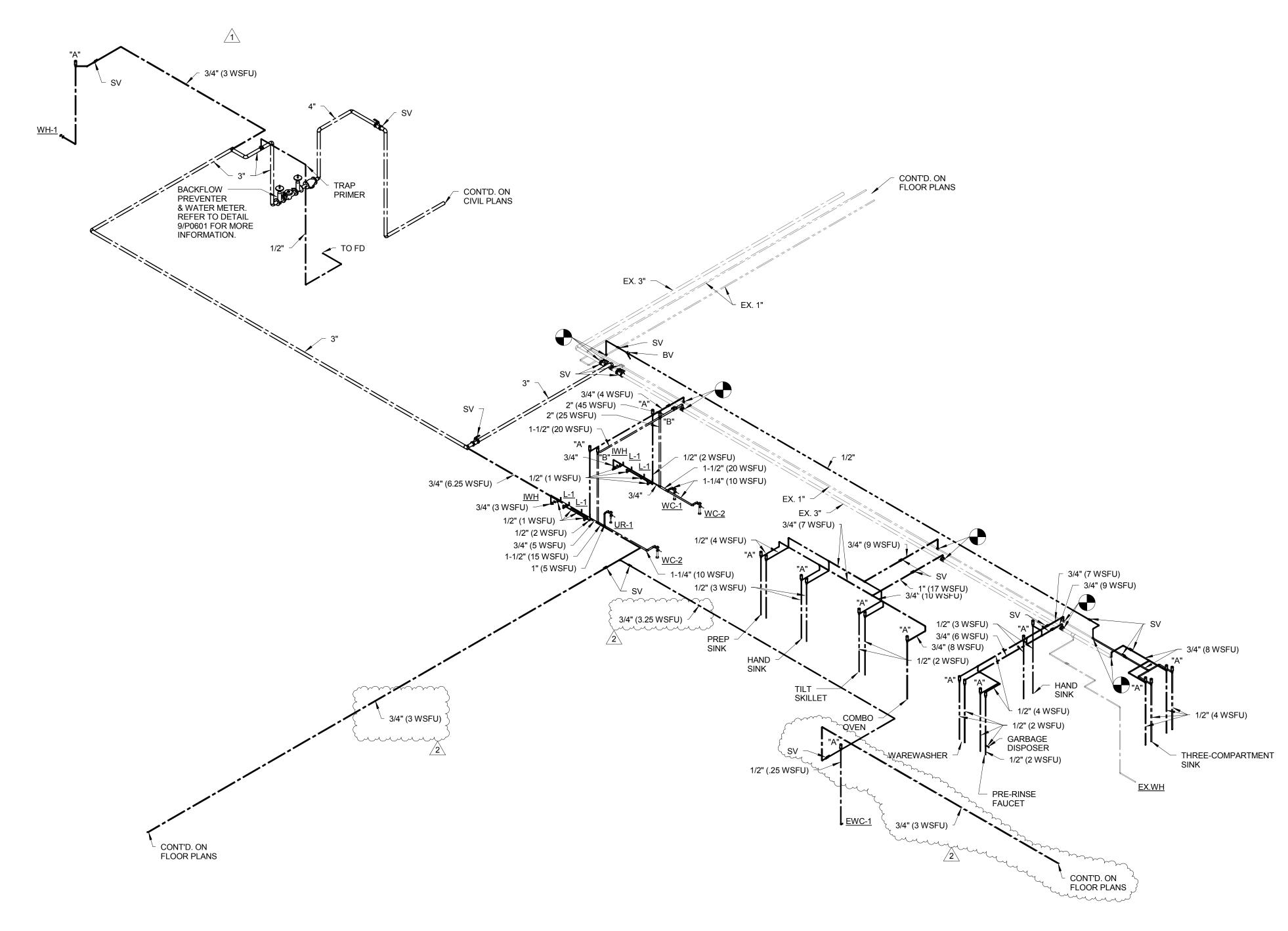
Date

**LEVEL 01 - PLUMBING** PLAN - AREA C

P0101.C



# WATER RISER - NEW ADDITION - AREA A



1 WATER RISER - KITCHEN AND NEW ADDITION - AREA C



ROCKFORD PUBLIC SCHOOLS GREGORY ELEMENTARY SCHOOL - ADDITION & **RENOVATION** 

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ADDENDUM 03 ADDENDUM 01 ISSUED FOR BID Description Date Drawing Title:

WATER RISER DIAGRAMS

P0401

								<u>PLUMBIN</u>	3 FIXTUR	E SCHE	DULE											SECTION 22	4000
TA 0	EIVTURE TYRE	ADA		FIXTURE	F	FAUCET OR FLUSH VALVE		P-TRAF	)	DRA	AIN		SUPPLIES	SE	AT		ROUG	GH-IN		CA	RRIER	MOUNTING	NOTEO
TAG	FIXTURE TYPE	ADA	MANU	MODEL	MANU	MODEL	FLOWRATE	MANU	MODEL	MANU	MODEL	MANU	MODEL	MANU	MODEL	W [IN]	V [IN]	CW [IN]	HW [IN]	MAKE	MODEL	MOUNTING	NOTES
WC-1	WATER CLOSET	-	KOHLER	K-4325	SLOAN	8111-1.28	1.28 GPF	INTEGRAL TO UNIT						BEMIS	2155SSCT	4	2	1 1/4	-	ZURN	Z1200 SERIES	WALL HUNG	2, 11
WC-2	WATER CLOSET	YES	KOHLER	K-4325	SLOAN	8111-1.28	1.28 GPF	INTEGRAL TO UNIT						BEMIS	2155SSCT	4	2	1 1/4	-	ZURN	Z1200 SERIES	WALL HUNG	2, 3, 11
WC-3	WATER CLOSET	YES	KOHLER	K-4325	SLOAN	8111-1.28	1.28 GPF	INTEGRAL TO UNIT						BEMIS	2155SSCT	4	2	1 1/4	-	ZURN	Z1200 SERIES	WALL HUNG	2, 3, 5, 11
UR-1	URINAL	YES	KOHLER	K-4972	SLOAN	186-1 HW	1.0 GPF	INTEGRAL TO UNIT								2	1-1/2	3/4	-	ZURN	Z1200 SERIES	WALL HUNG	2, 3, 11, 14
L-1	LAVATORY	YES	KOHLER	K-2005	CHICAGO	116.606.AB.1	0.5 GPM	ZURN	Z8702-15-PC	ZURN	Z8743-PC	ZURN	ZH8820LKQ-PC			1 1/2	1 1/2	1/2	1/2			WALL HUNG	2, 4, 1, 11
L-2~~	LAVATORY	YES	KOHLER	K-2005	ÇHICAGO	~~~~895~GN2AE35ABCP~~	~~0.5 <b>GPM</b> ~~	ZURN	Z8702-15-PC	~~~ZURN~~~	Z8743-PC	ZÚŔŃ	ZH8820LKQ-PC	سستسس	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	~~~ <b>11/2</b> ~~~	1172~	~~17 <b>2</b> ~~~	1/2	~~~ <del>~</del> ~~~~	the transfer of the transfer o	~~~WALL'HUNG~~	2,4,1,5,11
SK-1	SINK	YES	ELKAY	LRAD2219-6	CHICAGO	1100-E35-369ABCP	1.5 GPM	ZURN	Z8702-15-PC	ZURN	Z8743-PC	ZURN	ZH8820LKQ-PC			1 1/2	1 1/2	1/2	1/2			COUNTER	1
EWC-1	ELECTRIC WATER COOLER	YES	ELKAY	LULLEZTL8L6	munany,	, , , , , , , , , , , , , , , , , , ,		ŻÚRN	~Z8702-15-PC	nur <del>-</del> uun		menny	muutuun	muitum,	~~~~	11/2	11/2	1/2		uutuu.		RECESSED	3,5
IWH	INTERIOR WALL HYDRANT	-	WOODFORD	76			5 GPM								<del></del>	-	-	3/4	-				8, 9
WH-1	WALL HYDRANT	-	WOODFORD	MB65			5 GPM									-	-	3/4	-			CL = +/- 24" AFG	8, 9, 12, 13
WM-1	WATER METER	-	BADGER	RECORDALL TURBO 450												-	-		-			CL = 18" AFF	10

NOTES: 1 - WITH LOOSE KEY

14 - CONNECT FLUSH VALVE SOLENOID TO JACE BUILDING CONTROL PANEL , SEE CONTROL NETWORK/LON TRUNK RISER SCHEMATIC ON M0601 FOR MORE INFORMATION. FLUSH VALVE 2 - PROVIDE WHITE COLOR FLUSH FREQUENCY TO BE EVERY 10 MINUTES DURING THE SCHOOL DAY.

3 - INSTALL PER ADA STANDARDS

4 - SINGLE HOLE, BATTERY POWERED FAUCET 5 - MOUNTING HEIGHT TO BE SUITABLE FOR K-3 STUDENTS, REFER TO ARCHITECTURAL ELEVATIONS.

6 - NOT USED

7 - NOT USED

8 - SPEC SECTION 221119 9 - WITH LOOSE KEY AND VACUUM BREAKER

10 - PROVIDE WATER STRAINER UPSTREAM OF THE METER. METER SHALL RECORD IN [GALLONS] OR [CUBIC FEET]

11 - INSTALL CLEAR NON-MOLDING SILICONE CAULK WHERE FIXTURE IS IN CONTACT WITH FLOOR OR WALLS.

12 - INSTALL ALL WEATHER CAULKING AROUND SIDES IN CONTACT WITH WALL - COLOR GRAY 13 - INSTALL RIM OF BOX TO MATCH TOP SIDE OF BRICK/BLOCK COARSING.

						PL	<u>UMB</u>	<u>ing f</u>	PUMP	SCHEE	<u> DULE</u>		
TAC	MANUEACTURER	MODEL	DOWED	EL	.ECTRIC	CAL	FLOW	HEAD	SET	POINTS	CECTION	DETAIL	NOTES
TAG	MANUFACTURER	MODEL	POWER	VAC	PH	FLA	[GPM]	[FT]	ON	OFF	SECTION	DETAIL	NOTES
CP-1	B&G	NBF-10	55 WATT	120	1	0.46	3	11	105	115	221123	8/P0601	1,2

| NOTES: 1 - PROVIDE AQUASTAT PER DETAIL. 2 - PLUMBING CONTRACTOR TO BALANCE HOT WATER SYSTEM

		BACKFLO	W PRE	EVEN	ITER SCH	<u>EDULE</u>				SECTION 221119
TAG	LOCATION	MANUFACTURER	MODEL	SIZE [IN]	SYSTEM	PRESSURE DROP	STRAINER	WATER TEMP	DETAIL	NOTES
RPZ-1	SPRINKLER 131	WATTS	LF909	4	DOMESTIC	12 PSI AT 100 GPM	YES	40	9/P0601	PIPE AIR GAP TO NEAREST FLOOR DRAIN
RPZ-2	EX. BOILER ROOM	WATTS	LF009	1	HVAC MAKE-UP	15 PSI AT 60 GPM	YES	40	-	PIPE AIR GAP TO NEAREST FLOOR DRAIN

			DON	MESTIC I	ELEC	TR	IC V	VAT	ER	HE/	TE	R SCHE	DULE		
TAG	MANUFACTURER	MODEL	STORAGE CAPACITY	RECOVERY RATE [GPH] AT 100	WAIER	DHW	DCW		ELE	ECTRIC	AL		SPECS	DETAIL	NOTES
TAG	WANDFACTURER	WIODEL	[GAL]	DEGREE RISE	TEMP	SIZE [IN]	SIZE [IN]	VAC	PH	FLA	kW	ELEMENTS	SPECS	DETAIL	NOTES
DWH-1	BRADFORD WHITE	LE110U3-1	10	6	120	3/4"	3/4"	208	1	5	1.5	1	223300	8/P0601	FURNISH AND INSTALL W/ DRAIN PAN

				DRAIN SCH	<u>EDULE</u>					SECTION 221319	
TAG	MANUFACTURER	MODEL	SERVICE	BODY MATL	OUTLET		STRAINER	ODT	IONS	NOTES	
IAG	WANDI ACTORER	WODLL	SERVICE	BODT WATE	[IN]	SIZE [IN]	FINISH	OFT	·	NOTES	
FCO	ZURN	ZN1400	SANITARY	CAST IRON	VARIES*	VARIES	NICKEL BRONZE	-	-	ROUND COVER	
FD-1	ZURN	Z-415	SANITARY	CAST IRON	VARIES*	5	NICKEL BRONZE	-	-	ROUND STRAINER	
FD-2	ZURN	Z-520	SANITARY	CAST IRON	4	9	CAST IRON	Р	-	ROUND STRAINER, 3/4 GRATE	
FD-3	ZURN	Z1800	SANITARY	CAST IRON	4	6	STAINLESS	Υ	-	ROUND STRAINER	
FS-1	ZURN	Z1750	SANITARY	STAINLESS	4	12	STAINLESS	Υ	-	SQUARE STRAINER, 3/4 GRATE	
RD-1	ZURN	Z100	STORM	CAST IRON	VARIES*	-	-	VD	-	-	

PIPE IDEN	TIFICAT	ION SCH	IEDULI	<u>=</u>	SECTION 220553
SERVICE	BAND COLOR	TEXT COLOR	T.	AGGING SPECII	FICATIONS
SERVICE	BAND COLOR	TEXT COLOR	PIPE SIZE	MIN. LENGTH	TEXT HEIGHT
DOMESTIC COLD WATER	GREEN	WHITE	1/2" - 4"	8"	1/2"
DOMESTIC HOT WATER	GREEN	WHITE	1/2" - 2"	8"	3/4"
HOT WATER RETURN	YELLOW	BLACK	1/2" - 2"	12"	1 1/4"
SANITARY SEWER	GREEN	WHITE	1-1/2" - 4"	32"	3 1/2"
STORM SEWER	GREEN	WHITE			
CONDENSATE DRAIN	GREEN	WHITE			
VENT	GREEN	WHITE			
LOCATE PIPE IDENTIFICATION	AS FOLLOWS:		-		
1. WITHIN 1'-6" OF EACH \	VALVE.				

WITHIN 3'-0" OF EACH 90 DEGREE ELBOW, CONNECTION TO EQUIPMENT OR VESSELS, POINT WHERE PIPE ENTERS SHAFTS OR PENETRATES OUTSIDE WALLS.
ON NOT OVER 20'-0" INTERVALS ALONG ALL PIPING (EXPOSED AND CONCEALED). AT TEES WITHIN 3'-0" OF BOTH MAIN AND BRANCH. FOR AREAS OF MULTIPLE 90 DEGREE ELBOWS OR TEES CONSULT PROJECT ENGINEER FOR PLACEMENT. WHERE NEW PIPING MEETS EXISTING, PLACE ONE ADDITIONAL LABEL ON EXISTING PIPING AS SPECIFIED IN ITEMS 1 THRU 5. INSTALL BURIED PIPE LABELS CONTINUOUS AND 12" BELOW FINISHED GRADE. INSTALL "NON-POTABLE" LABELS WITHIN 3'-0" OF BACKFLOW PREVENTOR. STENCILING WILL NOT BE ALLOWED.

PIPE INSULATIO	N SCHEDL	JLE	SECTION 220700
SERVICE	PIPE SIZE	INSULATION THICKNESS	NOTES
DOMESTIC HOT WATER	UP TO 2"	1"	-
DOMESTIC HOT WATER	OVER 2"	1 1/2"	-
DOMESTIC HOT WATER RETURN	UP TO 2"	1"	-
DOMESTIC COLD WATER	ALL	1"	-
ROOF DRAIN BODIES	ALL	1"	-
HORIZONTAL RAIN CONDUCTORS	ALL	1"	-
CONDENSATE (CLEARWATER WASTE)	ALL	1/2"	-
SANITARY VENT	ALL	1"	WITHIN 10' OF VTR

WATER HAMI	MER ARRESTOR S	SCHEDULE
P.D.I. SYMBOL	FIXTURE UNITS	SIZE
"A"	1-11	1/2"
"B"	12-32	3/4"

EACH FIXTURE RECEIVING HOT AND COLD WATER SHALL BE FITTED WITH A PRE-CHARGED SHOCK ARRESTOR SUITABLE FOR OPERATION IN THE 100°F TO 300°F TEMPERATURE RANGE AND 250 PSIG WORKING PRESSURE AND SAME SIZE AS FIXTURE SUPPLY PIPE. ARRESTOR SHALL BE IN ACCORDANCE WITH ANSI A112.26.1, AND SHALL BE SIZED IN ACCORDANCE WITH PDI MANUAL WH-201.

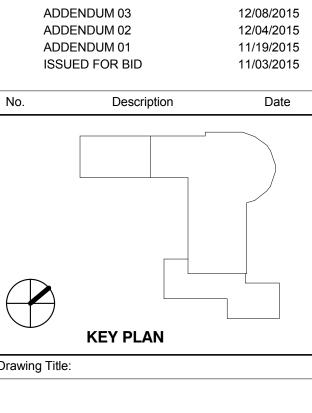


ROCKFORD PUBLIC SCHOOLS **GREGORY ELEMENTARY SCHOOL - ADDITION & RENOVATION** 

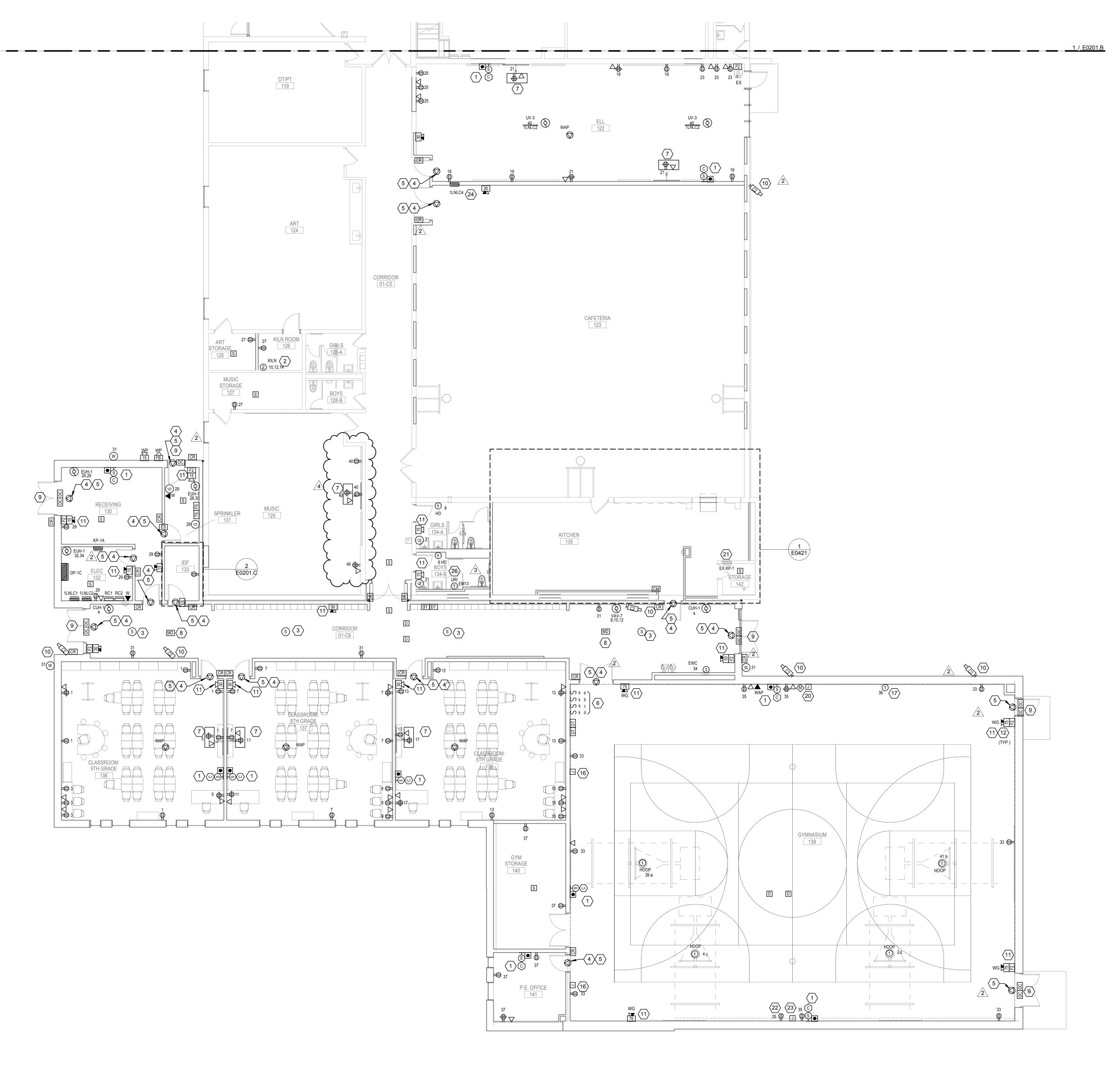
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PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184.005683



**SCHEDULES** 



### KEYED NOTES igtriangle :

INTERCOM SPEAKER, CALL SWITCH, AND CLOCK SHALL BE PROVIDED BY RPS. PROVIDE CATEGORY 6 CABLE AND BACKBOXES AT ALL THREE LOCATIONS. CONTRACTOR SHALL TEST AND TERMINATE CABLE. EACH LOCATION SHALL BE A SEPERATE HOME RUN TO THE DESIGNATED IDF ROOM.

2.
PROVIDE NEMA 15-50 RECEPTACLE FOR KILN EQUIPMENT. PROVIDE 4#6, 1#10G IN 1-1/4" C. CONNECT TO PANEL 1LNLC1, 50A-3P CIRCUIT BREAKER.

FUTURE SPEAKER LOCATION. EACH SPEAKER LOCATION SHALL CONSIST OF 20'-0" CATEGORY 6 CABLE COIL. HOMERUN TO LAN ROOM. CONFIRM EXACT LOCATION WITH RPS PRIOR TO ROUGH-IN.

APPROXIMATE LOCATION OF DATA JACK FOR FUTURE DOOR ACCESS CONTROL SYSTEM, WITH 20' 0" SERVICE LOOP OF DATA CABLING WITH CLEAR MALE JACK. VERIFY EXACT LOCATIONS WITH RPS. PROVIDE CONDUIT ROUGH-IN FOR CARD READER.

PROVIDE 1/2" CONDUIT STUBBED INTO DOOR FRAME FOR OWNER PROVIDED SECURITY WIRING. EXTEND CONDUIT TO ACCESIBLE CEILING LOCATION THROUGH PARTITION TO ELECTRIC STRIKE LOCATION.

KEY OPERATED SWITCHES FOR MOTORIZED BACKSTOPS. ENGRAVE COVERPLATES WITH A, B, C, AND D BACKSTOP LETTERING. PROVIDE ALL CONTROL WIRING AND INTERFACE WITH BACKSTOP MOTORS AS REQUIRED.

/.
WIRING DEVICES FOR SMARTBOARD. CONFIRM EXACT LOCATION WITH RPS.

PROVIDE 22/4 CABLE HOMERUN BACK TO IDF 133 FOR MOTION DETECTOR. COIL 10' OF CABLE AT THE FUTURE SECURITY PANEL LOCATION.

PROVIDE 22/2 CABLE TO EACH DOOR CONTACT LOCATION, AND TERMINATE AT MDF ROOM. DEVICES SHALL BE FURNISHED AND INSTALLED BY RPS.

PROVIDE BACKBONE AND CATEGORY 6 CABLE FOR SECURITY CAMERA. EQUIPMENT SHALL BE PROVIDED BY RPS. TERMINATE IN IDF 133. COIL (1) ONE CATEGORY 6 CABLE ABOVE CEILING.

CONNECT ALL NEW FIRE ALARM DEVICES TO EXISTING FIRE ALARM SYSTEM. PROVIDE ALL ACCESSORIES, SYNCH MODULES, AND NAC PANELS AS REQUIRED TO ACCOMODATE NEW DEVICES. NEW PANELS SHALL BE CONNECTED TO EMERGENCY CIRCUITS.

12. ALL MANUAL PULL STATIONS SHALL BE PROVIDED WITH STOPPER II CVER WITH SOUNDER.

3/4" FIRE RETARDANT PAINTED PLYWOOD. 4'X8' SHEETS OF PLYWOOD SHALL BE MOUNTED VERTICALLY WITH THE BOTTOM AT 6" A.F.F.

NEW 12"X2" LADDER TRAY MOUNTED ABOVE THE RACK.

SPACE RESERVED FOR FUTURE SECURITY PANEL.

VERIFY LOCATIONS OF UNDERFLOOR FANS. PROVIDE 2#18 AWG AT EACH FAN FROM HUMIDISTAT CONTROL PANEL.

PROVIDE 120V CONNECTION TO DEHUMIDIFICATION UNDER FLOOR SYSTEM. CONTROL PANEL SHALL BE LOCATED RIGHT ABOVE THE FLOOR WITH METAL BLANK COVER. PROVIDE 2#18 AWG WIRE TO HUMIDISTAT BELOW FLOOR. PROVIDE 2#18 AWG WIRES TO THE TWO EXHAUST FANS. PROVIDE ALL WIRING AND TERMINATIONS PER MANUFACTURERS INSTRUCTIONS.

18. NEW TGB. BOND PER DETAIL 1/E0742. PROVIDE CONDUIT AS REQUIRED.

19.
TWO (2) 4" EZ PATH INTO TELECOM ROOM @ 9'-0" OR ABOVE DROP CEILING.

20
PROVIDE 1-INCH STUB-UP FOR SCOREBOARD CONTROL WIRING. CONFIRM EXACT LOCATION WITH RPS.

21.
PROVIDE NEW LABEL FOR EXISTING PANEL. UTILIZE EXISTING PANEL FOR NEW KITCHEN LOADS. PROVIDE
NEW CIRCUIT BREAKERS AS SHOWN. MAINTAIN ALL ACTIVE CIRCUITS FED OUTSIDE OF KITCHEN
DEMOLITION AREA.

22. PROVIDE RECEPTACLE FOR SCOREBOARD. CONFIRM EXACT LOCATION WITH RPS.

SCOREBOARD LOCATION. PROVIDE 1"C. TO DESIGNATED SCORERS TABLE LOCATION. VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF WIRING DEVICES PRIOR TO ROUGH-IN.

TRANSFER ALL FEEDERS (MAIN FEEDER AND BRANCH CIRCUITS) FROM REMOVED PANEL TO NEW PANEL 1LNLC4. NEW PANEL SHALL BE 60A MLO, 120/208V, 3P, 4W WITH (12) 20A - 1P CIRCUIT BREAKERS.

25.
PROVIDE (1) 2" CONDUIT FROM EXISTING NETPOP IN THE \*\*BOILER ROOM\*\* FOR FIBER.

26.
PROVIDE 120V DIRECT CONNECTION FOR URINAL AUTOMATIC FLUSHOMETER.

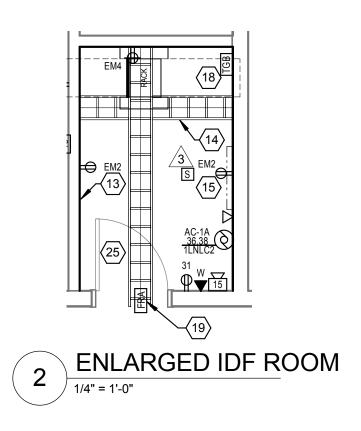
### BRANCH CIRCUIT NOTES :

EXTEND BRANCH CIRCUITS IN THIS AREA TO THE FOLLOWING BRANCH PANELBOARDS, UNLESS OTHERWISE NOTED:

120 (200) BANELBOARDS.

120 / 208V PANELBOARDS 1LNLC1 - NORMAL POWER G-EM - LIFE SAFETY POWER (BOILER ROOM)

ALL HORIZONTAL CABLING SHALL BE SERVED FROM IDF 133.





ROCKFORD PUBLIC SCHOOLS
GREGORY ELEMENTARY
SCHOOL - ADDITION &
RENOVATION

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4 ADDENDUM 03
3 ADDENDUM 02
2 ADDENDUM 01
1 ISSUED FOR BID

No. Description Date

LEVEL 01 POWER AND SYSTEMS PLAN - AREA C

Project No.: 004645.06 C

Drawing Title:

E0201.C

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11/19/2015

11/03/2015