FLOORING AND PAINTING WORK AT LINCOLN MIDDLE SCHOOL AND SUMMERDALE EARLY CHILDHOOD CENTER

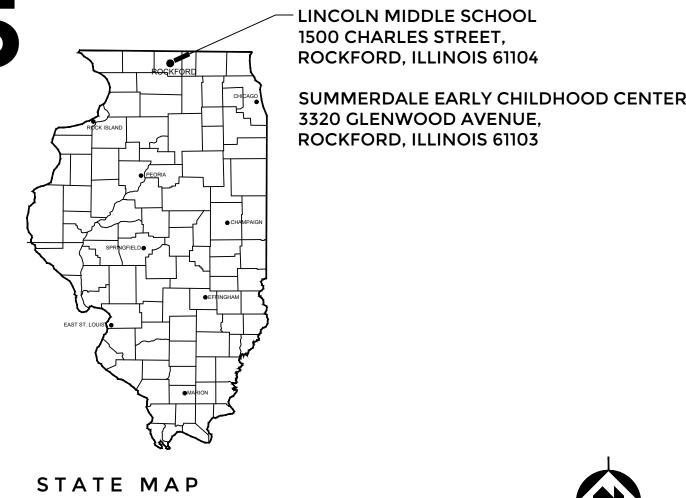
LINCOLN MIDDLE SCHOOL 1500 CHARLES STREET, ROCKFORD, ILLINOIS 61104

SUMMERDALE EARLY CHILDHOOD CENTER 3320 GLENWOOD AVENUE, ROCKFORD, ILLINOIS 61103

OWNER

ROCKFORD PUBLIC SCHOOL DISTRICT #205

501 7TH STREET, ROCKFORD, ILLINOIS 61104



SCALE: N.T.S.

ARCHITECT OF RECORD

RICHARD L JOHNSON ASSOCIATES
4703 Charles Street
Rockford IL 61108
PHONE 815/398-1280
PHONE 815/398-1280
IL Design Firm No. 187-000524

Purhault Johnson
Land Darke

Darke Darkes 11-30-3002

Darke Street
Rockford L 6104

Darke Darkes 11-30-3002

TITLE SHEET

SHEET INDEX

T101 TITLE SHEET

ARCHITECTURAL

A101 LINCOLN MIDDLE SCHOOL - BASEMENT - DEMOLITION AND REVISED FLOORING PLAN A102 LINCOLN MIDDLE SCHOOL - FIRST FLOOR - DEMOLITION AND REVISED FLOORING PLAN A103 LINCOLN MIDDLE SCHOOL - SECOND FLOOR - DEMOLITION AND REVISED FLOORING PLAN LINCOLN MIDDLE SCHOOL - THIRD FLOOR - DEMOLITION AND REVISED FLOORING PLAN LINCOLN MIDDLE SCHOOL - BASEMENT - DEMOLITION AND REVISED PAINTING PLAN A106 LINCOLN MIDDLE SCHOOL - FIRST FLOOR - DEMOLITION AND REVISED PAINTING PLAN A107 LINCOLN MIDDLE SCHOOL - SECOND FLOOR - DEMOLITION AND REVISED PAINTING PLAN A108 LINCOLN MIDDLE SCHOOL - THIRD FLOOR - DEMOLITION AND REVISED PAINTING PLAN A109 SUMMERDALE EARLY CHILDHOOD CENTER - DEMOLITION AND REVISED FLOORING PLAN A110 SUMMERDALE EARLY CHILDHOOD CENTER - FLOOR PATTERN PLAN A111 SUMMERDALE EARLY CHILDHOOD CENTER - DEMOLITION AND REVISED PAINTING PLAN

REFERENCE SHEETS

ASB-0 SUMMERDALE EARLY CHILDHOOD CENTER - ASBESTOS ABATEMENT PLAN COVER SHEET SUMMERDALE EARLY CHILDHOOD CENTER - ASBESTOS ABATEMENT PLAN GENERAL NOTES SUMMERDALE EARLY CHILDHOOD CENTER - ASBESTOS ABATEMENT PLAN PHASE 1 SUMMERDALE EARLY CHILDHOOD CENTER - ASBESTOS ABATEMENT PLAN PHASE 2

FLOORING AND PAINTING WORK AT LINCOLN MIDDLE SCHOOL AND SUMMERDALE EARLY CHILDHOOD CENTER ROCKFORD ILLINGS PUBLIC SCHOOL DISTRICT 20 POCKFORD ILLINGS

RICHARD L. JOHNSON ASSOCIATES | ARCHITECT

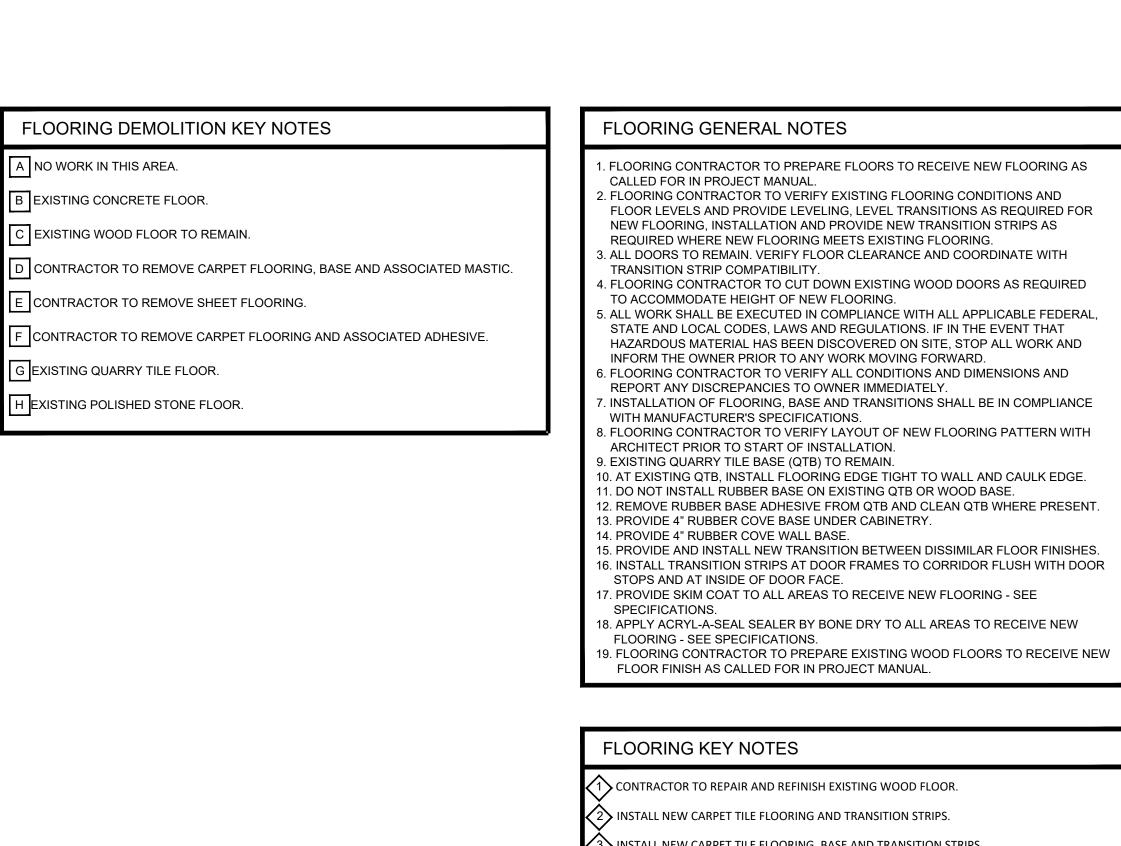
PROJECT INFORMATIONSHEET IDENTIFICATIONDateFebruary 17, 2021Rev. DateTITLE SHEETSev. DateTITLE SHEETRev. DateTITLE SHEET

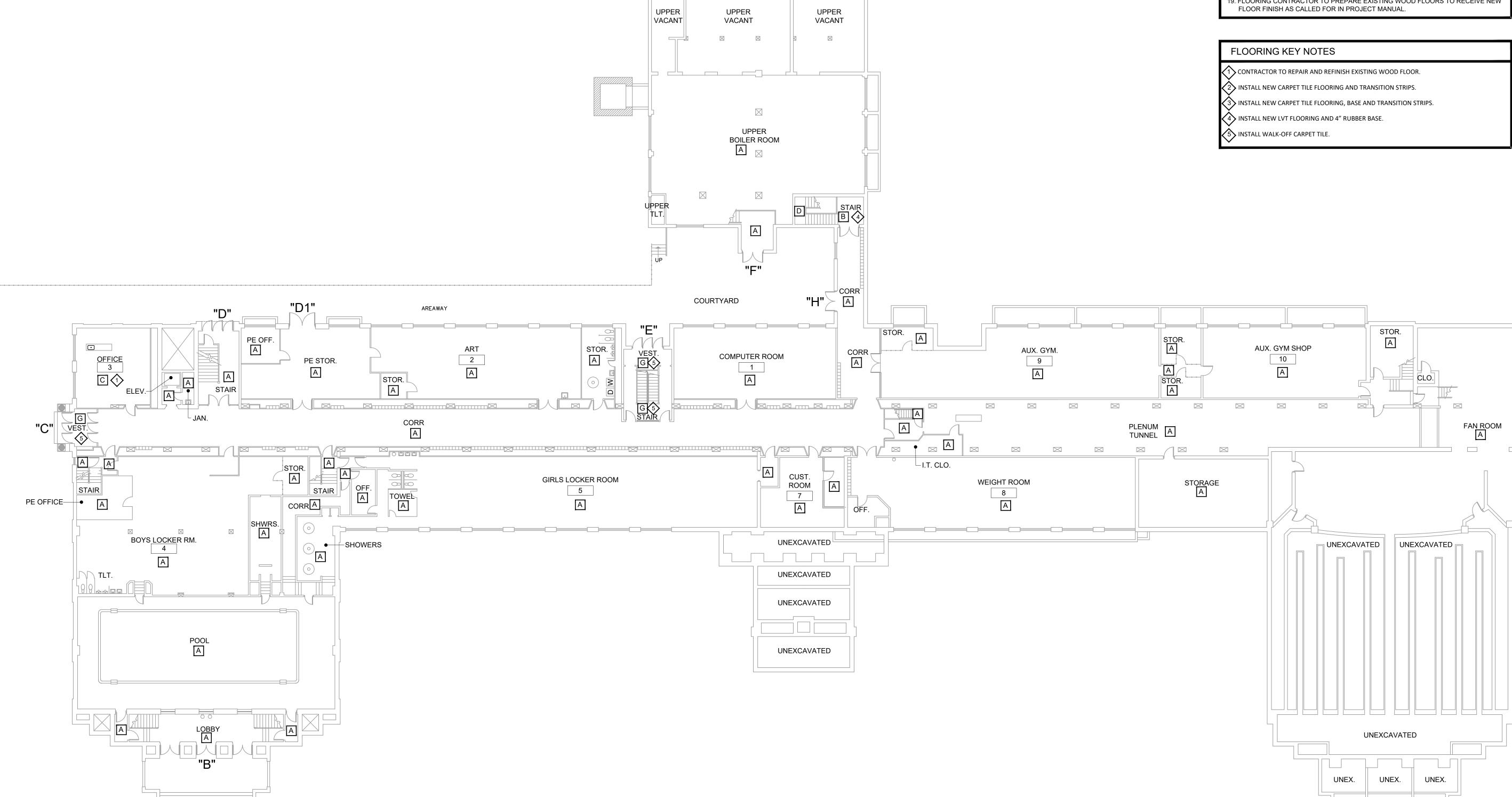
T101

SHEET NUMBE

A101

OF





LINCOLN MIDDLE SCHOOL - BASEMENT

SCALE: 1/16"=1'-0"

DEMOLITION AND REVISED FLOORING PLAN

 \boxtimes

OF

SHEET NUMBER A102



CALLED FOR IN PROJECT MANUAL.

2. FLOORING CONTRACTOR TO VERIFY EXISTING FLOORING CONDITIONS AND FLOOR LEVELS AND PROVIDE LEVELING, LEVEL TRANSITIONS AS REQUIRED FOR NEW FLOORING, INSTALLATION AND PROVIDE NEW TRANSITION STRIPS AS

REQUIRED WHERE NEW FLOORING MEETS EXISTING FLOORING. 3. ALL DOORS TO REMAIN. VERIFY FLOOR CLEARANCE AND COORDINATE WITH TRANSITION STRIP COMPATIBILITY.

4. FLOORING CONTRACTOR TO CUT DOWN EXISTING WOOD DOORS AS REQUIRED TO ACCOMMODATE HEIGHT OF NEW FLOORING.

5. ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL. STATE AND LOCAL CODES, LAWS AND REGULATIONS. IF IN THE EVENT THAT HAZARDOUS MATERIAL HAS BEEN DISCOVERED ON SITE, STOP ALL WORK AND INFORM THE OWNER PRIOR TO ANY WORK MOVING FORWARD.

6. FLOORING CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO OWNER IMMEDIATELY.

. INSTALLATION OF FLOORING, BASE AND TRANSITIONS SHALL BE IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. B. FLOORING CONTRACTOR TO VERIFY LAYOUT OF NEW FLOORING PATTERN WITH

ARCHITECT PRIOR TO START OF INSTALLATION.

9. EXISTING QUARRY TILE BASE (QTB) TO REMAIN. 10. AT EXISTING QTB, INSTALL FLOORING EDGE TIGHT TO WALL AND CAULK EDGE. 11. DO NOT INSTALL RUBBER BASE ON EXISTING QTB OR WOOD BASE.

12. REMOVE RUBBER BASE ADHESIVE FROM QTB AND CLEAN QTB WHERE PRESENT.

13. PROVIDE 4" RUBBER COVE BASE UNDER CABINETRY. 14. PROVIDE 4" RUBBER COVE WALL BASE. 15. PROVIDE AND INSTALL NEW TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES.

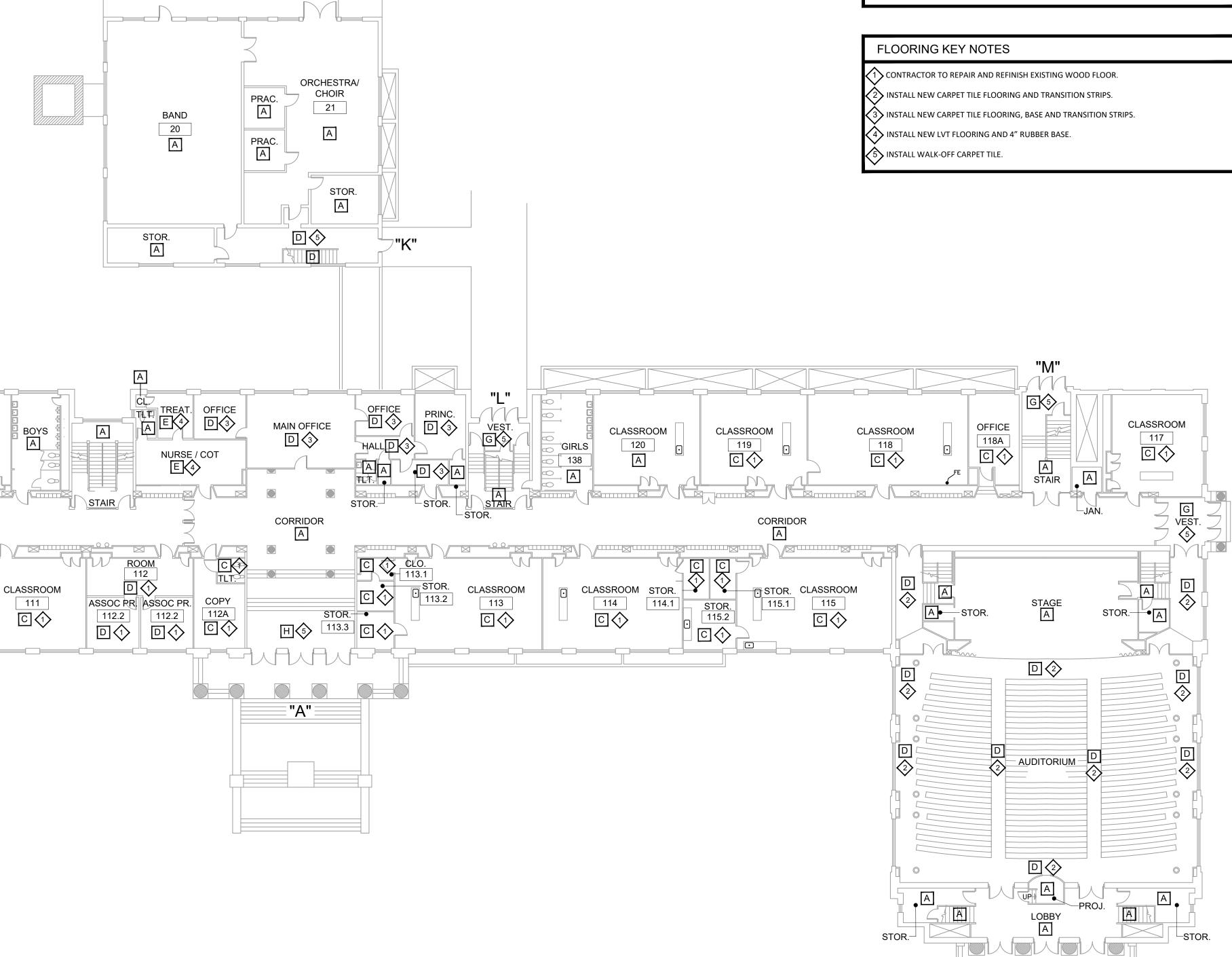
16. INSTALL TRANSITION STRIPS AT DOOR FRAMES TO CORRIDOR FLUSH WITH DOOR STOPS AND AT INSIDE OF DOOR FACE.

17. PROVIDE SKIM COAT TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS.

18. APPLY ACRYL-A-SEAL SEALER BY BONE DRY TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS.

19. FLOORING CONTRACTOR TO PREPARE EXISTING WOOD FLOORS TO RECEIVE NEW FLOOR FINISH AS CALLED FOR IN PROJECT MANUAL.

"O"



FLOORING DEMOLITION KEY NOTES

D CONTRACTOR TO REMOVE CARPET FLOORING, BASE AND ASSOCIATED MASTIC.

F CONTRACTOR TO REMOVE CARPET FLOORING AND ASSOCIATED ADHESIVE.

A NO WORK IN THIS AREA.

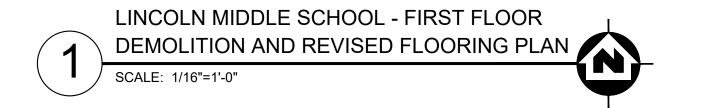
B EXISTING CONCRETE FLOOR.

G EXISTING QUARRY TILE FLOOR.

H EXISTING POLISHED STONE FLOOR.

C EXISTING WOOD FLOOR TO REMAIN.

E CONTRACTOR TO REMOVE SHEET FLOORING.



CLASSROOM

103 C (1)

CORRIDOR A

SCIENCE LAB

109/110

STOR 109.1

STORAGE

102

CLASSROOM

104 C (1)

A

CLASSROOM

105 A

POLICE

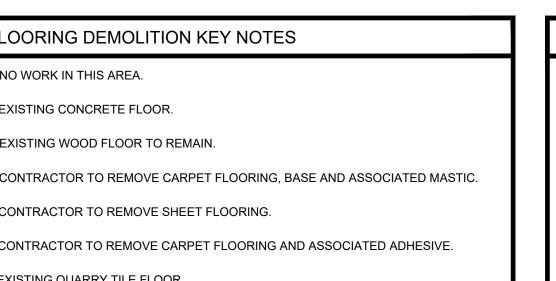
AA

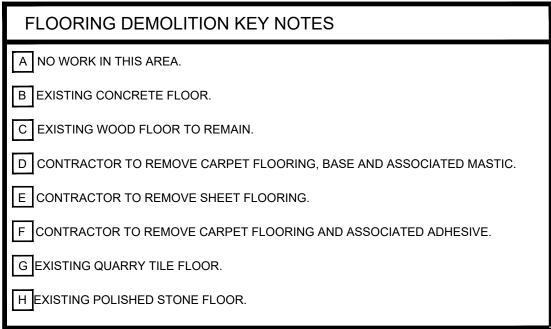
A STAIR

STOR.

GYMNASIUM

SHEET NUMBER A103 OF





14. PROVIDE 4" RUBBER COVE WALL BASE. 15. PROVIDE AND INSTALL NEW TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES. 16. INSTALL TRANSITION STRIPS AT DOOR FRAMES TO CORRIDOR FLUSH WITH DOOR STOPS AND AT INSIDE OF DOOR FACE. 17. PROVIDE SKIM COAT TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS. 18. APPLY ACRYL-A-SEAL SEALER BY BONE DRY TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS. 19. FLOORING CONTRACTOR TO PREPARE EXISTING WOOD FLOORS TO RECEIVE NEW FLOOR FINISH AS CALLED FOR IN PROJECT MANUAL. FLOORING KEY NOTES 1) CONTRACTOR TO REPAIR AND REFINISH EXISTING WOOD FLOOR. 2 INSTALL NEW CARPET TILE FLOORING AND TRANSITION STRIPS. (3) INSTALL NEW CARPET TILE FLOORING, BASE AND TRANSITION STRIPS. 4 INSTALL NEW LVT FLOORING AND 4" RUBBER BASE. 5 INSTALL WALK-OFF CARPET TILE.

FLOORING GENERAL NOTES

CALLED FOR IN PROJECT MANUAL.

TRANSITION STRIP COMPATIBILITY.

TO ACCOMMODATE HEIGHT OF NEW FLOORING.

WITH MANUFACTURER'S SPECIFICATIONS.

ARCHITECT PRIOR TO START OF INSTALLATION. 9. EXISTING QUARRY TILE BASE (QTB) TO REMAIN.

13. PROVIDE 4" RUBBER COVE BASE UNDER CABINETRY.

1. FLOORING CONTRACTOR TO PREPARE FLOORS TO RECEIVE NEW FLOORING AS

FLOOR LEVELS AND PROVIDE LEVELING, LEVEL TRANSITIONS AS REQUIRED FOR NEW FLOORING, INSTALLATION AND PROVIDE NEW TRANSITION STRIPS AS

2. FLOORING CONTRACTOR TO VERIFY EXISTING FLOORING CONDITIONS AND

3. ALL DOORS TO REMAIN, VERIFY FLOOR CLEARANCE AND COORDINATE WITH

4. FLOORING CONTRACTOR TO CUT DOWN EXISTING WOOD DOORS AS REQUIRED

5. ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS. IF IN THE EVENT THAT

HAZARDOUS MATERIAL HAS BEEN DISCOVERED ON SITE, STOP ALL WORK AND

7. INSTALLATION OF FLOORING, BASE AND TRANSITIONS SHALL BE IN COMPLIANCE

8. FLOORING CONTRACTOR TO VERIFY LAYOUT OF NEW FLOORING PATTERN WITH

10. AT EXISTING QTB, INSTALL FLOORING EDGE TIGHT TO WALL AND CAULK EDGE.

12. REMOVE RUBBER BASE ADHESIVE FROM QTB AND CLEAN QTB WHERE PRESENT.

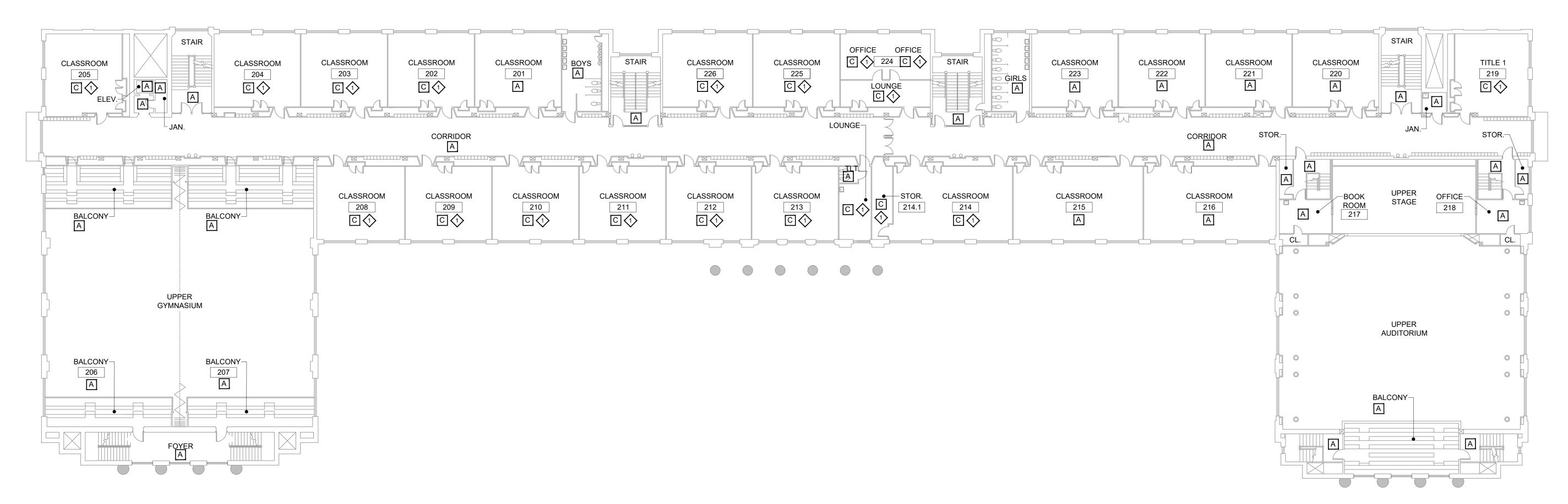
11. DO NOT INSTALL RUBBER BASE ON EXISTING QTB OR WOOD BASE.

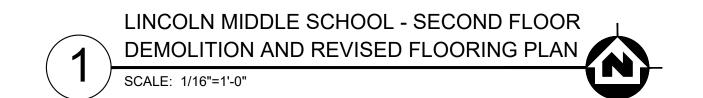
6. FLOORING CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AND

REQUIRED WHERE NEW FLOORING MEETS EXISTING FLOORING.

INFORM THE OWNER PRIOR TO ANY WORK MOVING FORWARD.

REPORT ANY DISCREPANCIES TO OWNER IMMEDIATELY.





SHEET NUMBER A104

OF

FLOORING GENERAL NOTES

FLOORING DEMOLITION KEY NOTES

D CONTRACTOR TO REMOVE CARPET FLOORING, BASE AND ASSOCIATED MASTIC.

F CONTRACTOR TO REMOVE CARPET FLOORING AND ASSOCIATED ADHESIVE.

A NO WORK IN THIS AREA.

B EXISTING CONCRETE FLOOR.

G EXISTING QUARRY TILE FLOOR.

H EXISTING POLISHED STONE FLOOR.

C EXISTING WOOD FLOOR TO REMAIN.

E CONTRACTOR TO REMOVE SHEET FLOORING.

1. FLOORING CONTRACTOR TO PREPARE FLOORS TO RECEIVE NEW FLOORING AS CALLED FOR IN PROJECT MANUAL. 2. FLOORING CONTRACTOR TO VERIFY EXISTING FLOORING CONDITIONS AND FLOOR LEVELS AND PROVIDE LEVELING, LEVEL TRANSITIONS AS REQUIRED FOR

NEW FLOORING, INSTALLATION AND PROVIDE NEW TRANSITION STRIPS AS REQUIRED WHERE NEW FLOORING MEETS EXISTING FLOORING. 3. ALL DOORS TO REMAIN. VERIFY FLOOR CLEARANCE AND COORDINATE WITH TRANSITION STRIP COMPATIBILITY.

4. FLOORING CONTRACTOR TO CUT DOWN EXISTING WOOD DOORS AS REQUIRED TO ACCOMMODATE HEIGHT OF NEW FLOORING.

5. ALL WORK SHALL BE EXECUTED IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS AND REGULATIONS. IF IN THE EVENT THAT HAZARDOUS MATERIAL HAS BEEN DISCOVERED ON SITE, STOP ALL WORK AND INFORM THE OWNER PRIOR TO ANY WORK MOVING FORWARD.

6. FLOORING CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO OWNER IMMEDIATELY.

7. INSTALLATION OF FLOORING, BASE AND TRANSITIONS SHALL BE IN COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. 8. FLOORING CONTRACTOR TO VERIFY LAYOUT OF NEW FLOORING PATTERN WITH

ARCHITECT PRIOR TO START OF INSTALLATION. 9. EXISTING QUARRY TILE BASE (QTB) TO REMAIN. 10. AT EXISTING QTB, INSTALL FLOORING EDGE TIGHT TO WALL AND CAULK EDGE.

11. DO NOT INSTALL RUBBER BASE ON EXISTING QTB OR WOOD BASE. 12. REMOVE RUBBER BASE ADHESIVE FROM QTB AND CLEAN QTB WHERE PRESENT. 13. PROVIDE 4" RUBBER COVE BASE UNDER CABINETRY. 14. PROVIDE 4" RUBBER COVE WALL BASE.

15. PROVIDE AND INSTALL NEW TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES.

16. INSTALL TRANSITION STRIPS AT DOOR FRAMES TO CORRIDOR FLUSH WITH DOOR STOPS AND AT INSIDE OF DOOR FACE.

17. PROVIDE SKIM COAT TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS.

18. APPLY ACRYL-A-SEAL SEALER BY BONE DRY TO ALL AREAS TO RECEIVE NEW FLOORING - SEE SPECIFICATIONS. 19. FLOORING CONTRACTOR TO PREPARE EXISTING WOOD FLOORS TO RECEIVE NEW

FLOOR FINISH AS CALLED FOR IN PROJECT MANUAL.

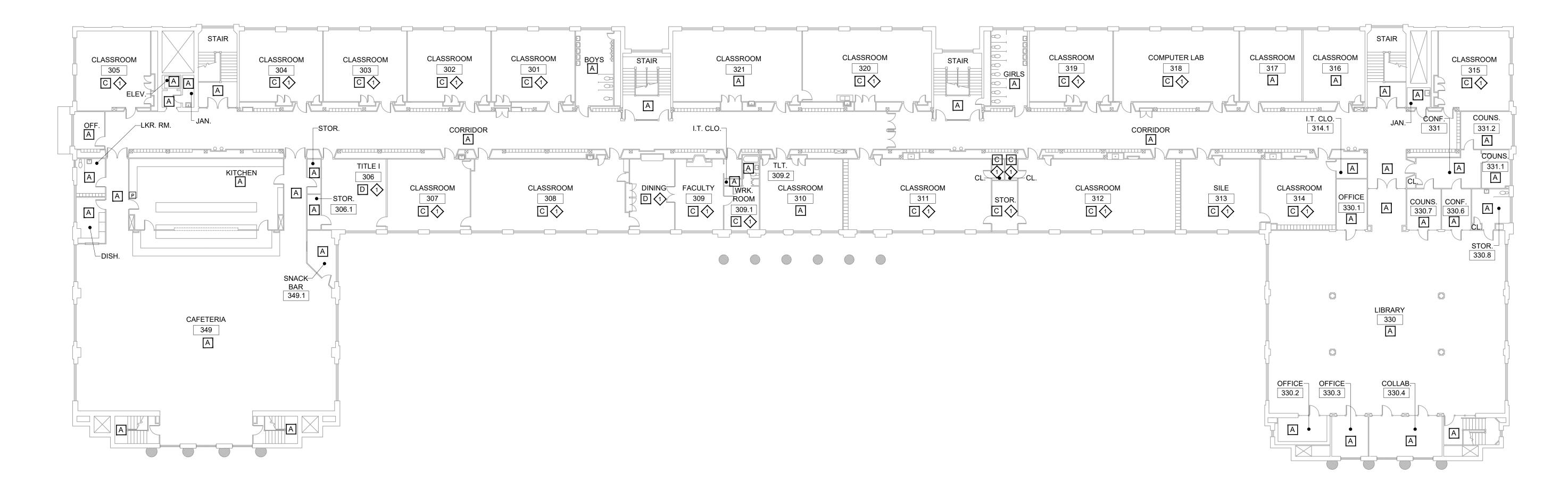
(1) CONTRACTOR TO REPAIR AND REFINISH EXISTING WOOD FLOOR. (2) INSTALL NEW CARPET TILE FLOORING AND TRANSITION STRIPS.

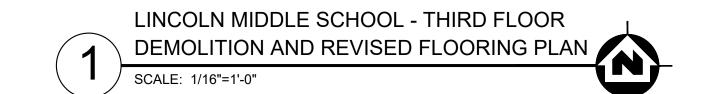
(3) INSTALL NEW CARPET TILE FLOORING, BASE AND TRANSITION STRIPS.

4 INSTALL NEW LVT FLOORING AND 4" RUBBER BASE.

5 INSTALL WALK-OFF CARPET TILE.

FLOORING KEY NOTES

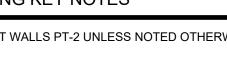




SHEET NUMBER

A105

OF



PAINTING GENERAL NOTES

PAINTING DEMOLITION KEY NOTES

A NO WORK IN THIS AREA.

- OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK.
- RADIATORS.
- PAINT STAIRWELL FIN TUBE COVERS TO MATCH WALL COLOR.
- 9. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE

- PREPARE PLASTER/DRYWALL WALLS FOR PAINTING AS CALLED FOR IN PROJECT
- PREPARE METAL DOORS AND FRAMES, STAIR POSTS, BALUSTRADES, RISERS AND NOSINGS AND METAL COVERS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL
- 4. EXISTING CASEWORK AND SHELVING TO REMAIN. 5. DO NOT PAINT STAIRWELL RADIATORS, ROOM RADIATORS OR ROOM PIPING TO

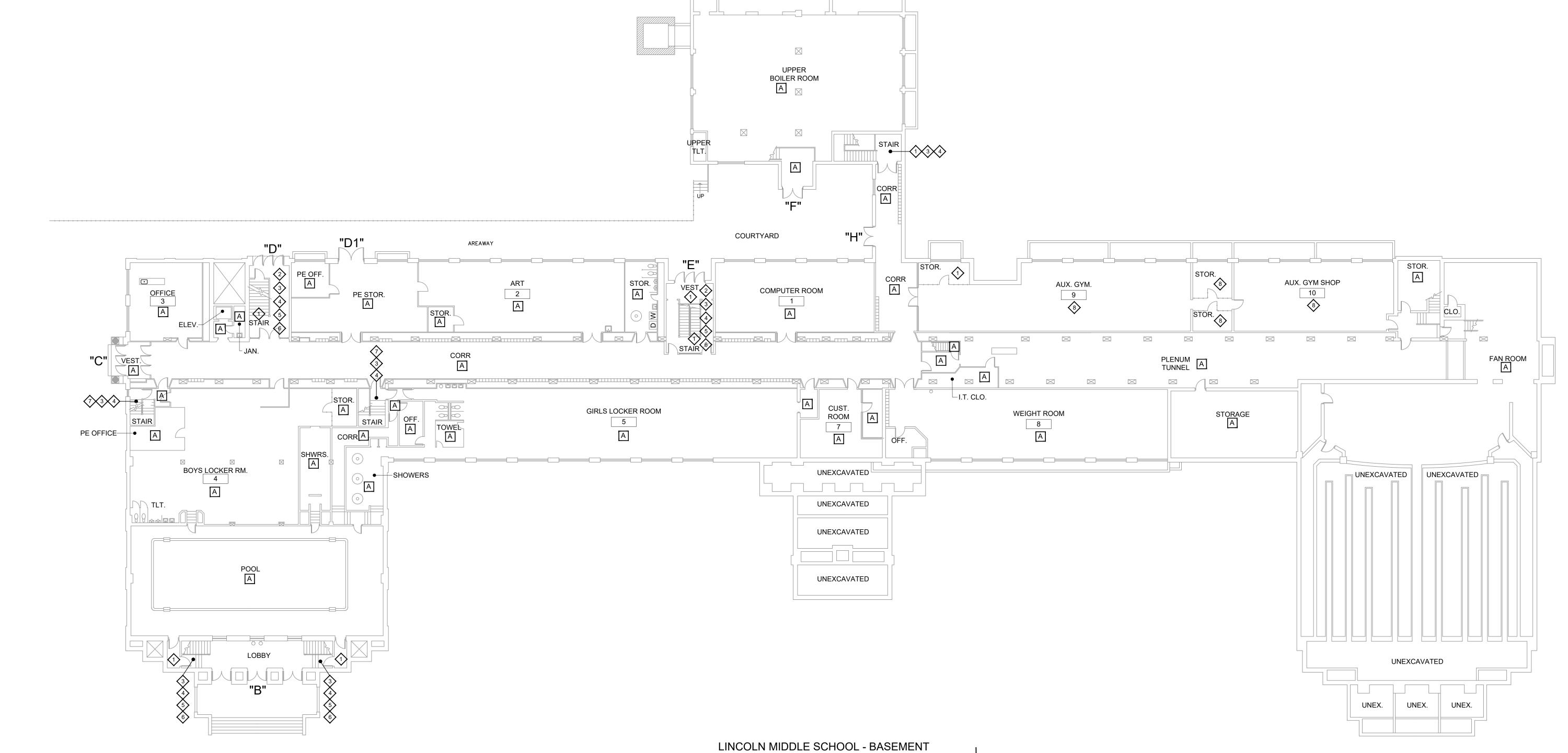
- DO NOT PAINT WOOD HANDRAILS.
- 8. PAINT METAL COVERS TO MATCH WALL COLOR.
- PROTECTED DURING DEMOLITION AND PAINTING WORK.

PAINTING KEY NOTES

- 1 PAINT WALLS PT-2 UNLESS NOTED OTHERWISE ON PAINT PLAN.
- PAINT BOTH SIDES OF INTERIOR METAL DOORS AND METAL FRAMES PT-5.
- PAINT METAL STAIR POSTS, BALUSTRADES, STRINGERS AND UNDERSIDE OF STAIRS PT-5.
- 4 PAINT RISERS PT-6, DO NOT PAINT NOSINGS.
- PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT AND WALL BELOW STRINGERS PT-3.
- PAINT STAIRWELL WALL ABOVE WAINSCOT PT-1.
- 7> PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT PT-6.
- 8 PAINT WALLS IN ROOMS 9 AND 10 PT-1 ABOVE EXISTING WAINSCOT TO BE PAINTED PT-6.

PAINT COLORS

- PT-1 SW-7631 CITY LOFT
- PT-2 SW-7036 ACCESSIBLE BEIGE PT-3 SW-7038 TONY TAUPE
- PT-4 SW-7018 DOVETAIL
- PT-5 SW-7591 RED BARN
- PT-6 SW-6244 NAVAL



DEMOLITION AND REVISED PAINTING PLAN

SCALE: 1/16"=1'-0"

UPPER

VACANT

UPPER

VACANT

UPPER

VACANT

SHEET NUMBER A106

OF

PAINTING KEY NOTES

A NO WORK IN THIS AREA.

PAINTING GENERAL NOTES

PAINTING DEMOLITION KEY NOTES

PREPARE PLASTER/DRYWALL WALLS FOR PAINTING AS CALLED FOR IN PROJECT

DO NOT PAINT STAIRWELL RADIATORS, ROOM RADIATORS OR ROOM PIPING TO RADIATORS.

CLASSROOM

119 A

CORRIDOR A

STOR.

STOR. 115.2

. CLASSROOM

CLASSROOM

118 A

A

118A

AUDITORIUM —

_"O"

CLASSROOM

120 A

CLASSROOM

114 A

GIRLS 138

DO NOT PAINT WOOD HANDRAILS.

9. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND PAINTING WORK.

PREPARE METAL DOORS AND FRAMES, STAIR POSTS, BALUSTRADES, RISERS AND NOSINGS AND METAL COVERS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK. . EXISTING CASEWORK AND SHELVING TO REMAIN.

PAINT STAIRWELL FIN TUBE COVERS TO MATCH WALL COLOR.

8. PAINT METAL COVERS TO MATCH WALL COLOR.

6 PAINT STAIRWELL WALL ABOVE WAINSCOT PT-1.

4 PAINT RISERS PT-6, DO NOT PAINT NOSINGS.

7> PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT PT-6.

PAINT WALLS PT-2 UNLESS NOTED OTHERWISE ON PAINT PLAN.

2 PAINT BOTH SIDES OF INTERIOR METAL DOORS AND METAL FRAMES PT-5.

PAINT METAL STAIR POSTS, BALUSTRADES, STRINGERS AND UNDERSIDE OF

5 PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT AND WALL BELOW

8 PAINT WALLS IN ROOMS 9 AND 10 PT-1 ABOVE EXISTING WAINSCOT TO BE

CLASSROOM

117 A

PAINT COLORS

PAINTED PT-6.

STAIRS PT-5.

STRINGERS PT-3.

PT-1 SW-7631 CITY LOFT PT-2 SW-7036 ACCESSIBLE BEIGE

PT-3 SW-7038 TONY TAUPE

PT-4 SW-7018 DOVETAIL PT-5 SW-7591 RED BARN

PT-6 SW-6244 NAVAL

LINCOLN MIDDLE SCHOOL - FIRST FLOOR DEMOLITION AND REVISED PAINTING PLAN SCALE: 1/16"=1'-0"

ORCHESTRA/ CHOIR

> STOR. Α

PRAC.

20 A

OFFICE

COPY 112A A

NURSE / COT Α

ROOM 112

ASSOC PR. ASSOC PR.

112.2 A

112.2 A

CLASSROOM

103 A

CORRIDOR

SCIENCE LAB

109/110

CONC. 109.1

STAIR

CLASSROOM

STORAGE

102

CLASSROOM

111 A

CLASSROOM

105 A

GYMNASIUM

MAIN OFFICE

CORRIDOR

"A"

CLO.

113.3

STOR. 113.2

113

TITLE 1

219

STOR.-

A

CL.

SHEET NUMBER

A107 OF

PAINTING DEMOLITION KEY NOTES

A NO WORK IN THIS AREA.

OFFICE 24 A

● STOR.

214.1

CLASSROOM

214

LOUNGE A

OFFICE A 224

LOUNGE-

CLASSROOM

225

Α

CLASSROOM

213 A

LINCOLN MIDDLE SCHOOL - SECOND FLOOR

DEMOLITION AND REVISED PAINTING PLAN

CLASSROOM

226

Α

CLASSROOM

212 A

SCALE: 1/16"=1'-0"

CLASSROOM

203 A

CLASSROOM

208

CLASSROOM

BALCONY-

207 A

UPPER GYMNASIUM

CLASSROOM

205 A

BALCONY—

BALCONY

206

CLASSROOM

202 A

CORRIDOR A

CLASSROOM

209 A

CLASSROOM

201

Α

CLASSROOM

210 A

CLASSROOM

211

PAINTING GENERAL NOTES

- OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK.
- RADIATORS.
- PAINT STAIRWELL FIN TUBE COVERS TO MATCH WALL COLOR.
- DO NOT PAINT WOOD HANDRAILS.
- 9. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE

- PREPARE PLASTER/DRYWALL WALLS FOR PAINTING AS CALLED FOR IN PROJECT
- PREPARE METAL DOORS AND FRAMES, STAIR POSTS, BALUSTRADES, RISERS AND NOSINGS AND METAL COVERS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL
- 4. EXISTING CASEWORK AND SHELVING TO REMAIN. 5. DO NOT PAINT STAIRWELL RADIATORS, ROOM RADIATORS OR ROOM PIPING TO

- 8. PAINT METAL COVERS TO MATCH WALL COLOR.

CLASSROOM

CLASSROOM

215 A

PROTECTED DURING DEMOLITION AND PAINTING WORK.

PAINT COLORS

PT-1 SW-7631 CITY LOFT

PAINTING KEY NOTES

4 PAINT RISERS PT-6, DO NOT PAINT NOSINGS.

6 PAINT STAIRWELL WALL ABOVE WAINSCOT PT-1.

7> PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT PT-6.

STAIRS PT-5.

STRINGERS PT-3.

PAINTED PT-6.

PAINT WALLS PT-2 UNLESS NOTED OTHERWISE ON PAINT PLAN.

PAINT BOTH SIDES OF INTERIOR METAL DOORS AND METAL FRAMES PT-5.

PAINT METAL STAIR POSTS, BALUSTRADES, STRINGERS AND UNDERSIDE OF

5 PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT AND WALL BELOW

8 PAINT WALLS IN ROOMS 9 AND 10 PT-1 ABOVE EXISTING WAINSCOT TO BE

- PT-2 SW-7036 ACCESSIBLE BEIGE PT-3 SW-7038 TONY TAUPE
- PT-4 SW-7018 DOVETAIL
- PT-5 SW-7591 RED BARN
- PT-6 SW-6244 NAVAL

CLASSROOM

221 A

CLASSROOM

216 A

STOR.

220 A

-BOOK

ROOM 217

A

CL.

UPPER STAGE

UPPER AUDITORIUM

OFFICE-

218

CLASSROOM

222

LINCOLN MIDDLE SCHOOL -THIRD FLOOR - DEMOLITION AND REVISED PAINTING PLA

SHEET NUMBER

A108 OF

PAINTING DEMOLITION KEY NOTES

A NO WORK IN THIS AREA.

CLASSROOM

320 A

CLASSROOM

311 A

Α

CLASSROOM

321 A

ROOM

309.1

CLASSROOM

310 A

LINCOLN MIDDLE SCHOOL - THIRD FLOOR

DEMOLITION AND REVISED PAINTING PLAN

I.T. CLO.

FACULTY

309 A

SCALE: 1/16"=1'-0"

DINING

Α

STAIR (2)

KITCHEN A

CAFETERIA
349
A

CLASSROOM

304 A

SNACK—BAR
349.1

CLASSROOM

303 A

TITLE I

306 A

306.1

⊢STOR.

CLASSROOM

305 A

OFF.

A

Α

DISH.

CLASSROOM

302

CLASSROOM

307

CORRIDOR A

CLASSROOM

301

CLASSROOM

308 A

PAINTING GENERAL NOTES

- NOSINGS AND METAL COVERS FOR PAINTING AS CALLED FOR IN PROJECT MANUAL OWNER TO REMOVE FURNITURE AS REQUIRED FOR NEW WORK. 4. EXISTING CASEWORK AND SHELVING TO REMAIN.
- RADIATORS.
- DO NOT PAINT WOOD HANDRAILS.
- 8. PAINT METAL COVERS TO MATCH WALL COLOR. 9. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE

CLASSROOM

319

CLASSROOM

312 A

COMPUTER LAB

318 A

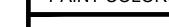
SILE

313 A

- PREPARE PLASTER/DRYWALL WALLS FOR PAINTING AS CALLED FOR IN PROJECT
- PREPARE METAL DOORS AND FRAMES, STAIR POSTS, BALUSTRADES, RISERS AND
- 5. DO NOT PAINT STAIRWELL RADIATORS, ROOM RADIATORS OR ROOM PIPING TO
- PAINT STAIRWELL FIN TUBE COVERS TO MATCH WALL COLOR.
- PROTECTED DURING DEMOLITION AND PAINTING WORK.

PAINT COLORS

- PT-3 SW-7038 TONY TAUPE
- PT-5 SW-7591 RED BARN



CLASSROOM

317 A

PT-1 SW-7631 CITY LOFT

PAINTING KEY NOTES

4 PAINT RISERS PT-6, DO NOT PAINT NOSINGS.

6 PAINT STAIRWELL WALL ABOVE WAINSCOT PT-1.

7> PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT PT-6.

STAIRS PT-5.

STRINGERS PT-3.

PAINTED PT-6.

1 PAINT WALLS PT-2 UNLESS NOTED OTHERWISE ON PAINT PLAN.

PAINT BOTH SIDES OF INTERIOR METAL DOORS AND METAL FRAMES PT-5.

PAINT METAL STAIR POSTS, BALUSTRADES, STRINGERS AND UNDERSIDE OF

5 PAINT EXISTING STAIRWELL PLASTER WALL WAINSCOT AND WALL BELOW

8 PAINT WALLS IN ROOMS 9 AND 10 PT-1 ABOVE EXISTING WAINSCOT TO BE

2 STAIR

CLASSROOM

315 A

COUNS. 331.2

STOR.-

331.1 A

CONF. 331

COUNS. 330.7

CONF. 330.6

CLASSROOM

316

A

330.1

330 A

COLLAB.

330.4

I.T. CLO. – 314.1

CLASSROOM

314 A

OFFICE-

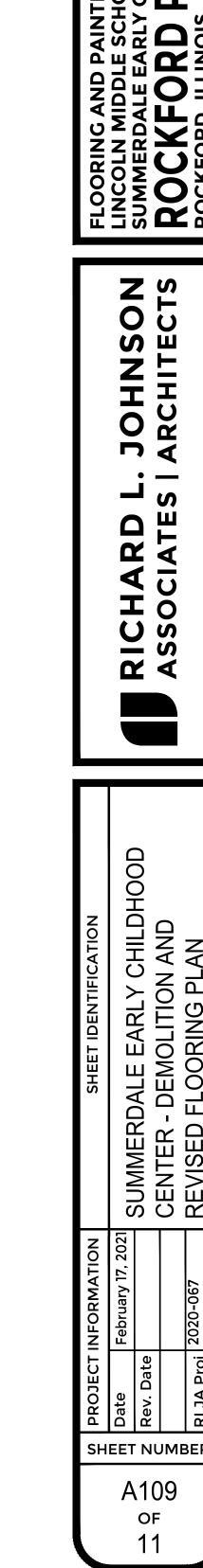
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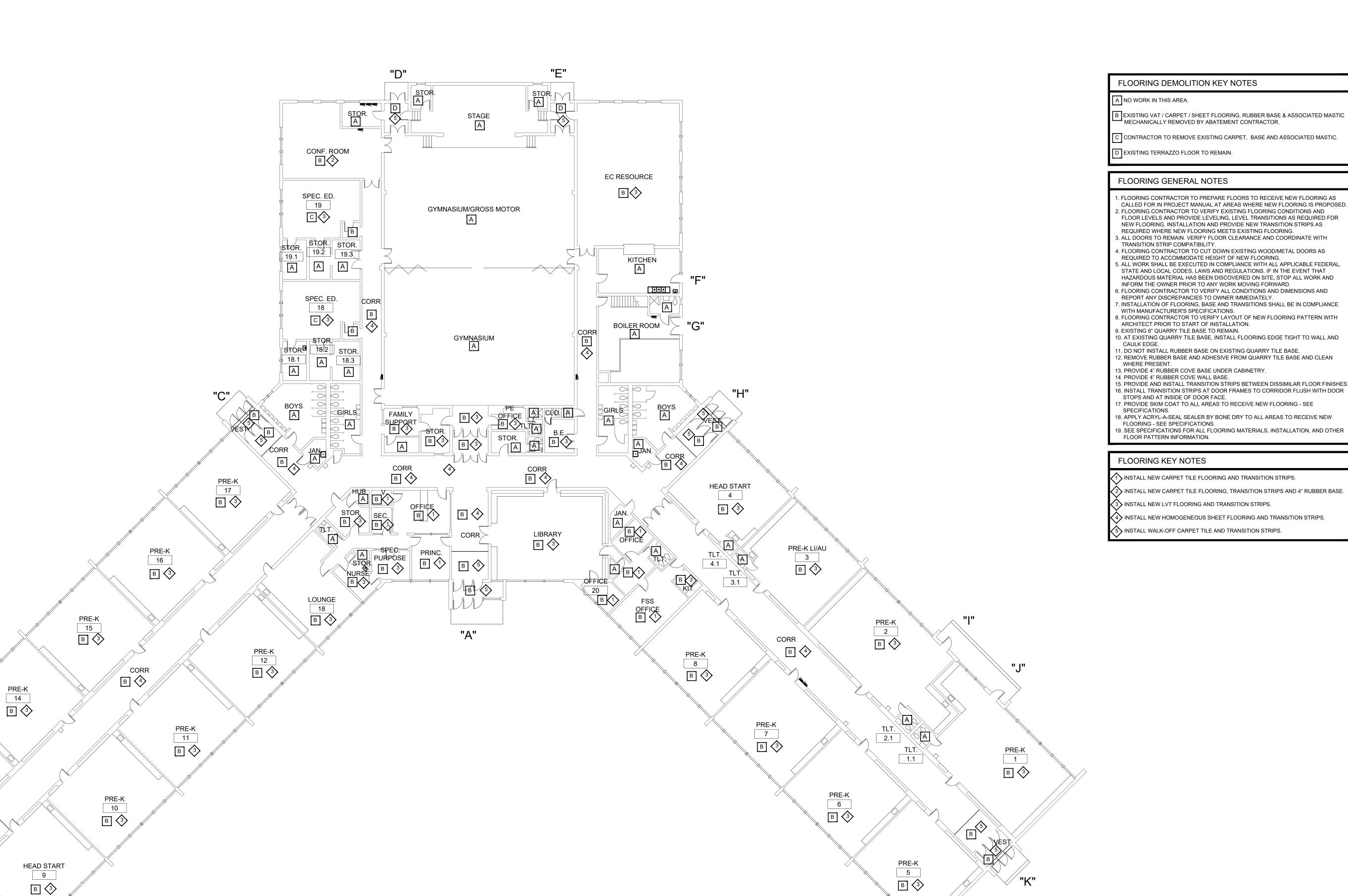
330.3

330.2

- PT-2 SW-7036 ACCESSIBLE BEIGE
- PT-4 SW-7018 DOVETAIL
- PT-6 SW-6244 NAVAL







SUMMERDALE EARLY CHILDHOOD CENTER

DEMOLITION AND REVISED FLOORING PLAN

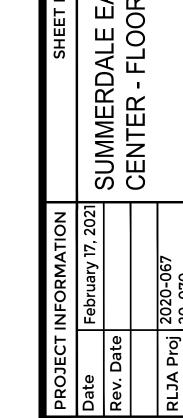
SCALE: 1/16"=1'-0"

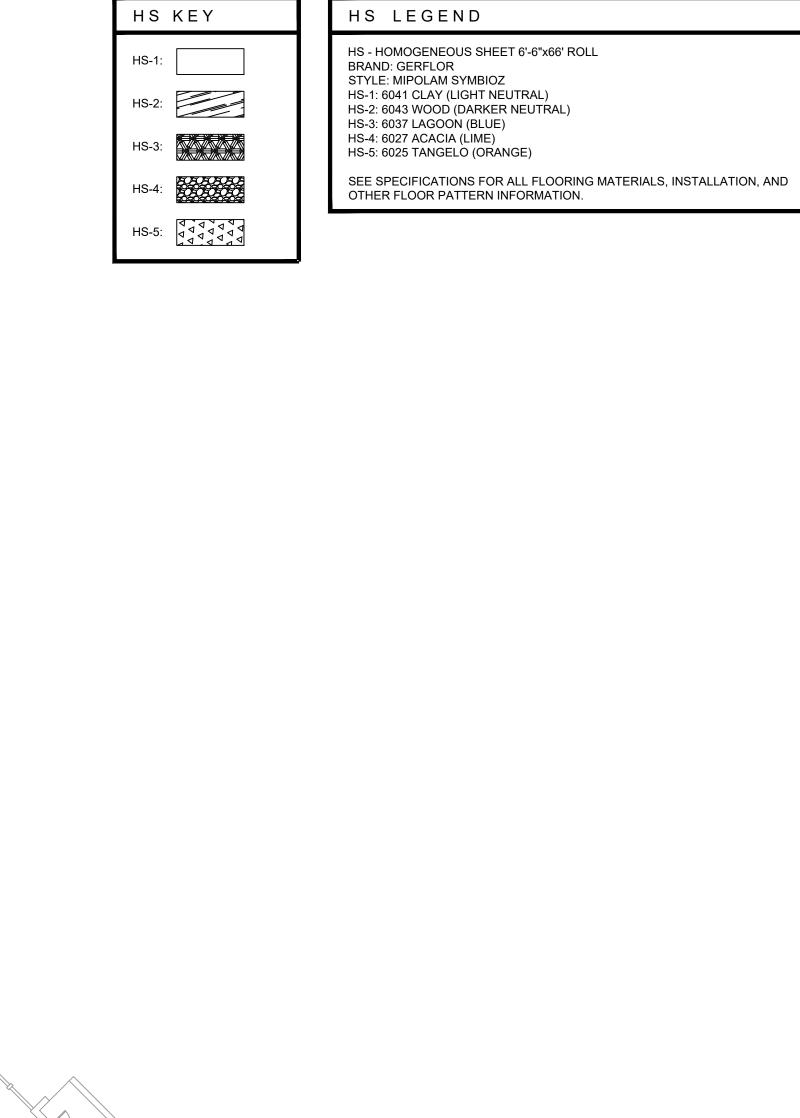
PRE-K

B 3

SHEET NUMBER

A110





PRE-K

STOR. STAGE CONF. ROOM EC RESOURCE SPEC. ED. 19

GYMNASIUM/GROSS MOTOR

STØR. 19.1

STOR. 19.2 STOR. 19.3

SPEC. ED. 18

GIRLS

LOUNGE 18

PRE-K 12

PRE-K

PRE-K 16

PRE-K

PRE-K 15

PRE-K

PRE-K

PRE-K

FAMILY SUPPORT

SPEC. PRINC. NURSE

KITCHEN

GYMNASIUM

BOILER ROOM

GIRLS OFFICE

CLO.

OFFICE

HEAD START

PRE-K

PRE-K LI/AU

PRE-K

PRE-K

PRE-K 5

PRE-K

CORR LIBRARY

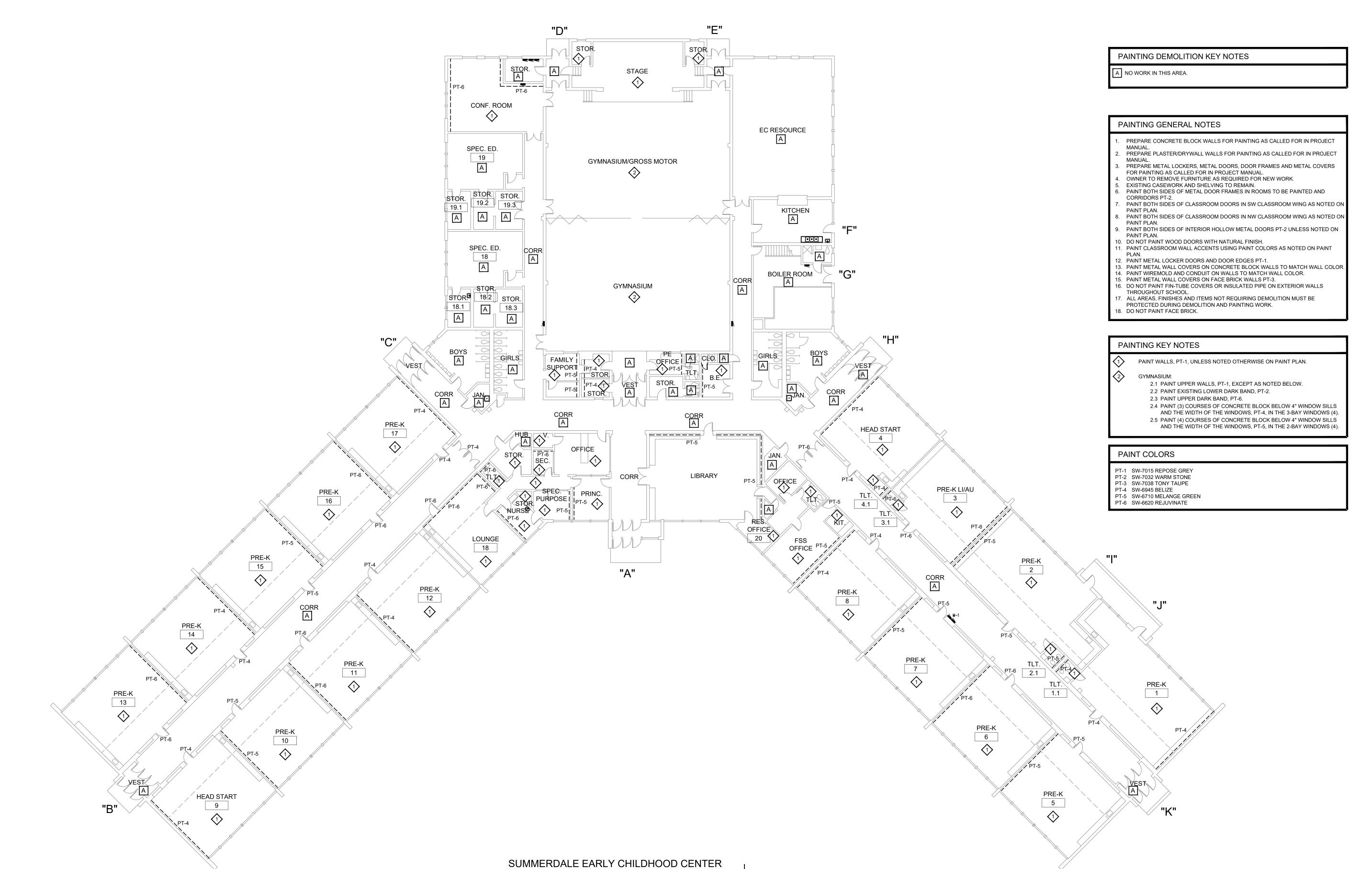
OFFICE 20

FSS OFFICE

SUMMERDALE EARLY CHILDHOOD CENTER FLOOR PATTERN PLAN

SCALE: 1/16"=1'-0"

SHEET NUMBER
A111
OF



DEMOLITION AND REVISED PAINTING PLAN

SCALE: 1/16"=1'-0"

ASBESTOS ABATEMENT AT

SUMMERDALE ELEMENTARY SCHOOL 2020 FLOORING ABATEMENT 3320 GLENWOOD AVENUE, ROCKFORD, IL 61101

ROCKFORD PUBLIC SCHOOL DISTRICT #205 501 7TH STREET ROCKFORD, ILLINOIS 61104

ENVIRONMENTAL CONSULTANT

CARNOW CONIBEAR & ASSOCIATES, Ltd.

600 WEST VAN BUREN STREET CHICAGO, IL 60607 PHONE: (312) 782-2925 FAX: (312) 782-5145

CONTACT: EVAN CHRISTIAN

SHEET INDEX			
SHEET NUMBER	SHEET TITLE		
ASB-0	COVER SHEET AND SHEET LIST		
ASB-G	GENERAL NOTES		
ASB-1	ASBESTOS ABATEMENT - 1ST FLOOR - PHASE I		
ASB-2	ASBESTOS ABATEMENT - 1ST FLOOR - PHASE II		

ASBESTOS PROJECT DESIGNER:

ROD HARVEY, P.E., CIH, CSP IDPH LICENSE NUMBER: 100-01548

DRAWING HISTORY					CI
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS	
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID	

Rockford Public School District #205 501 7th Street Rockford, Illinois 61104 Asbestos Abatement
Summerdale Elementary
3320 Glenwood Avenue, Rockford, Illinois 61101

PROJECT DESIGNER

Rod Harvey IDPH #: 100-01548 ASBESTOS ABATEMENT PLAN
COVER SHEET

DESIGNER SIGNATURE

Carnow, Conibear & Assoc., Ltd.
Environmental Consulting Services
600 W. Van Buren St., Suite 500, Chicago, IL 60607
t: 312.782.4486 f: 312.782.5145
www.ccaltd.com

PLO

PLOT DATE:

January 8, 2021

SHEET NO.

ASB-0

CCA PROJECT NO.

CARNOW

SCOPE OF WORK

ASBESTOS ABATEMENT:

- 1. Removal and disposal of asbestos-containing floor tile and mastic per applicable IDPH, IEPA and OSHA regulations. Scope of work also includes removal and disposal of sheet floor and carpeting in work areas.
- 2. Work to be conducted per specification section 02131 and applicable IDPH, IEPA, and OSHA rules and regulations.

SCHEDULE:

- 1. The work is scheduled to begin at upon start of Summer Break 2021.
- 2. Anticipated start date is June 18, 2021. Exact start date to be determined by District and Carnow Conibear.
- 3. Phase I: 12 days (Completion date: 7/1/2021)
 Phase II: 15 days (Completion date: 7/17/21)

Abatement Contractor may work all shifts necessary to complete the work by the scheduled completion date. Schedule includes Saturdays.

BUILDING INFORMATION

a. IDPH Building ID#: 04-101-2050-3078

b. Building Address: 3320 Glenwood Avenue

Rockford, Illinois 61101

c. Building Size: 50,768 SF

d. Age of Building: 1950

e. Number of Floors: 1

GENERAL NOTES

- 1. Locations shown are approximate only.
- 2. Phasing of the work to be determined by the General Contractor and the Building Owner.
- 3. Worker decontamination enclosure system shall be constructed in strict accordance with IDPH section 855.410. Clean room shall be sized to accommodate the needs of the work crew. Donning and Doffing of PPE outside of clean room is strictly prohibited.
- 4. Where non-friable removal methods are utilized (Specification Section 3.11(D)), Contractor shall be responsible for the isolation of the work area(s) with critical seals, signage, and the security of the work areas to eliminate access by unauthorized personnel.

- 5. HEPA filtered negative air machines shall be set up within the work areas and run continuously through the completion of all work.
- 6. The abatement contractor is responsible for the lockout and tagout of all mechanical equipment prior to starting any mitigation/ abatement or O&M clean up in or on any equipment, etc.
- 7. The contractor is responsible for verifying quantities in the field before bidding. Any questions about the scope or clarifications shall be obtained from the Project Designer prior to bidding. Any interpretations of the design documents shall only be made by the Project Designer. The abatement contractor shall be responsible for removing any ACM which will be disturbed during renovation activities, prior to renovation activities.
- 8. When a room or location identified on an environmental scope of work sheet, all closets, bathrooms, offices, storage rooms, etc. are included in the scope of work for that room or location.
- 9. The abatement contractor is responsible for all security to the work area(s) during the environmental mitigation/abatement and replacement activities. The abatement contractor shall be responsible for any damages or thefts to property in the work area(s), until the area(s) are returned to the property owner. The abatement contractor shall repair and/or replace damaged or stolen property to the satisfaction of, and at no additional cost to the property owner.
- 10. Electric/HVAC service shall be disconnected by the District as necessary.
- 11. Any existing electrical panels in the work area shall be adequately protected (i.e. "Boxed out.") during Asbestos Abatement activities in accordance with specification 02131 and all applicable regulations.
- 12. Contractor shall maintain clear access to building egress points outside of regulated areas.
- 13. The School District will provide an electrician for the installation of temporary power panels and/or whips and isolation of work areas. The Abatement Contractor is responsible for providing District electrician any power panels and/or whips a minimum of five (5) business days prior to start of work. Coordinate with Carnow Conibear.
- 14. Where abatement of flooring materials is specified, the Abatement Contractor is responsible for the removal of all layers of flooring, associated mastics, and leveling compounds down to the lowest substrate.
- 15. Unless specified, NO CHEMICAL REMOVAL OF MASTICS shall be utilized. Mechanical removal methods ONLY.
- 16. Contractor Supervisor is required to perform a punch list walk-through with a Carnow Conibear representative prior to containment tear-down AND demobilization to ensure all scope items have been removed, project specifications are met, and any incidental damage is identified.
- 17. Abatement contractor shall remove any/all vinyl baseboards from abatement areas.

DRAWING HISTORY				
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID

Rockford Public School District #205 501 7th Street Rockford, Illinois 61104 Asbestos Abatement
Summerdale Elementary
3320 Glenwood Avenue, Rockford, Illinois 61101

PROJECT DESIGNER Rod Harvey
IDPH #: 100-01548

PROJECT NAME:

GENERAL NOTES

ESIGNER SIGNATURE

Carnow, Conibear & Assoc., Ltd. Environmental Consulting Services 600 W. Van Buren St., Suite 500, Chicago, IL 60607 t: 312.782.4486 f: 312.782.5145 www.ccaltd.com PLOT DATE:

January 8, 2021

SHEET NO.

ASB-G

CARNOW

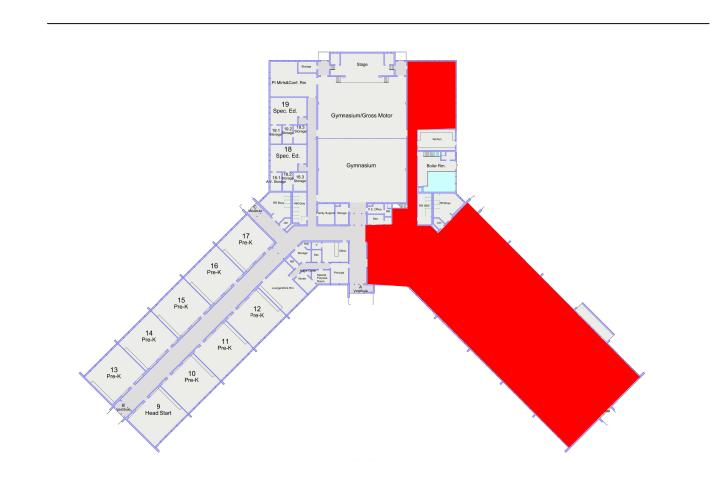
CONIBEAR

1. Co2/H



ASBESTOS ABATEMENT KEYNOTES				
	Removal of Sheet Floor, Carpet, Floor Tile, and Mastic			
	Removal of Sheet Floor, Floor Tile, and Mastic			
	Removal of Carpet, Floor Tile, and Associated Mastic			
	Worker decontamination unit.			
	Waste decontamination unit.			
NAE	Negative Air Exhaust			
1	Separation barrier per IDPH 855.430(a)			
2	Separation barrier per IDPH 855.430(b) (with lockable door)			
3	Contractor to secure door and control access			

KEY PLAN:



DRAWING HISTORY				
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID

Rockford Public School District #205 501 7th Street Rockford, Illinois 61104

CLIENT:

Asbestos Abatement Summerdale Elementary 3320 Glenwood Avenue, Rockford, Illinois 61101

Rod Harvey

IDPH #: 100-01548

PROJECT NAME:

PROJECT DESIGNER

Illinois 61101

DESIG

SHEET TITLE:

ASBESTOS ABATEMENT PLAN
PHASE I

DESIGNER SIGNATURE

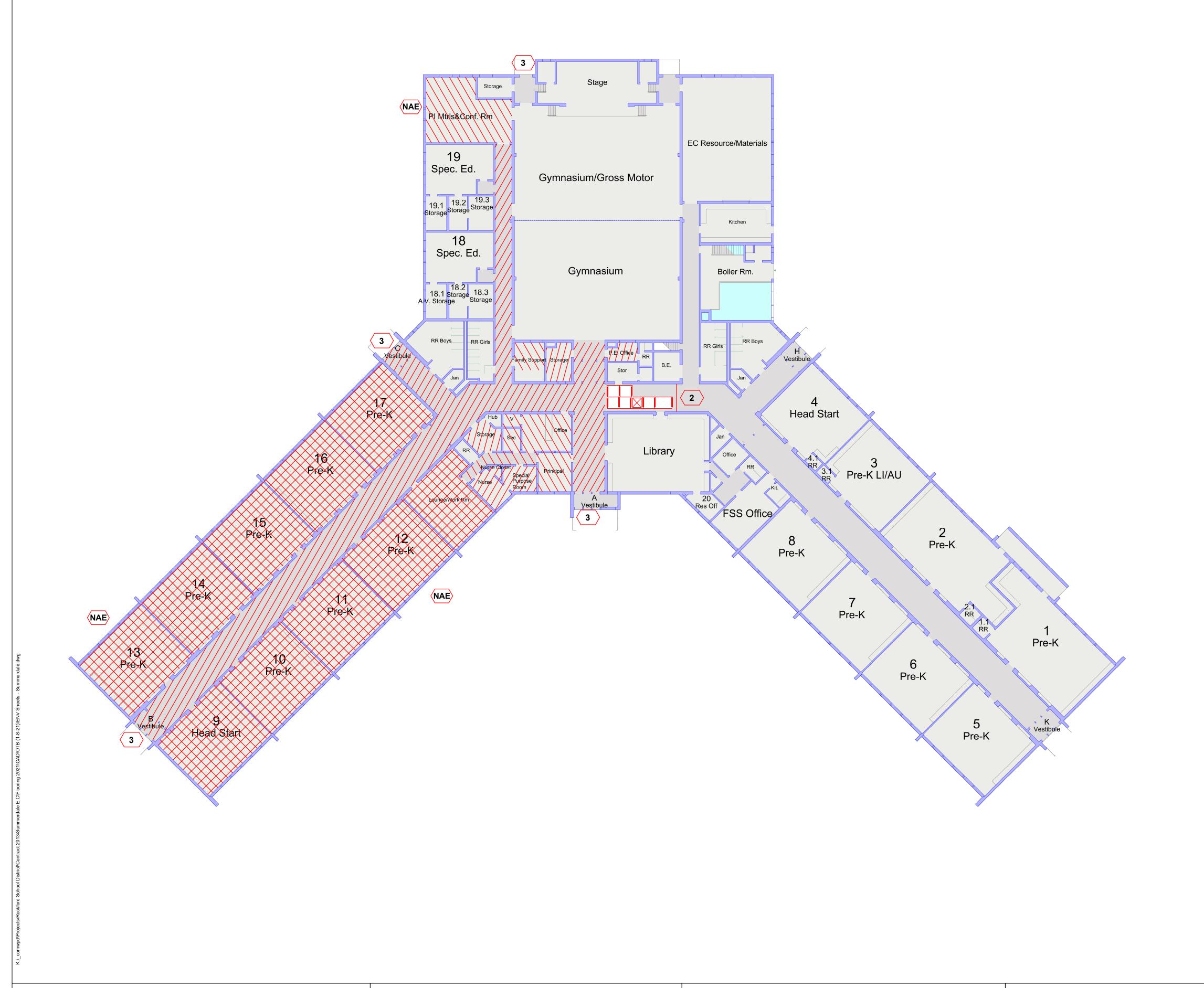
Carnow, Conibear & Assoc., Ltd.
Environmental Consulting Services
600 W. Van Buren St., Suite 500, Chicago, IL 60607
t: 312.782.4486 f: 312.782.5145
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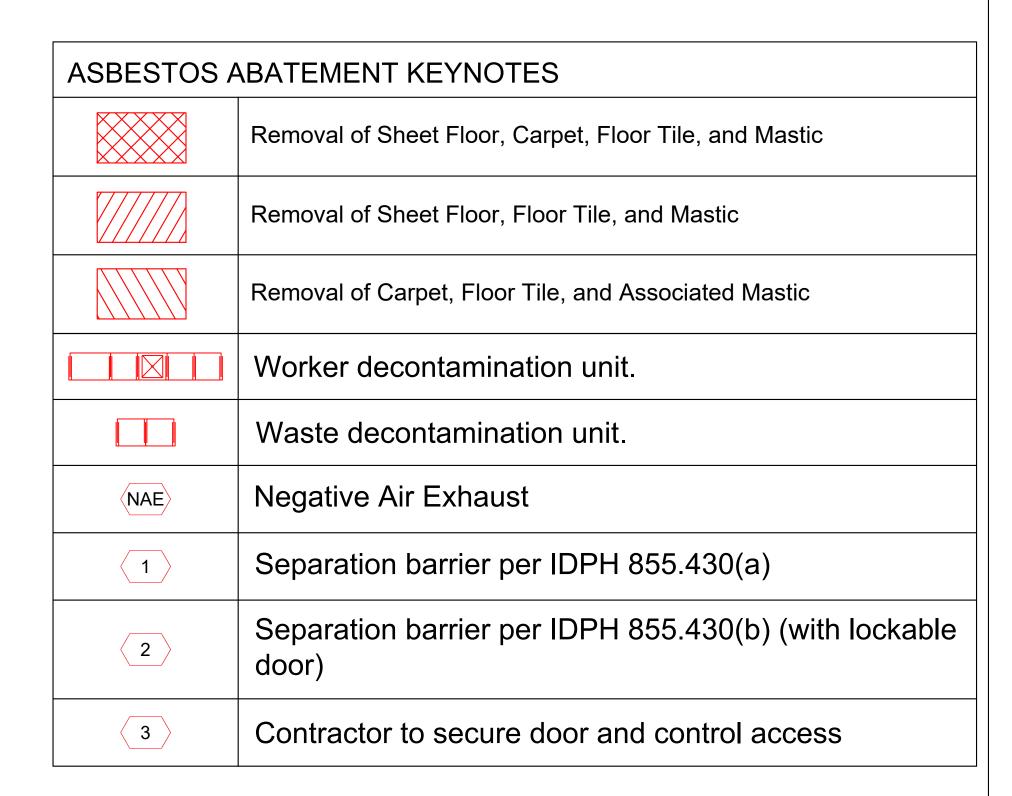
PLOT DATE:

January 8, 2021

CARNOW

ASB-1





KEY PLAN:



DRAWING HISTORY				
NO.	DATE	DRAWN BY:	CHECKED BY:	REMARKS
1	1/8/2021	M. Gomez	E. Christian	ISSUED FOR BID

Rockford Public School District #205 501 7th Street Rockford, Illinois 61104

PROJECT NAME: **Asbestos Abatement** Summerdale Elementary 3320 Glenwood Avenue, Rockford, Illinois 61101

Rod Harvey

IDPH #: 100-01548

PROJECT DESIGNER

ASBESTOS ABATEMENT PLAN PHASE II

SHEET TITLE:

DESIGNER SIGNATURE

600 W. Van Buren St., Suite 500, Chicago, IL 60607

Carnow, Conibear & Assoc., Ltd. Environmental Consulting Services t: 312.782.4486 f: 312.782.5145 www.ccaltd.com

CCA PROJECT NO. PLOT DATE: January 8, 2021

ASB-2