

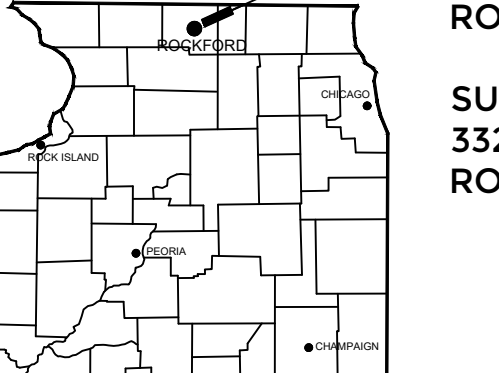
FLOORING AND PAINTING WORK AT LINCOLN MIDDLE SCHOOL AND SUMMERDALE EARLY CHILDHOOD CENTER

**SUMMERDALE EARLY CHILDHOOD CENTER
3320 GLENWOOD AVENUE,
ROCKFORD, ILLINOIS 61103**

ROCKFORD PUBLIC SCHOOL DISTRICT #205


STATE MAP

SCALE: N.T.S.

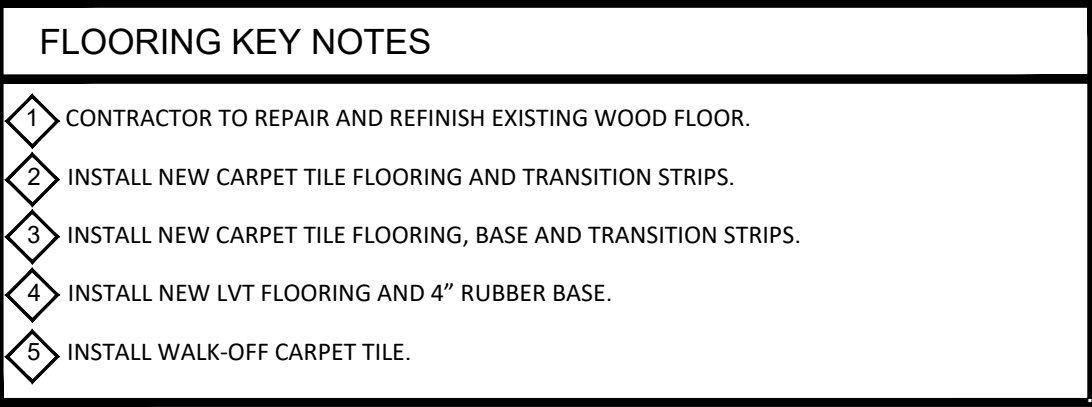


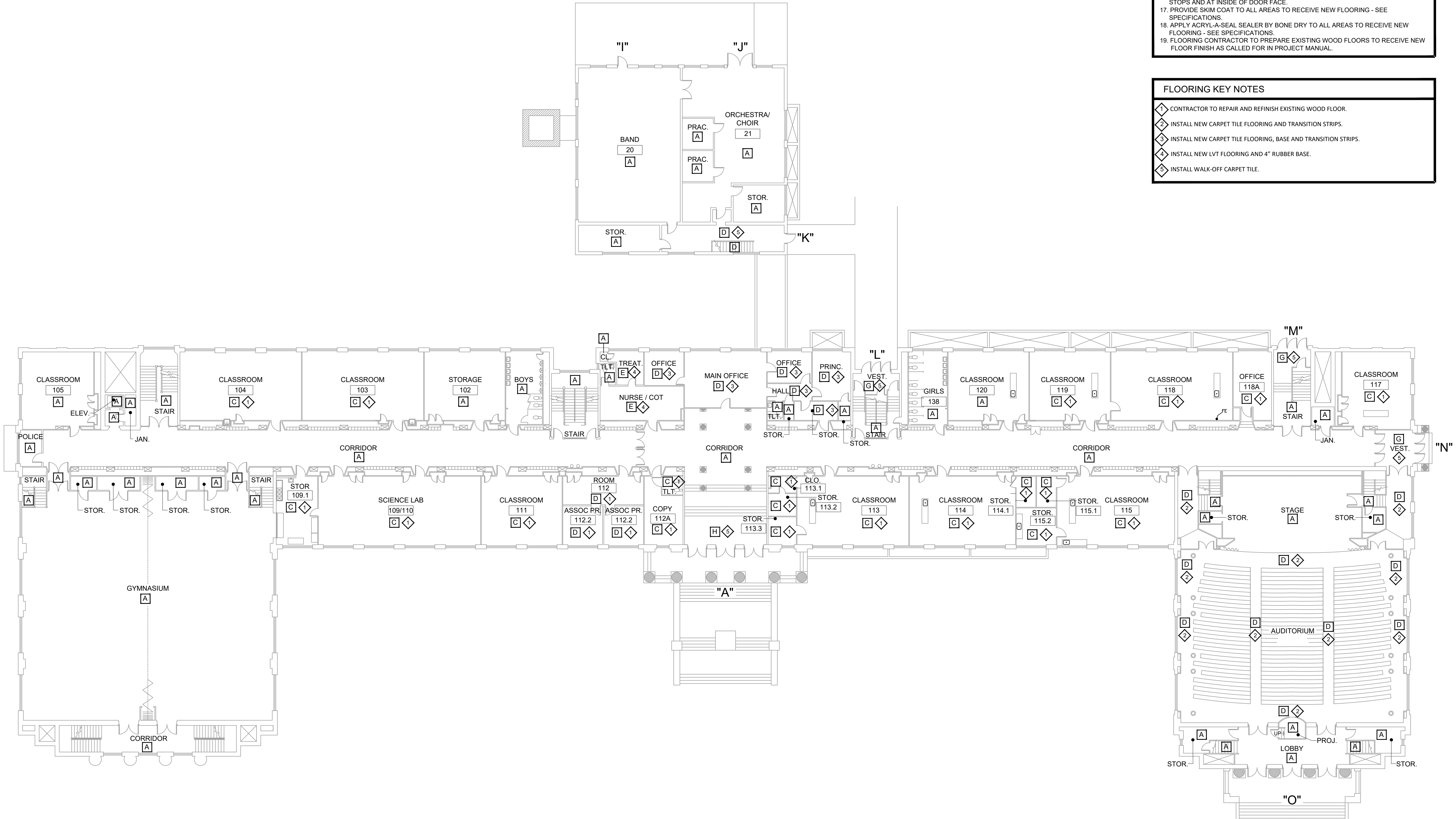
LINCOLN MIDDLE SCHOOL
1500 CHARLES STREET,
ROCKFORD, ILLINOIS 61104

SUMMERDALE EARLY CHILDHOOD CENTER
3320 GLENWOOD AVENUE,
ROCKFORD, ILLINOIS 61103



SHEET NUMBER		PROJECT INFORMATION		SHEET IDENTIFICATION	
T101		Date	February 17, 2021	TITLE SHEET	
		Rev. Date			
		Rev. Date			
		Rev. Date	2020-067		
		Rev. Date	20-070		

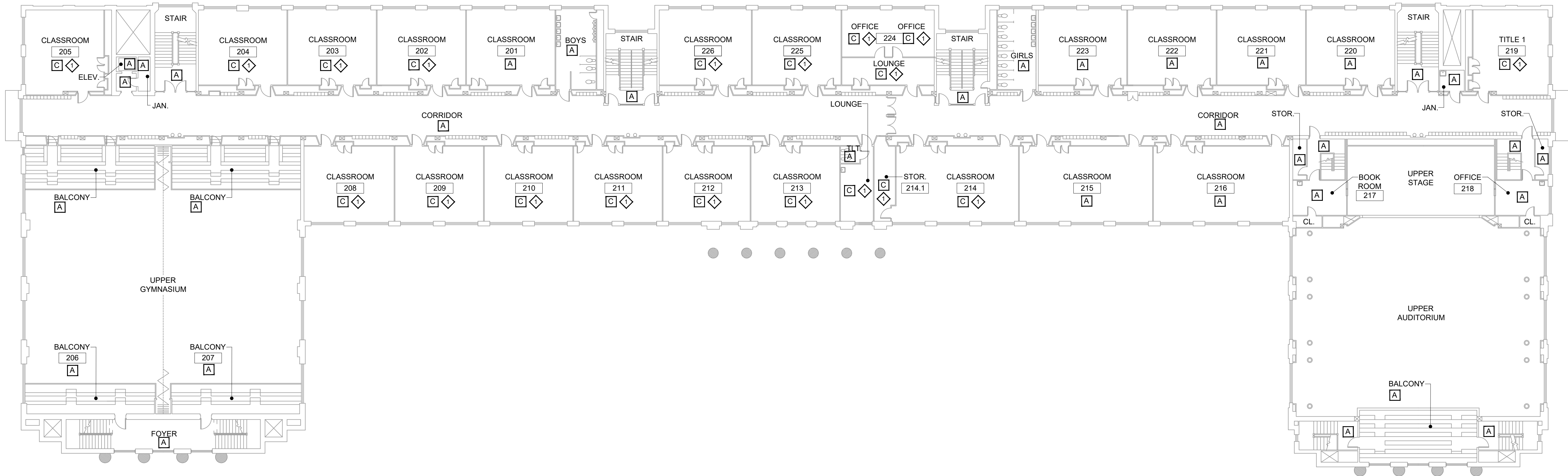




FLOORING DEMOLITION KEY NOTES	
A	NO WORK IN THIS AREA.
B	EXISTING CONCRETE FLOOR.
C	EXISTING WOOD FLOOR TO REMAIN.
D	CONTRACTOR TO REMOVE CARPET FLOORING, BASE AND ASSOCIATED MASTIC.
E	CONTRACTOR TO REMOVE SHEET FLOORING.
F	CONTRACTOR TO REMOVE CARPET FLOORING AND ASSOCIATED ADHESIVE.
G	EXISTING QUARRY TILE FLOOR.
H	EXISTING POLISHED STONE FLOOR.

FLOORING GENERAL NOTES	
1.	FLOORING CONTRACTOR TO PREPARE FLOORS TO RECEIVE NEW FLOORING AS CALLED FOR IN PROJECT MANUAL.
2.	FLOORING CONTRACTOR TO VERIFY EXISTING FLOORING CONDITIONS AND FLOOR LEVELS AND PROVIDE LEVELING, LEVEL TRANSITIONS AS REQUIRED FOR NEW FLOORING. INSTALLATION AND PROVIDE NEW TRANSITION STRIPS AS REQUIRED WHERE NEW FLOORING MEETS EXISTING FLOORING.
3.	ALL DOORS TO REMAIN. VERIFY FLOOR CLEARANCE AND COORDINATE WITH TRANSITION STRIP COMPATIBILITY.
4.	FLOORING CONTRACTOR TO CUT DOWN EXISTING WOOD DOORS AS REQUIRED TO ACCOMMODATE HEIGHT OF NEW FLOORING.
5.	ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS. IF IN THE EVENT THAT HAZARDOUS MATERIAL HAS BEEN DISCOVERED ON SITE, STOP ALL WORK AND INFORM THE OWNER PRIOR TO ANY WORK MOVING FORWARD.
6.	FLOORING CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO OWNER IMMEDIATELY.
7.	INSTALLATION OF FLOORING, BASE AND TRANSITIONS SHALL BE IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
8.	FLOORING CONTRACTOR TO VERIFY LAYOUT OF NEW FLOORING PATTERN WITH ARCHITECT PRIOR TO START OF INSTALLATION.
9.	EXISTING QUARRY TILE BASE (QTB) TO REMAIN.
10.	AT EXISTING QTB. INSTALL FLOORING EDGE TIGHT TO WALL AND CAULK EDGE.
11.	DO NOT INSTALL RUBBER BASE ON EXISTING QTB OR WOOD BASE.
12.	REMOVE RUBBER BASE ADHESIVE FROM QTB AND CLEAN QTB WHERE PRESENT.
13.	PROVIDE 4" RUBBER COVE BASE UNDER CABINETRY.
14.	PROVIDE 4" RUBBER COVE WALL BASE.
15.	PROVIDE AND INSTALL NEW TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES.
16.	INSTALL TRANSITION STRIPS AT DOOR FRAMES TO CORRIDOR FLUSH WITH DOOR STOPS AND AT INSIDE OF DOOR FACE.
17.	PROVIDE SKIM COAT TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS.
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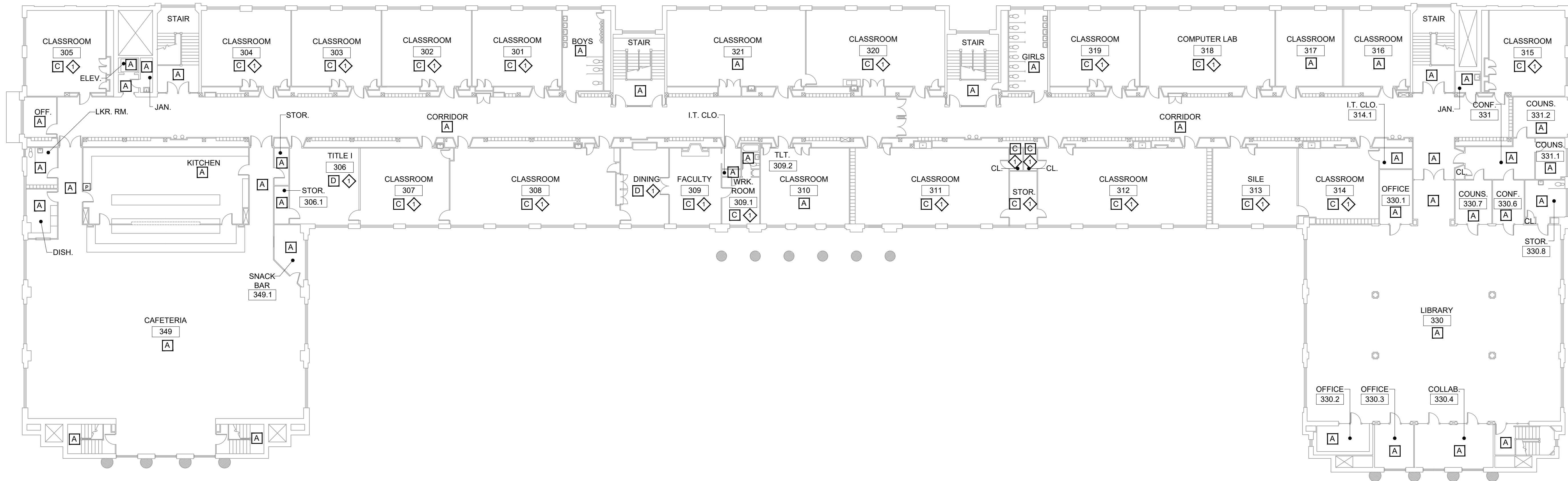
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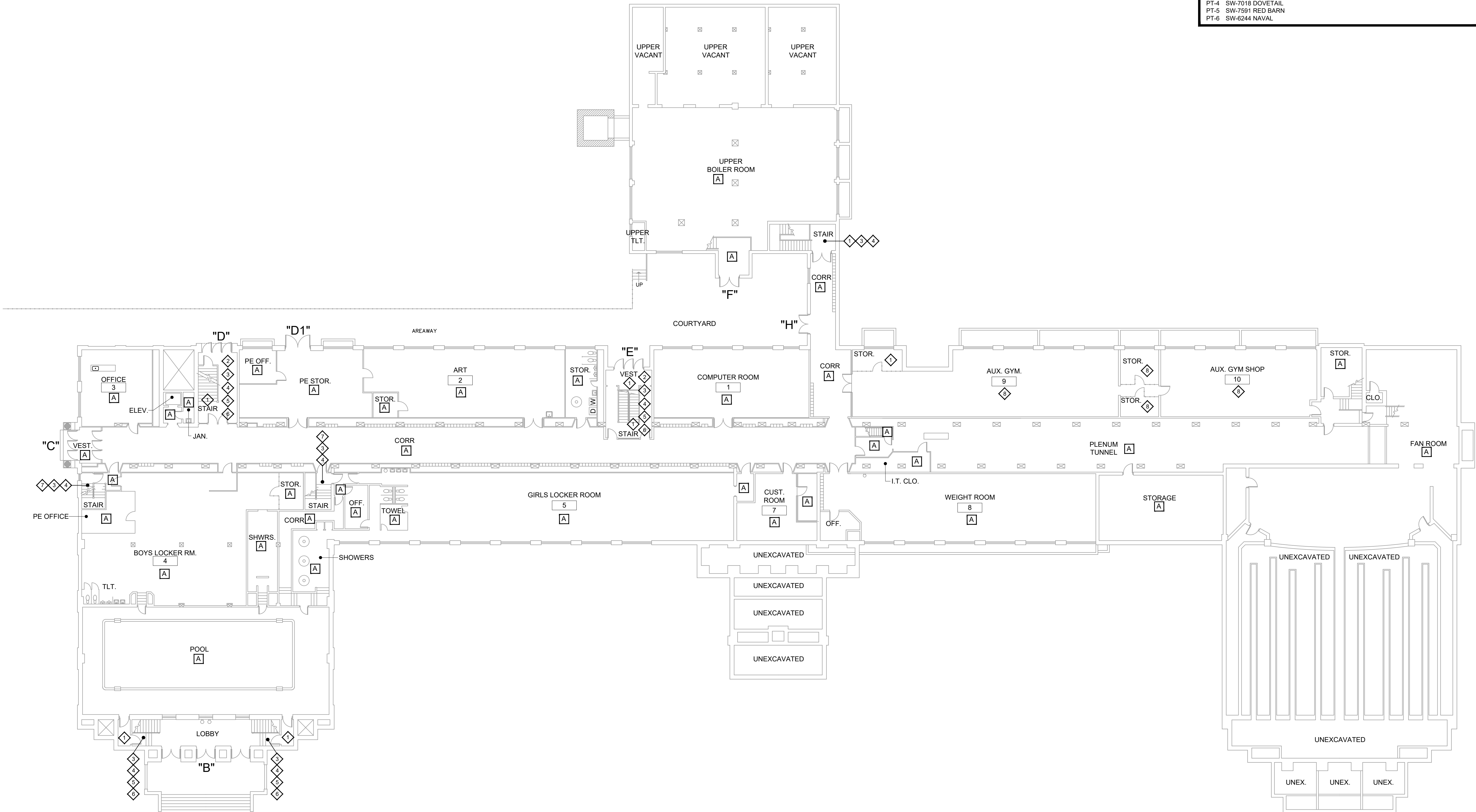
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PAINTING DEMOLITION KEY NOTES

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1. PREPARE PLASTER/DRYWALL WALLS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL.

2. PREPARE METAL DOORS AND FRAMES, STAIR POSTS, BALUSTRADES, RISERS AND NOSINGS AND METAL COVERS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL.

3. OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK.

4. EXISTING CASEWORK AND SHELVING TO REMAIN.

5. DO NOT PAINT STAIRWELL RADIATORS, ROOM RADIATORS OR ROOM PIPING TO RADIATORS.

6. PAINT STAIRWELL FIN TUBE COVERS TO MATCH WALL COLOR.

7. DO NOT PAINT WOOD HANDRAILS.

8. PAINT METAL COVERS TO MATCH WALL COLOR.

9. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND PAINTING WORK.

PAINTING KEY NOTES

1. PAINT WALLS PT-2 UNLESS NOTED OTHERWISE ON PAINT PLAN.

2. PAINT BOTH SIDES OF INTERIOR METAL DOORS AND METAL FRAMES PT-5.

3. PAINT METAL STAIR POSTS, BALUSTRADES, STRINGERS AND UNDERSIDE OF STAIRS PT-5.

4. PAINT RISERS PT-6, DO NOT PAINT NOSINGS.

5. PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT AND WALL BELOW STRINGERS PT-3.

6. PAINT STAIRWELL WALL ABOVE WAINSCOT PT-1.

7. PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT PT-6.

8. PAINT WALLS IN ROOMS 9 AND 10 PT-1 ABOVE EXISTING WAINSCOT TO BE PAINTED PT-6.

PAINT COLORS

PT-1 SW-7631 CITY LOFT

PT-2 SW-7038 ACCESSIBLE BEIGE

PT-3 SW-7038 TONY TALUPE

PT-4 SW-7018 DOVETAIL

PT-5 SW-7591 RED BARN

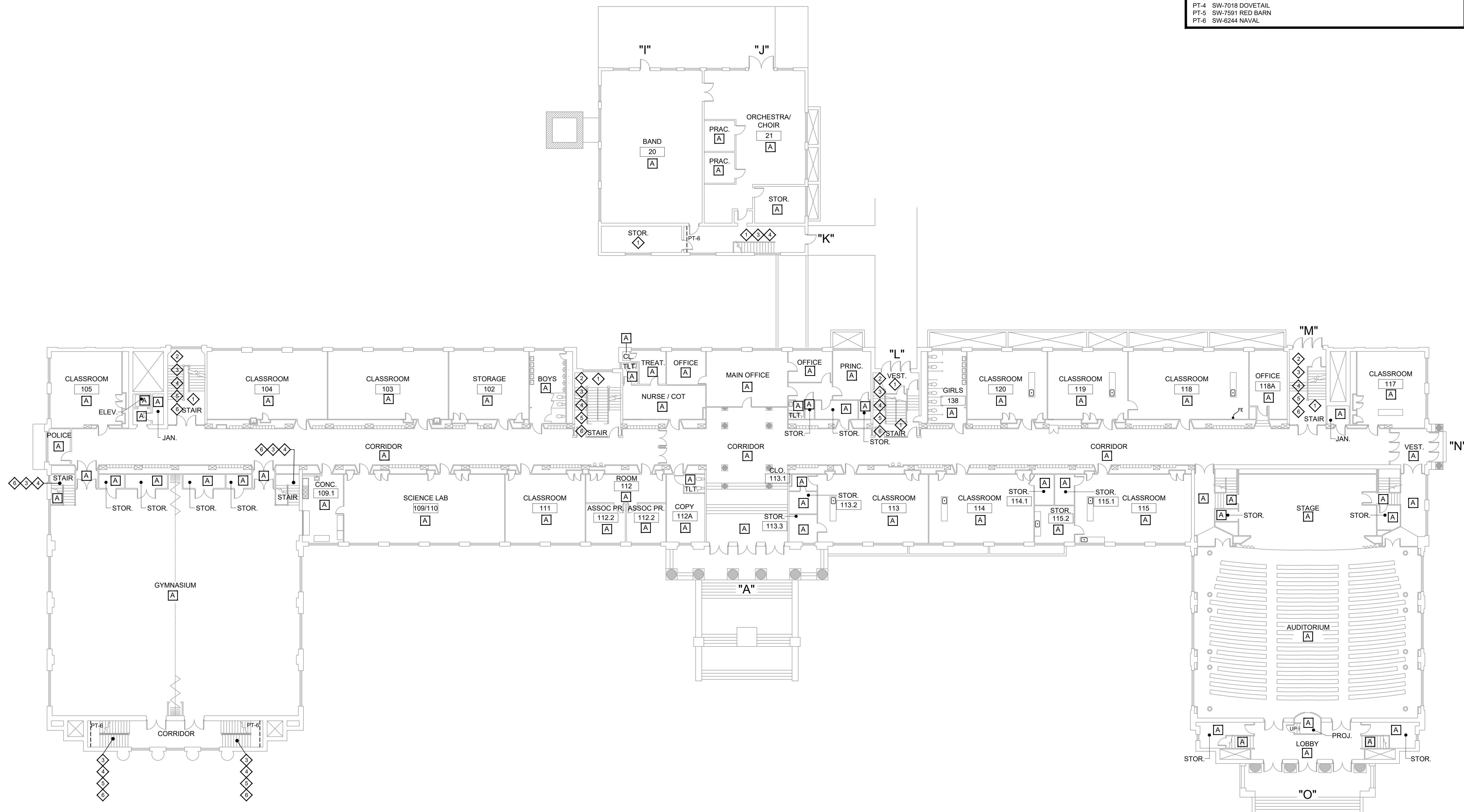
PT-6 SW-6244 NAVAL

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7. DO NOT PAINT WOOD HANDRAILS.
8. PAINT METAL COVERS TO MATCH WALL COLOR.
9. ALL AREAS FINISHED AND TESTED NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND PAINTING WORK.

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PT-3 SW-7038 TONY TAUPE
PT-4 SW-7018 DOVETAIL
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PT-6 SW-6244 NAVAL



DEMOLITION AND REVISED PAINTING PLAN

SCALE: 1/16"=1'-0"



FLOORING AND PAINTING WORK AT
LINCOLN MIDDLE SCHOOL
SUMMERDALE EARLY CHILDHOOD CENTER
ROCKFORD PUBLIC S
ROCKFORD, ILLINOIS

**RICHARD L. JOHNSON
ASSOCIATES | ARCHITECTS**

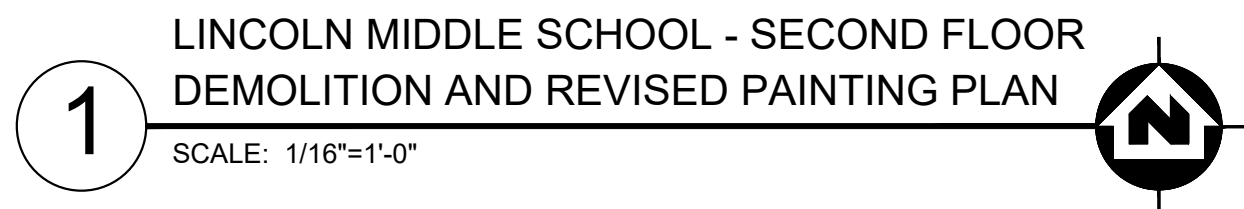
SHEET IDENTIFICATION

LINCOLN MIDDLE SCHOOL -
FIRST FLOOR - DEMOLITION
AND REVISED PAINTING PLAN

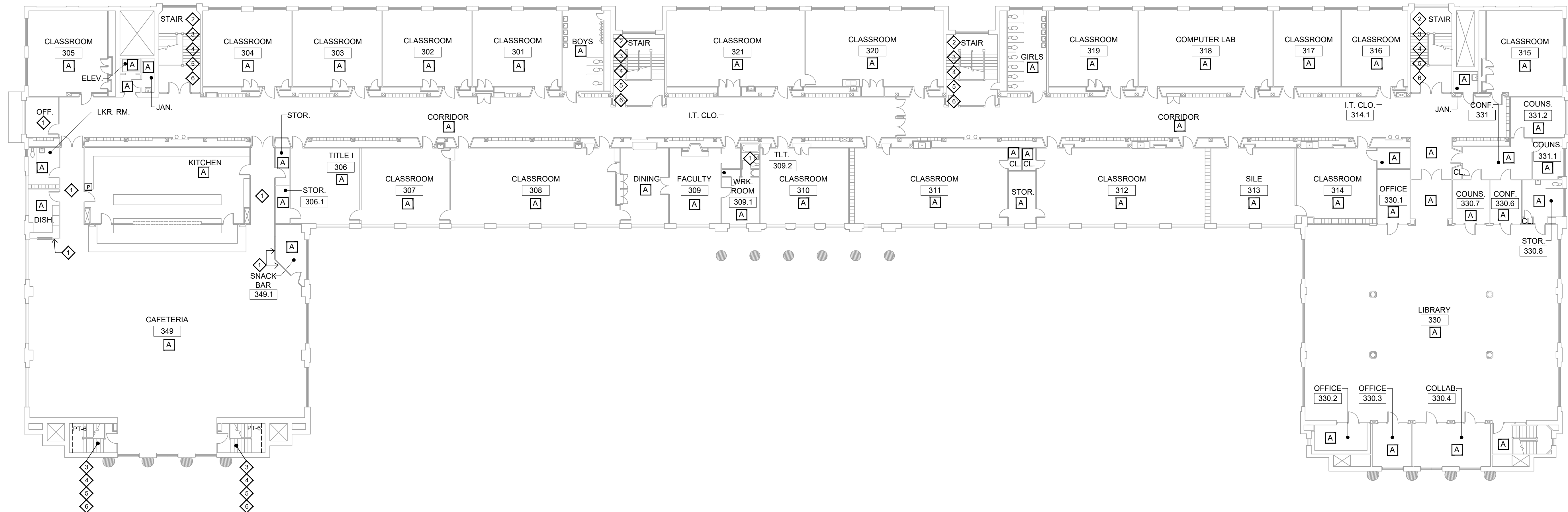
PROJECT INFORMATION	
Date	February 17, 2021

SHEET NUMBER

A106
OF
11



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PT-3 SW-7038 TONY TAUPE
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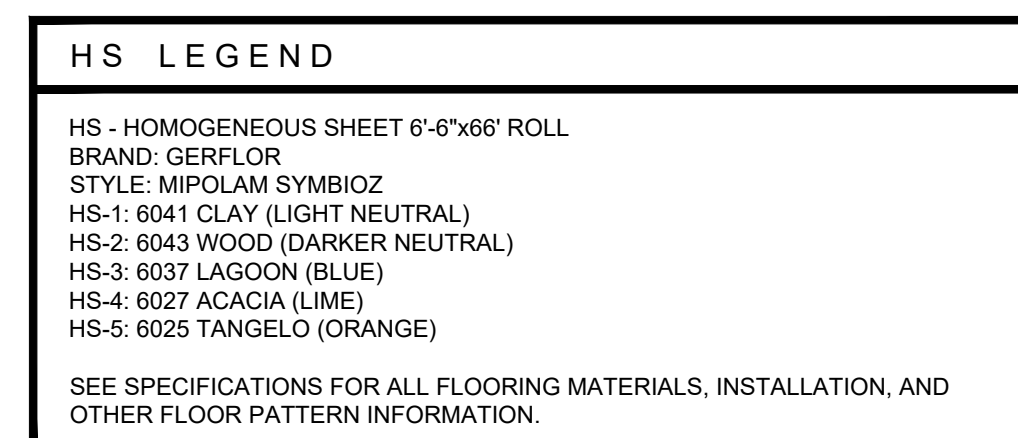
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ASBESTOS ABATEMENT
AT
SUMMERDALE ELEMENTARY SCHOOL
2020 FLOORING ABATEMENT
3320 GLENWOOD AVENUE, ROCKFORD, IL 61101

ROCKFORD PUBLIC SCHOOL DISTRICT #205
501 7TH STREET
ROCKFORD, ILLINOIS 61104

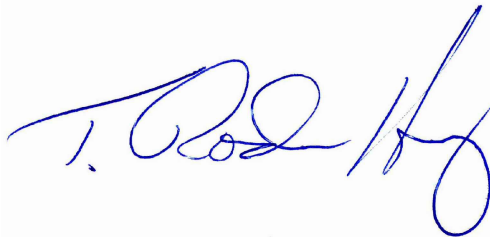
ENVIRONMENTAL CONSULTANT

CARNOW CONIBEAR & ASSOCIATES, Ltd.

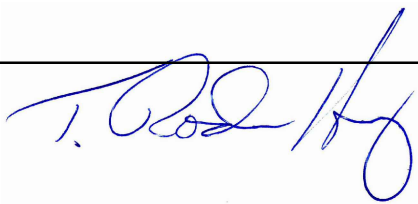

600 WEST VAN BUREN STREET
CHICAGO, IL 60607
PHONE: (312) 782-2925
FAX: (312) 782-5145
CONTACT: EVAN CHRISTIAN

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
ASB-0	COVER SHEET AND SHEET LIST
ASB-G	GENERAL NOTES
ASB-1	ASBESTOS ABATEMENT - 1ST FLOOR - PHASE I
ASB-2	ASBESTOS ABATEMENT - 1ST FLOOR - PHASE II

ASBESTOS PROJECT DESIGNER:



ROD HARVEY, P.E., CIH, CSP
IDPH LICENSE NUMBER: 100-01548

DRAWING HISTORY					CLIENT: Rockford Public School District #205 501 7th Street Rockford, Illinois 61104	PROJECT NAME: Asbestos Abatement Summerdale Elementary 3320 Glenwood Avenue, Rockford, Illinois 61101	SHEET TITLE: ASBESTOS ABATEMENT PLAN COVER SHEET	DESIGNER SIGNATURE 	Carnow, Conibear & Assoc., Ltd. Environmental Consulting Services 600 W. Van Buren St., Suite 500, Chicago, IL 60607 t: 312.782.4486 f: 312.782.5145 www.ccaltd.com 	CCA PROJECT NO.
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS						PLOT DATE:
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID						January 8, 2021
										SHEET NO. ASB-0

SCOPE OF WORK

ASBESTOS ABATEMENT:

- 1. Removal and disposal of asbestos-containing floor tile and mastic per applicable IDPH, IEPA and OSHA regulations. Scope of work also includes removal and disposal of sheet floor and carpeting in work areas.
- 2. Work to be conducted per specification section 02131 and applicable IDPH, IEPA, and OSHA rules and regulations.

SCHEDULE:

- 1. The work is scheduled to begin at upon start of Summer Break 2021.
- 2. Anticipated start date is June 18, 2021. Exact start date to be determined by District and Carnow Conibear.
- 3. Phase I: 12 days (Completion date: 7/1/2021)
Phase II: 15 days (Completion date: 7/17/21)

Abatement Contractor may work all shifts necessary to complete the work by the scheduled completion date. Schedule includes Saturdays.


BUILDING INFORMATION

- a. IDPH Building ID#: 04-101-2050-3078
- b. Building Address: 3320 Glenwood Avenue
Rockford, Illinois 61101
- c. Building Size: 50,768 SF
- d. Age of Building: 1950
- e. Number of Floors: 1

GENERAL NOTES

- 1. Locations shown are approximate only.
- 2. Phasing of the work to be determined by the General Contractor and the Building Owner.
- 3. Worker decontamination enclosure system shall be constructed in strict accordance with IDPH section 855.410. Clean room shall be sized to accommodate the needs of the work crew. Donning and Doffing of PPE outside of clean room is strictly prohibited.
- 4. Where non-friable removal methods are utilized (Specification Section 3.11(D)), Contractor shall be responsible for the isolation of the work area(s) with critical seals, signage, and the security of the work areas to eliminate access by unauthorized personnel.

- 5. HEPA filtered negative air machines shall be set up within the work areas and run continuously through the completion of all work.
- 6. The abatement contractor is responsible for the lockout and tagout of all mechanical equipment prior to starting any mitigation/ abatement or O&M clean up in or on any equipment, etc.
- 7. The contractor is responsible for verifying quantities in the field before bidding. Any questions about the scope or clarifications shall be obtained from the Project Designer prior to bidding. Any interpretations of the design documents shall only be made by the Project Designer. The abatement contractor shall be responsible for removing any ACM which will be disturbed during renovation activities, prior to renovation activities.
- 8. When a room or location identified on an environmental scope of work sheet, all closets, bathrooms, offices, storage rooms, etc. are included in the scope of work for that room or location.
- 9. The abatement contractor is responsible for all security to the work area(s) during the environmental mitigation/abatement and replacement activities. The abatement contractor shall be responsible for any damages or thefts to property in the work area(s), until the area(s) are returned to the property owner. The abatement contractor shall repair and/or replace damaged or stolen property to the satisfaction of, and at no additional cost to the property owner.
- 10. Electric/HVAC service shall be disconnected by the District as necessary.
- 11. Any existing electrical panels in the work area shall be adequately protected (i.e. “Boxed out.”) during Asbestos Abatement activities in accordance with specification 02131 and all applicable regulations.
- 12. Contractor shall maintain clear access to building egress points outside of regulated areas.
- 13. The School District will provide an electrician for the installation of temporary power panels and/or whips and isolation of work areas. The Abatement Contractor is responsible for providing District electrician any power panels and/or whips a minimum of five (5) business days prior to start of work. Coordinate with Carnow Conibear.
- 14. Where abatement of flooring materials is specified, the Abatement Contractor is responsible for the removal of all layers of flooring, associated mastics, and leveling compounds down to the lowest substrate.
- 15. Unless specified, NO CHEMICAL REMOVAL OF MASTICS shall be utilized. Mechanical removal methods ONLY.
- 16. Contractor Supervisor is required to perform a punch list walk-through with a Carnow Conibear representative prior to containment tear-down AND demobilization to ensure all scope items have been removed, project specifications are met, and any incidental damage is identified.
- 17. Abatement contractor shall remove any/all vinyl baseboards from abatement areas.

DRAWING HISTORY					CLIENT: Rockford Public School District #205 501 7th Street Rockford, Illinois 61104	PROJECT NAME: Asbestos Abatement Summerdale Elementary 3320 Glenwood Avenue, Rockford, Illinois 61101	SHEET TITLE: ASBESTOS ABATEMENT PLAN GENERAL NOTES	<div>Carnow, Conibear & Assoc., Ltd. Environmental Consulting Services 600 W. Van Buren St., Suite 500, Chicago, IL 60607 t: 312.782.4486 f: 312.782.5145 www.ccaltd.com</div> <div>CARNOW CONIBEAR</div>	CCA PROJECT NO.
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS					PLOT DATE: January 8, 2021
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID		PROJECT DESIGNER Rod Harvey IDPH #: 100-01548	DESIGNER SIGNATURE 		SHEET NO.
									ASB-G


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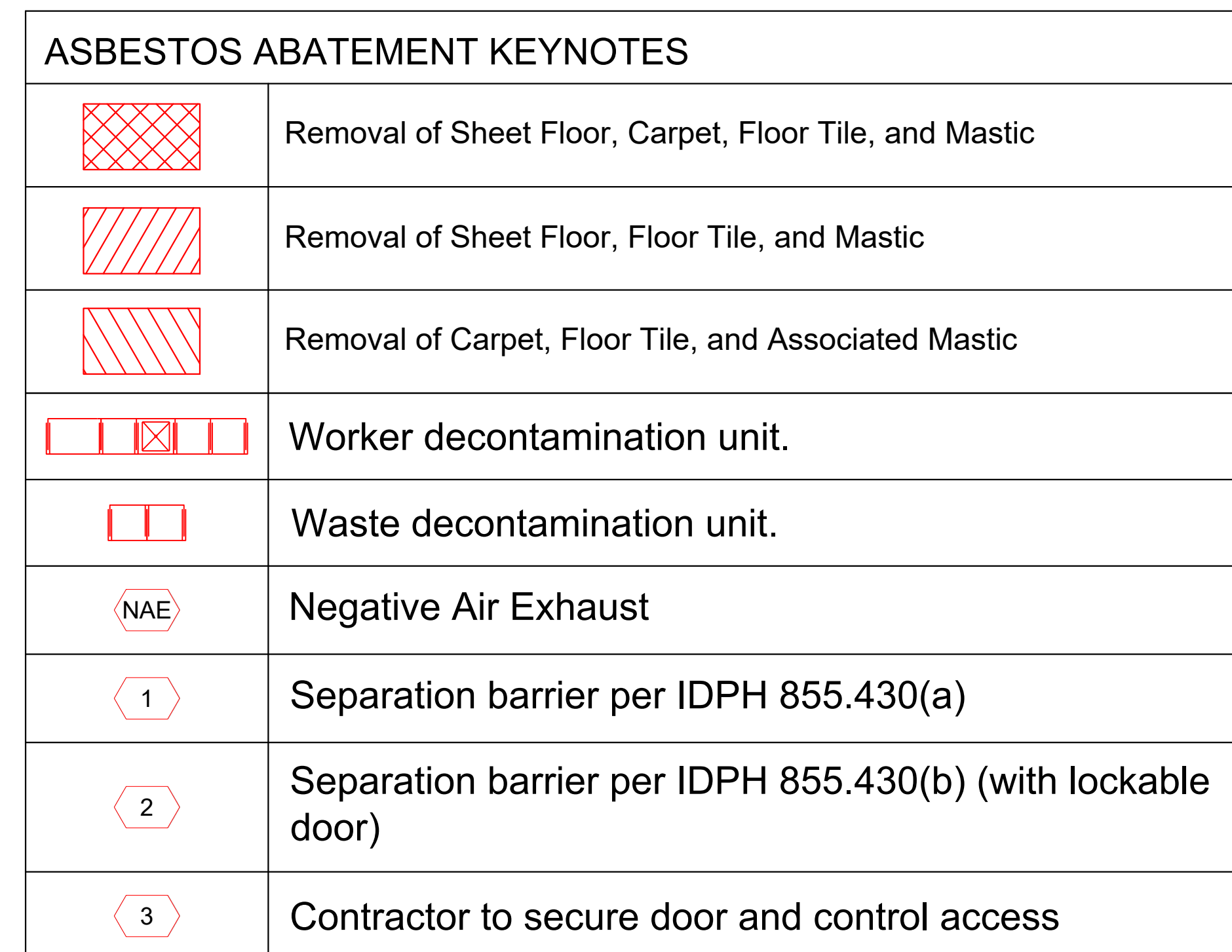


ASBESTOS ABATEMENT KEYNOTES	
	Removal of Sheet Floor, Carpet, Floor Tile, and Mastic
	Removal of Sheet Floor, Floor Tile, and Mastic
	Removal of Carpet, Floor Tile, and Associated Mastic
	Worker decontamination unit.
	Waste decontamination unit.
	Negative Air Exhaust
	Separation barrier per IDPH 855.430(a)
	Separation barrier per IDPH 855.430(b) (with lockable door)
	Contractor to secure door and control access

KEY PLAN:



DRAWING HISTORY					CLIENT: Rockford Public School District #205 501 7th Street Rockford, Illinois 61104	PROJECT NAME: Asbestos Abatement Summerdale Elementary 3320 Glenwood Avenue, Rockford, Illinois 61101	SHEET TITLE: ASBESTOS ABATEMENT PLAN PHASE I	CCA PROJECT NO. Carnow, Conibear & Assoc., Ltd. Environmental Consulting Services 600 W. Van Buren St., Suite 500, Chicago, IL 60607 t: 312.782.4486 f: 312.782.5145 www.ccaltd.com CARNOW CONIBEAR	PLOT DATE: January 8, 2021	SHEET NO. ASB-1
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS						
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID						
					PROJECT DESIGNER Rod Harvey IDPH #: 100-01548		DESIGNER SIGNATURE 			



This detailed floor plan illustrates the layout of the University of North Carolina at Chapel Hill campus. The main building complex is shown in a light blue color, with various rooms and areas labeled. The plan includes a large central area labeled 'Olympic Stadium' and 'Olympic Stadium/Green Meadow'. To the left, there are several smaller buildings, including '19 Sports Center', '18 Sports Center', and '17 Sports Center'. To the right, there are more buildings, including '16 Recreation/Materials', '15 Library', and '14 Hallway'. The plan also shows a large red area on the left side, which is likely a parking lot or a large open space. The overall layout is complex, with many interconnected rooms and areas, reflecting the scale of the event.