



**ROCKFORD BOARD OF EDUCATION
INVITATION FOR BID ON SUPPLIES, MATERIALS, EQUIPMENT OR SERVICES
FOR SCHOOL DISTRICT NO. 205
ROCKFORD, ILLINOIS**

IFB No. IFB No. 22-22 HVAC & Roofing at Riverdahl E.S. & West M.S.

DATE: February 8, 2022

RE: **ADDENDUM NO. 4**

To All Bidders:

Included are modifications, clarifications and/or corrections for the Project Manual and are hereby made a part of the contract documents. Please attach this addendum to the Project Manual(s) in your possession. Please note the receipt of this addendum on the bid form. Bidders shall review changes to all portions of this work as changes to one portion may affect the work of another.

If you plan to hand deliver your IFB submission on the due date, please note you must check in on the 1st floor prior to coming to the bid opening. Please allow time for this as late submission will not be accepted.

Refer all questions relative to the business aspect, Instructions to Bidders, Special Conditions, and questions concerning the technical aspect of the documents to the Director of Purchasing by email at purchasingdeptstaff@rps205.com.

ROCKFORD BOARD OF EDUCATION

By: Dane Youngblood
Director of Purchasing

IFB# 22-22
HVAC UPGRADES WEST MIDDLE SCHOOL & RIVERDAHL ELEMENTARY SCHOOL
WEST MIDDLE SCHOOL RE-ROOF
ROCKFORD PUBLIC SCHOOLS 205
ROCKFORD, ILLINOIS

LARSON & DARBY GROUP

ARCHITECTURE-ENGINEERING-INTERIORS

4949 Harrison Avenue, Suite 100
815/484-0739

Rockford, IL 61108
FAX 815.229.9867

TO: ALL BIDDERS

RE: **ADDENDUM #4**

Changes to Bidding Documents Dated January 25, 2022

PROJECT: RPS#2243 HVAC System Upgrades
Riverdahl Elementary School
3250 Kishwaukee Street
Rockford, IL 61109

RPS#2239 Roof Replacement & RPS#2242 HVAC System Upgrades
West Middle School
1900 N. Rockton Ave.
Rockford, IL 61103

RPS PROJECT NO.: 2242; 2239; IFB 22-22
LDG PROJECT NO: 32029-01 & 31029-02

February 8, 2022

Please attach this Addendum to the Project Manual and Drawings for the referenced project. Take the changes to the Project Manual and Drawings into consideration in preparing your Bid.

Bidders shall make note in writing on Bid Form that this Addendum has been taken into consideration. Failure to do so may be sufficient cause to reject the Bid.

LARSON & DARBY GROUP

By 
Andrew A. Macklin AIA

This Addendum consists of 2 pages, plus materials itemized herein.

I. ADDITIONS OR CHANGES TO THE PROJECT MANUALS:

None

II. ADDITIONS OR CHANGES TO THE DRAWINGS:

REISSUED DRAWINGS: The following revised Drawings (attached), which replace previous issues of the Drawings, are issued herewith:

31029-01 West Middle School Re-roof RPS#2239

1. AD0.1 Roof Demolition Plans – Revisions as noted
2. A1.3 Roof Plan – Revisions as noted

IFB# 22-22
HVAC UPGRADES WEST MIDDLE SCHOOL & RIVERDAHL ELEMENTARY SCHOOL
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3. A8.3 Roof Details – Revisions as noted
4. A8.4 Typical Details – Revisions as noted
5. MD6 - HVAC Roof Demo Plans – Revisions as noted **FOR REFERENCE**

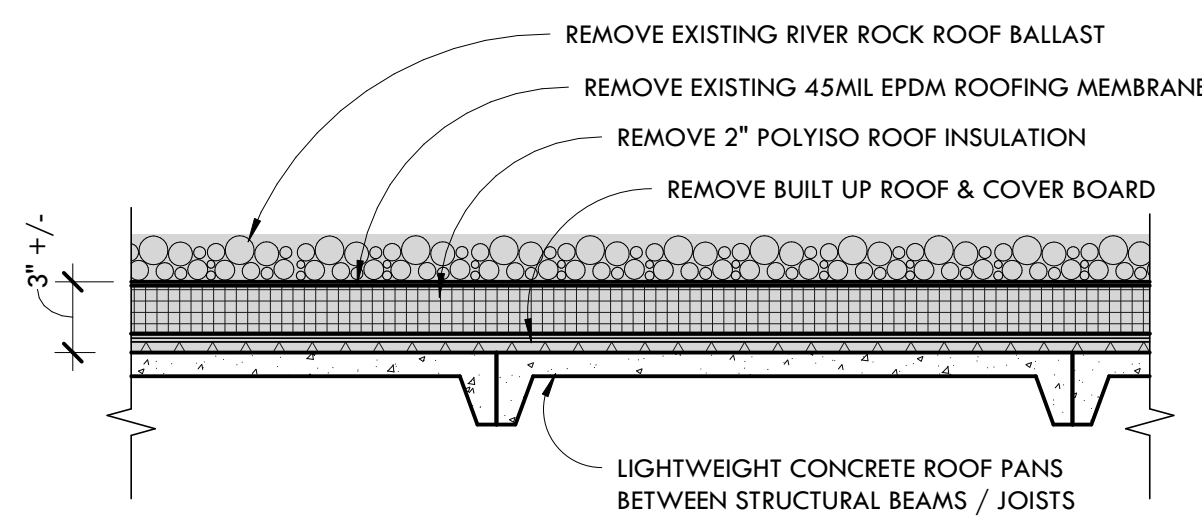
31029-01 West Middle School HVAC Upgrades RPS#2242

1. MD1 HVAC Basement Demo Plans – Revisions as noted
2. MD2 HVAC 1st Floor Demo Plans – Revisions as noted
3. MD3 HVAC 2nd Floor Demo Plans – Revisions as noted
4. MD4 HVAC 3rd Floor Demo Plans – Revisions as noted
5. MD5 HVAC Attic Demo Plans – Revisions as noted
6. MD6 HVAC Roof Demo Plans – Revisions as noted
7. M1.0 HVAC Basement Plans - Revisions as noted
8. M7.3 HVAC Details – Revisions as noted

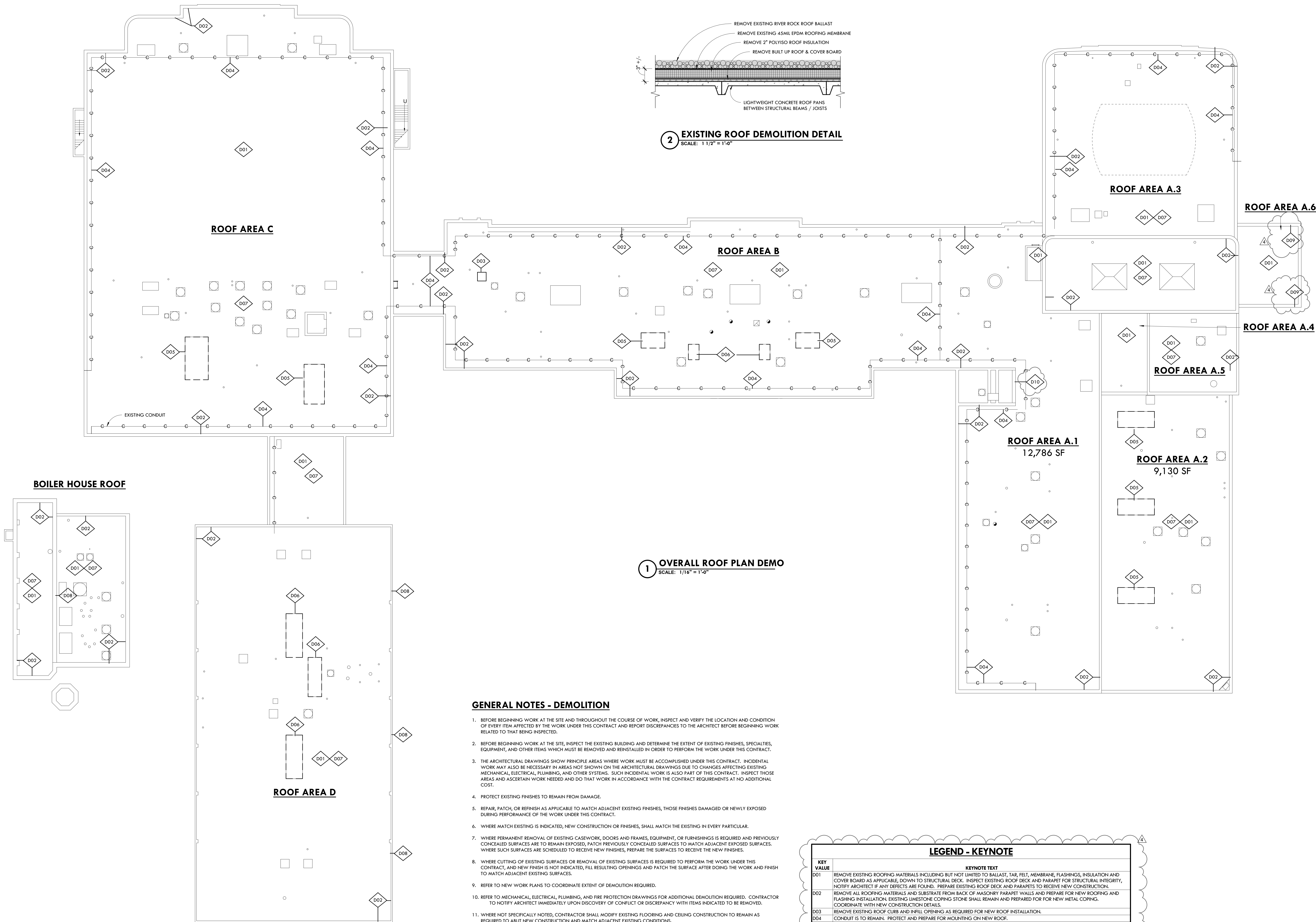
III. CONTRACTOR QUESTIONS AND CLARIFICATIONS:
None

IV. OTHER ATTACHMENTS:
None

END OF ADDENDUM #4



2 EXISTING ROOF DEMOLITION DETAIL



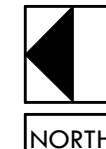
GENERAL NOTES - DEMOLITION

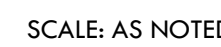
1. BEFORE BEGINNING WORK AT THE SITE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK RELATED TO THAT BEING INSPECTED.
2. BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
3. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED AND DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST.
4. PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE.
5. REPAIR, PATCH, OR REFRESH AS APPLICABLE TO MATCH ADJACENT EXISTING FINISHES, THOSE FINISHES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
6. WHERE MATCH EXISTING IS INDICATED, NEW CONSTRUCTION OR FINISHES, SHALL MATCH THE EXISTING IN EVERY PARTICULAR.
7. WHERE PERMANENT REMOVAL OF EXISTING CASEWORK, DOORS AND FRAMES, EQUIPMENT, OR FURNISHINGS IS REQUIRED AND PREVIOUSLY CONCEALED SURFACES ARE TO REMAIN EXPOSED, PATCH PREVIOUSLY CONCEALED SURFACES TO MATCH ADJACENT EXPOSED SURFACES. WHERE SUCH SURFACES ARE SCHEDULED TO RECEIVE NEW FINISHES, PREPARE THE SURFACES TO RECEIVE THE NEW FINISHES.
8. WHERE CUTTING OF EXISTING SURFACES OR REMOVAL OF EXISTING FINISHES IS REQUIRED TO PERFORM THE WORK UNDER THIS CONTRACT, AND NEW FINISH IS NOT INDICATED, FILL EXISTING OPENINGS AND PATCH THE SURFACE AFTER DOING THE WORK AND FINISH TO MATCH ADJACENT EXISTING SURFACES.
9. REFER TO NEW WORK PLANS TO COORDINATE EXTENT OF DEMOLITION REQUIRED.
10. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION REQUIRED. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF CONFLICT OR DISCREPANCY WITH ITEMS INDICATED TO BE REMOVED.
11. WHERE NOT SPECIFICALLY NOTED, CONTRACTOR SHALL MODIFY EXISTING FLOORING AND CEILING CONSTRUCTION TO REMAIN AS REQUIRED TO ABUT NEW CONSTRUCTION AND MATCH ADJACENT EXISTING CONDITIONS.
12. COORDINATE SLAB REMOVAL AND REPLACEMENT WITH PLUMBING AND ELECTRICAL UNDERGROUND AND IN-SLAB WORK.
13. WHERE AN ITEM IS SHOWN TO BE REMOVED OR DEMO'D ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE REMOVED WITH IT UNLESS PIPING SHALL BE REMOVED TO WITHIN RAUCES WALL TO REMAIN AND CAPPED. ELECTRICAL WIRING AND CONDUIT SHALL BE REMOVED BACK TO NEAREST JUNCTION BOX TO REMAIN. DUCTS AND TERMINALS SHOULD BE REMOVED AS FAR AS NECESSARY FOR NEW DISTRIBUTION SYSTEM OR COMPONENTS TO BE TIED INTO, OR CAP WITHIN CONCEALED SPACE.
14. ALL ANCILLARY ROOF AREAS OF PENTHOUSES AND CANOPIES SHALL BE INCLUDED WITH RE-ROOFING WORK EVEN WHERE NOT EXPLICITLY IDENTIFIED ON THE DRAWINGS
15. COORDINATE DEMOLITION WITH MECHANICAL DRAWINGS

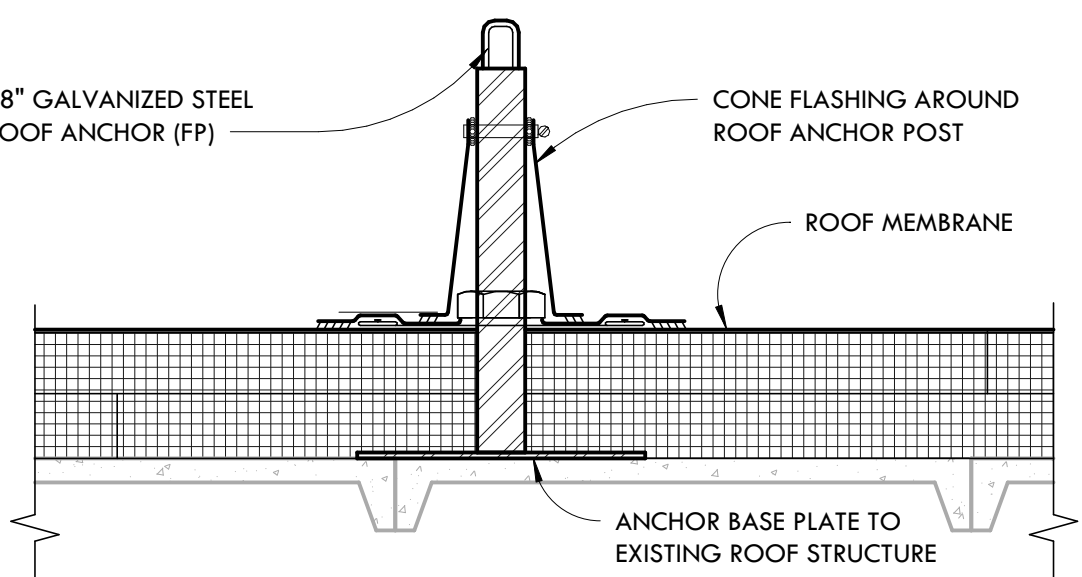
LEGEND - KEYNOTE

KEY	NOTES	KEYNOTE TEXT
D01	REMOVE EXISTING ROOFING MATERIALS INCLUDING BUT NOT LIMITED TO BALLAST, TAR FELT, MEMBRANE, FLASHINGS, INSULATION AND COVER BOARD AS APPLICABLE, DOWN TO STRUCTURAL DECK. INSPECT EXISTING ROOF DECK AND PARAPET FOR STRUCTURAL INTEGRITY. NOTIFY ARCHITECT IF ANY DEFECTS ARE FOUND. PREPARE EXISTING ROOF DECK AND PARAPETS TO RECEIVE NEW CONSTRUCTION.	
D02	REMOVE ALL ROOFING MATERIALS AND SUBSTRATE FROM BACK OF MASONRY PARAPET WALLS AND PREPARE FOR NEW ROOFING AND FLASHING INSTALLATION. EXISTING LIMESTONE COPING STONE SHALL REMAIN AND PREPARED FOR FOR NEW METAL COPING. COORDINATE WITH ARCHITECT FOR CONSTRUCTION DETAILS.	
D03	REMOVE EXISTING ROOF CURB AND INFILL OPENINGS AS REQUIRED FOR NEW ROOF INSTALLATION.	
D04	CONDUIT IS TO REMAIN. PROTECT AND PREPARE FOR MOUNTING ON NEW ROOF.	
D05	REMOVE EXISTING SKYLIGHT CURB CAP AND PREPARE EXISTING CURB TO RECEIVE NEW SKYLIGHT.	
D06	REMOVE EXISTING SKYLIGHT CURB AND CAP. INFILL OPENING AND PREPARE TO RECEIVE NEW CONSTRUCTION.	
D07	COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL FOR EXISTING ROOF EQUIPMENT, PIPING, CURBS AND PENETRATION DEMOLITION AND MODIFICATION.	
D08	REMOVE EXISTING SCUPPERS, SCUPPER BOXES, AND DOWNSPOUTS. KEEP ONE AS TEMPLATE FOR NEW CONSTRUCTION.	
D09	REMOVE EXISTING METAL PARAPET COPING AND SUBSTRATE WITH ROOFING MATERIALS. PREPARE PARAPET FOR NEW CONSTRUCTION.	
D10	REMOVE EXISTING LIME CORBELS AND BUILD UP CURBS AS REQUIRED FOR STANDARD LOW PARAPET WALL CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.	

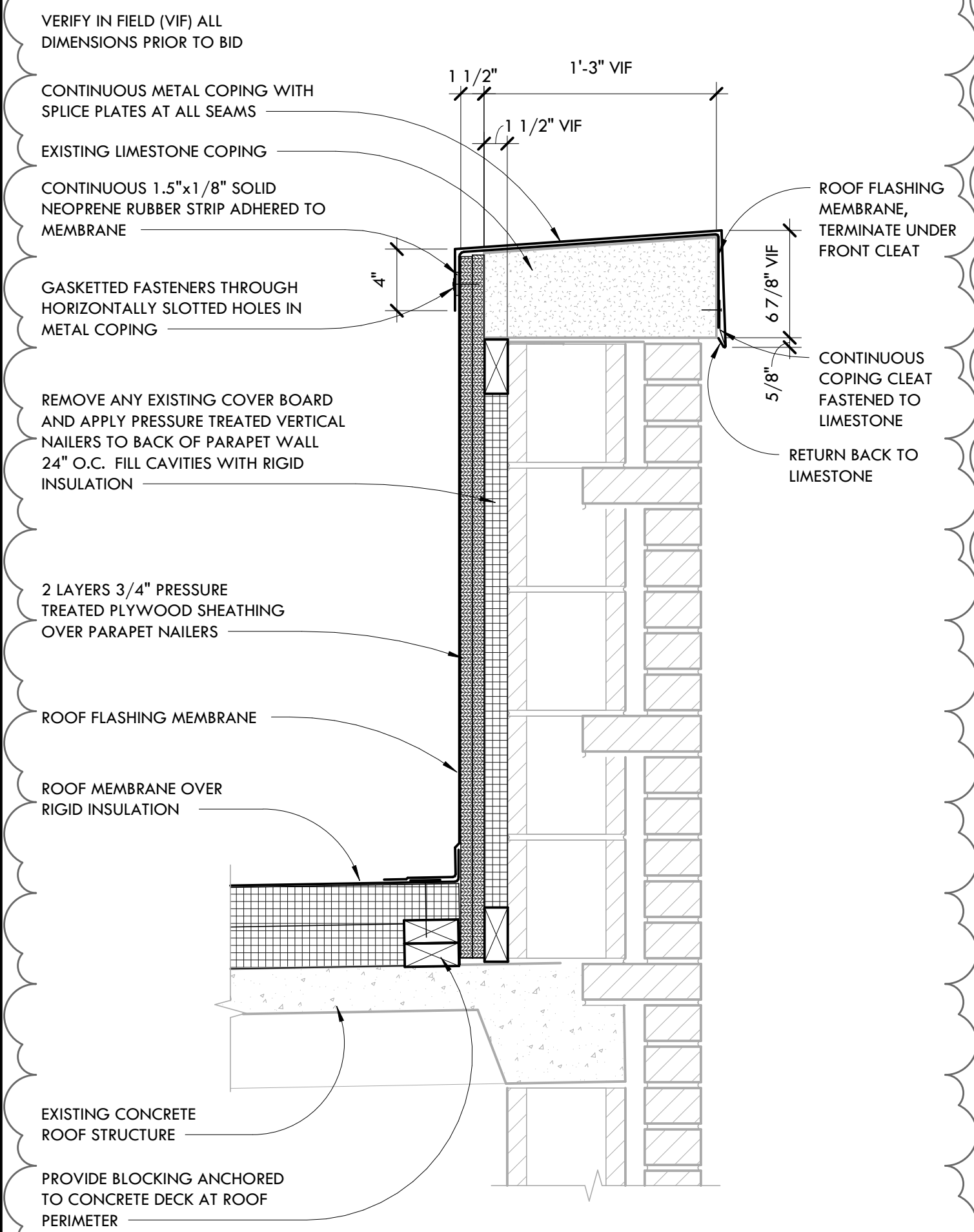
DEMOLITION PLAN



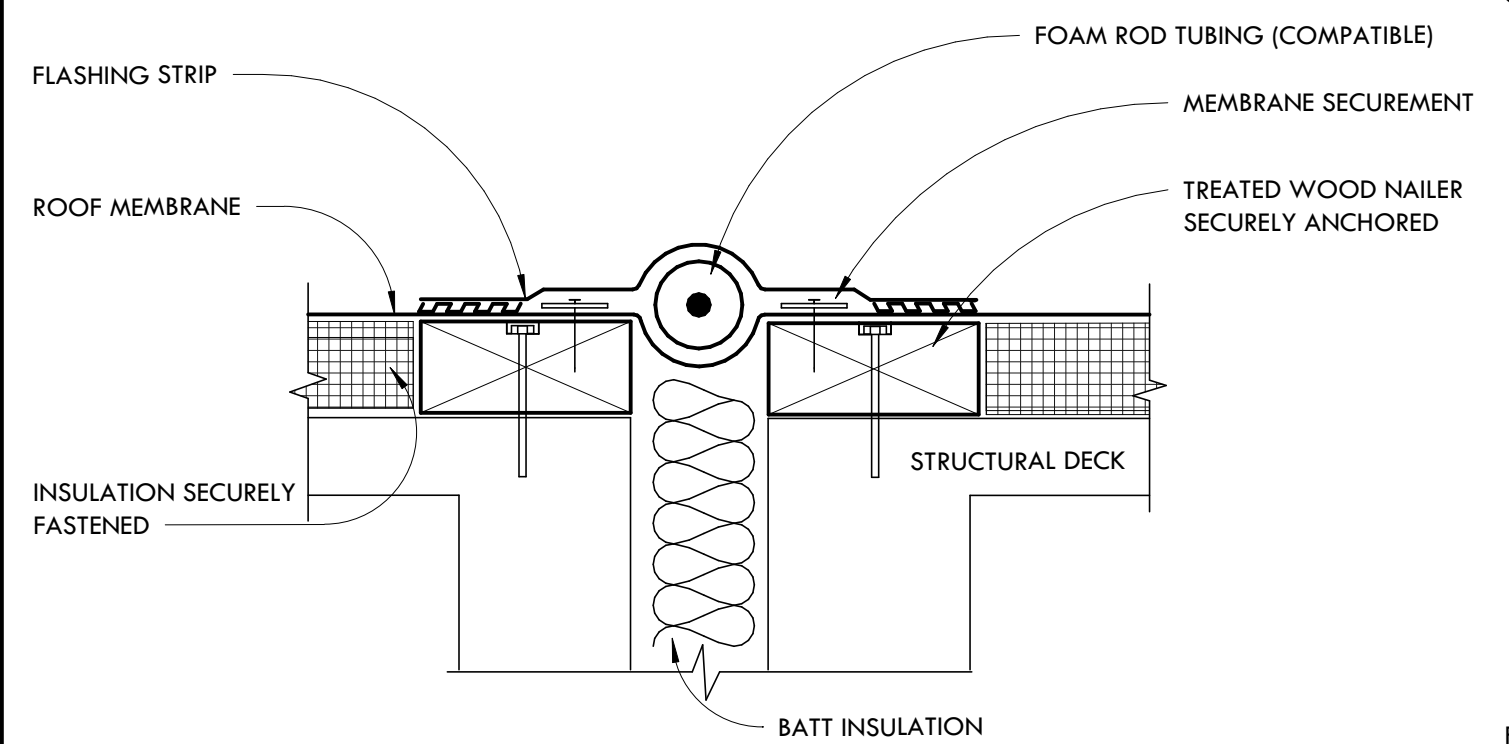




18 FALL PROTECTION TIE OFF DETAIL
SCALE: 1 1/2" = 1'-0"

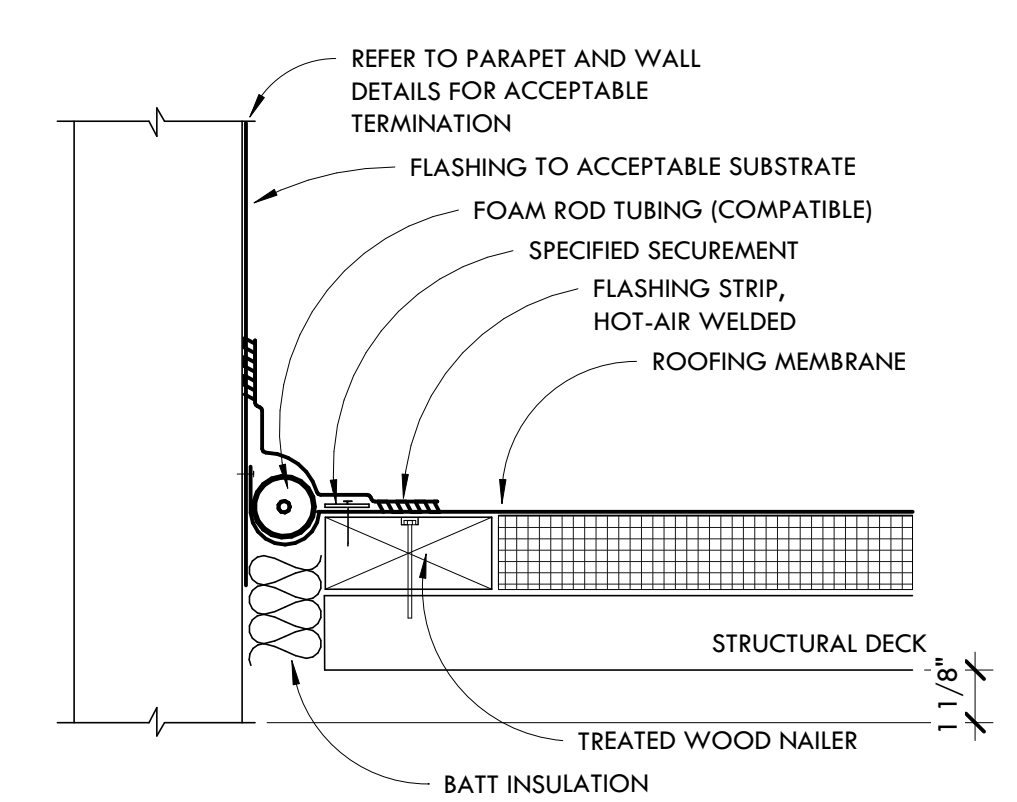


4 TYPICAL HIGH PARAPET FLASHING - REVISED
SCALE: 1 1/2" = 1'-0"



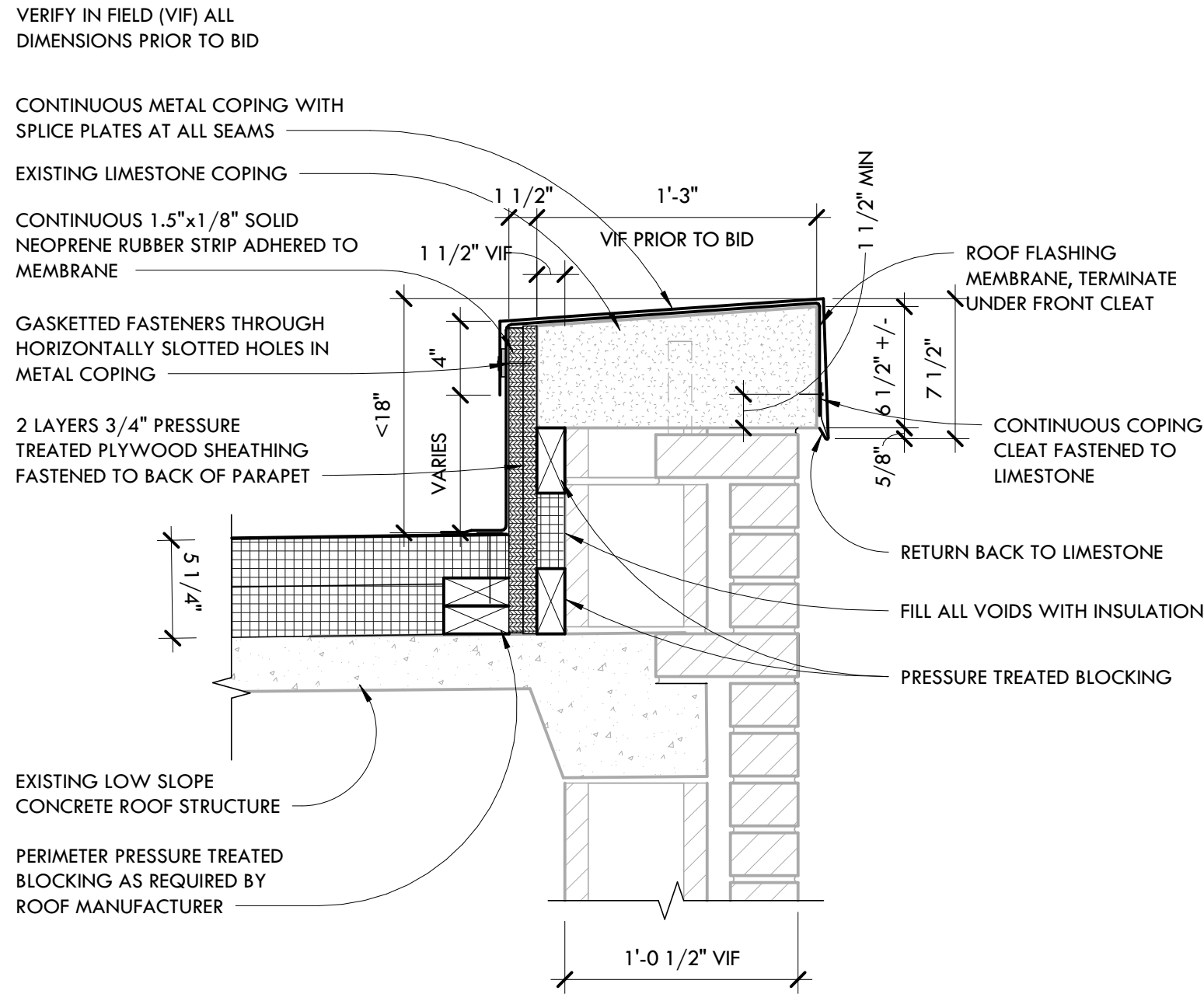
NOTES:
1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A FORCE OF 300 POUNDS PER LINEAL FOOT IN ANY DIRECTION.

8 EXPANSION JOINT WITH FOAM ROD
SCALE: 3" = 1'-0"

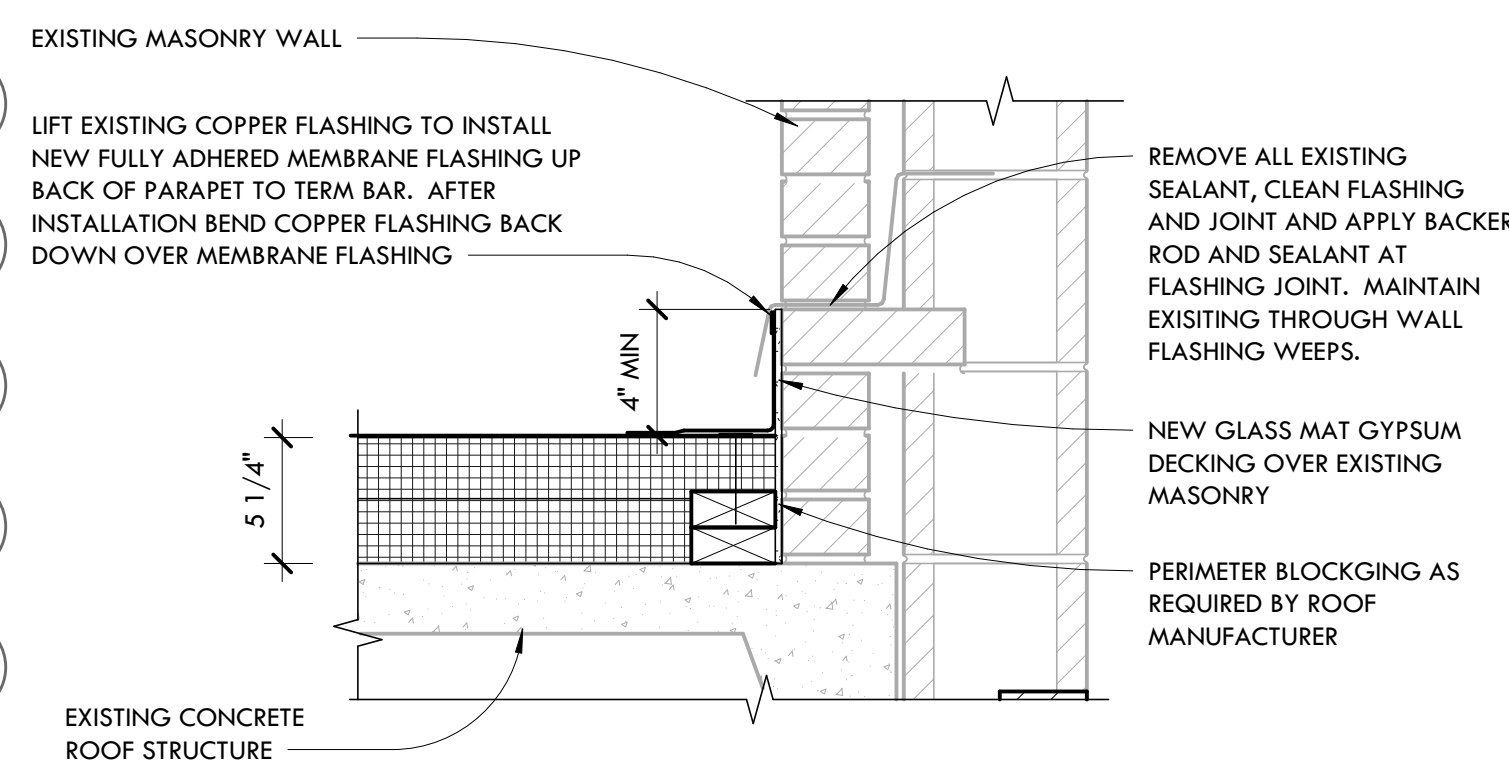


NOTES:
1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A FORCE OF 300 POUNDS PER LINEAL FOOT IN ANY DIRECTION.

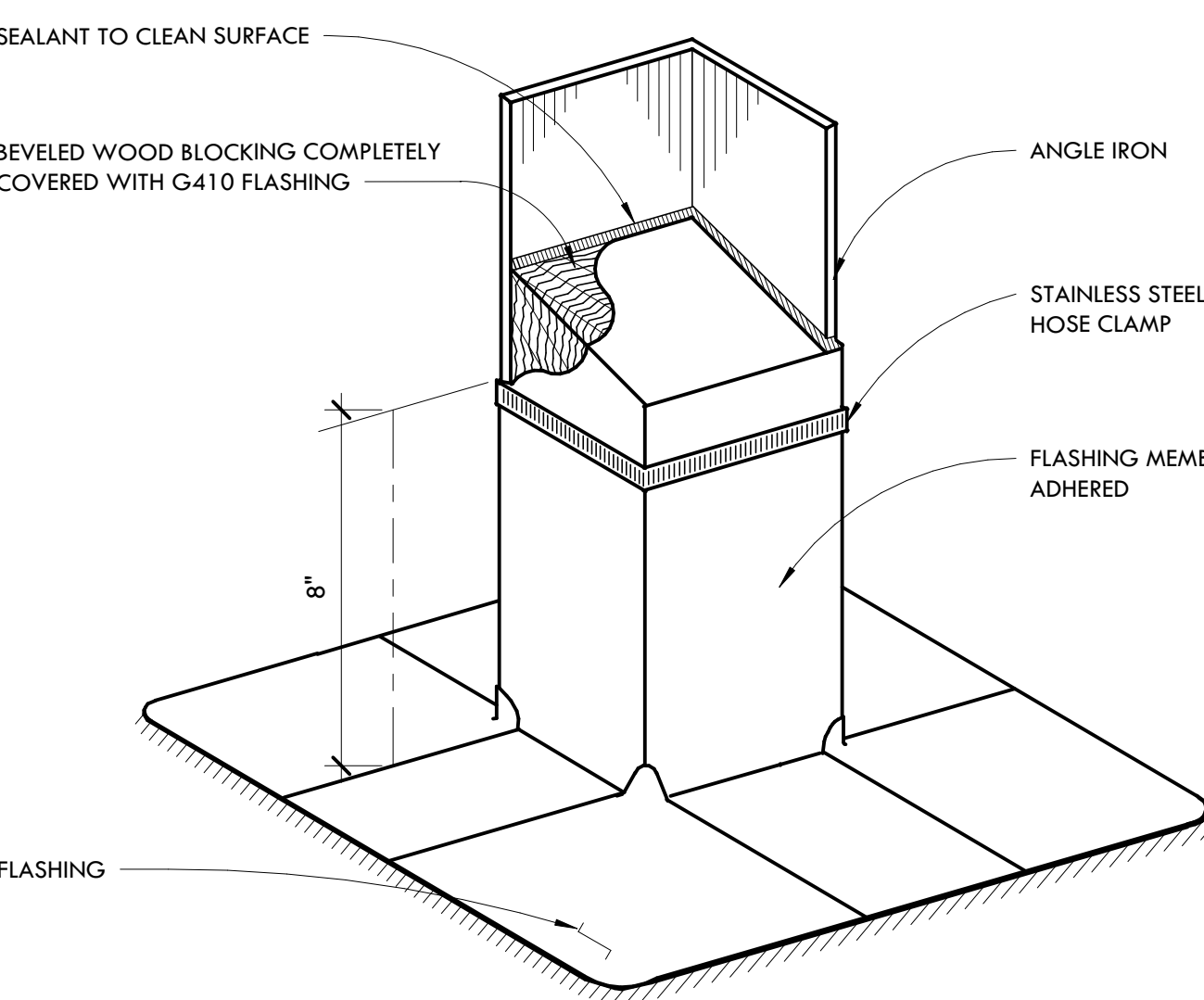
13 EXPANSION JOINT AT WALL WITH FOAM ROD
SCALE: 3" = 1'-0"



1 TYPICAL LOW PARAPET FLASHING REVISED
SCALE: 1 1/2" = 1'-0"

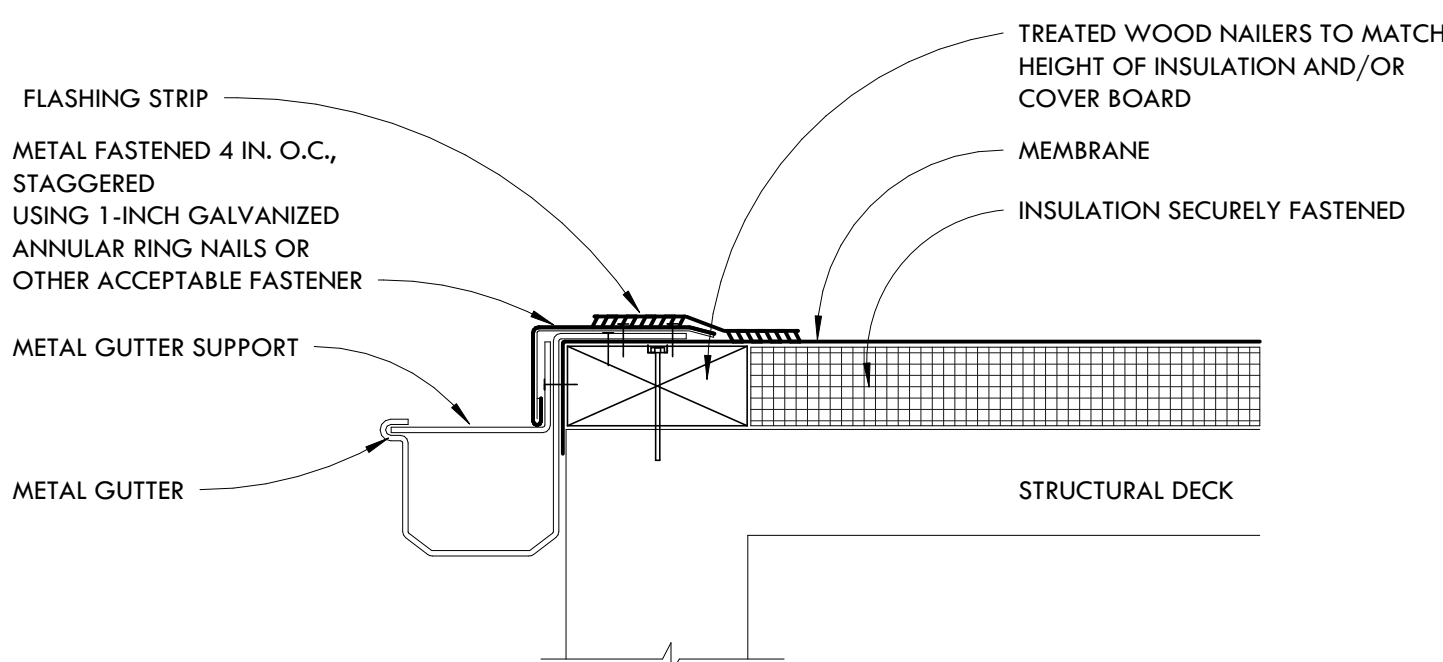


5 TYPICAL ROOF-WALL FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"



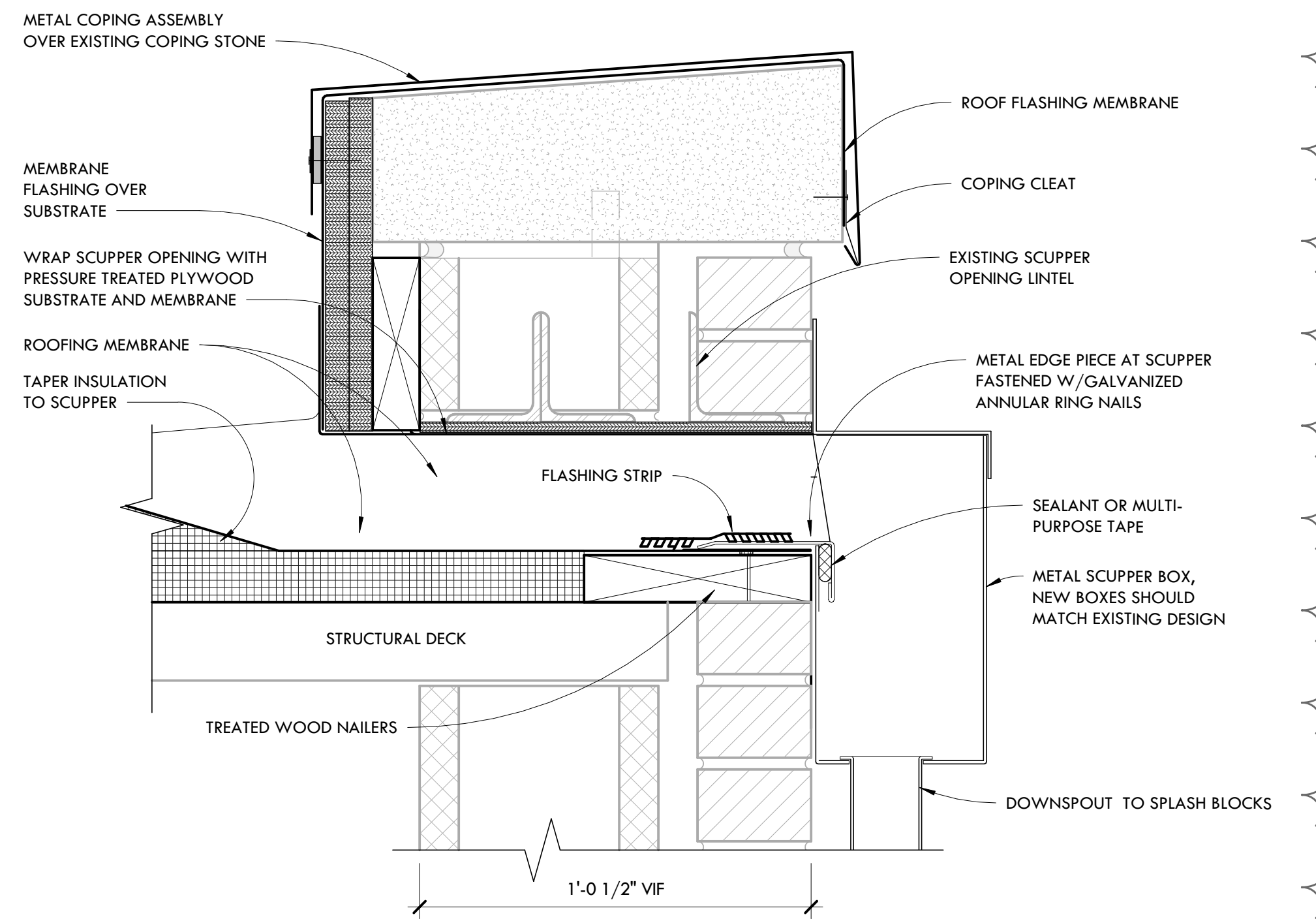
NOTES:
1) FASTENER AND DISC UNDER BASE FLASHING NOT SHOWN.

9 ANGLE IRON FLASHING
SCALE: 3" = 1'-0"

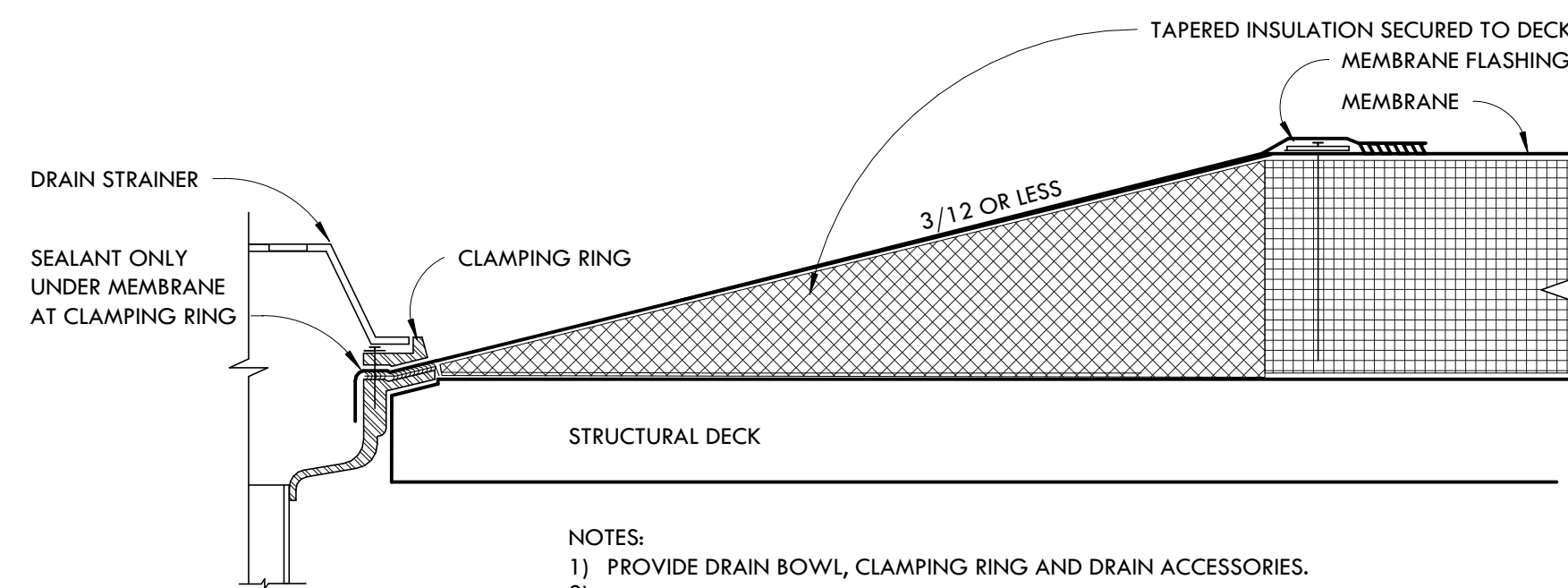


NOTES:
1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A MINIMUM FORCE OF 300 POUNDS PER LINEAR FOOT. FOLLOW FACTORY MUTUAL LOOS PREVENTION DATA SHEET 1-49 AND ENGINEERS SPECIFIED LOADING.
2) THE THICKNESS OF THE NAILER SHALL MATCH THE HEIGHT OF THE INSULATION OR SURFACE TO WHICH THE MEMBRANE IS TO BE APPLIED
3) POSITION THE MEMBRANE (NON-FELTED) OVER THE ROOF EDGE AND DOWN OUTSIDE FACE OF WALL, COVERING TREATED WOOD NAILER(S) COMPLETELY.

14 GUTTER EDGE
SCALE: 3" = 1'-0"

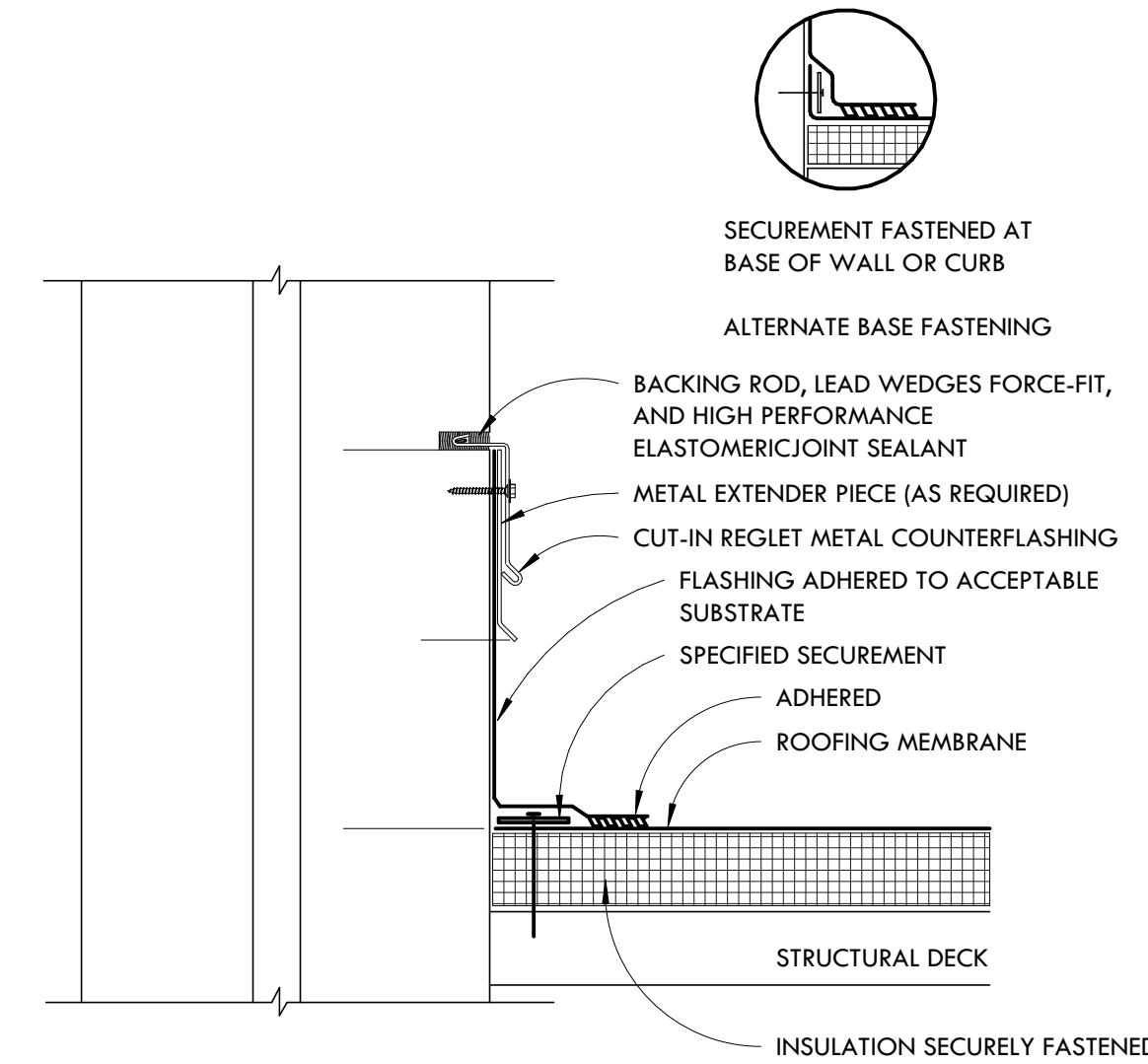


2 TYPICAL DETAIL AT SCUPPER BOX
SCALE: 3" = 1'-0"



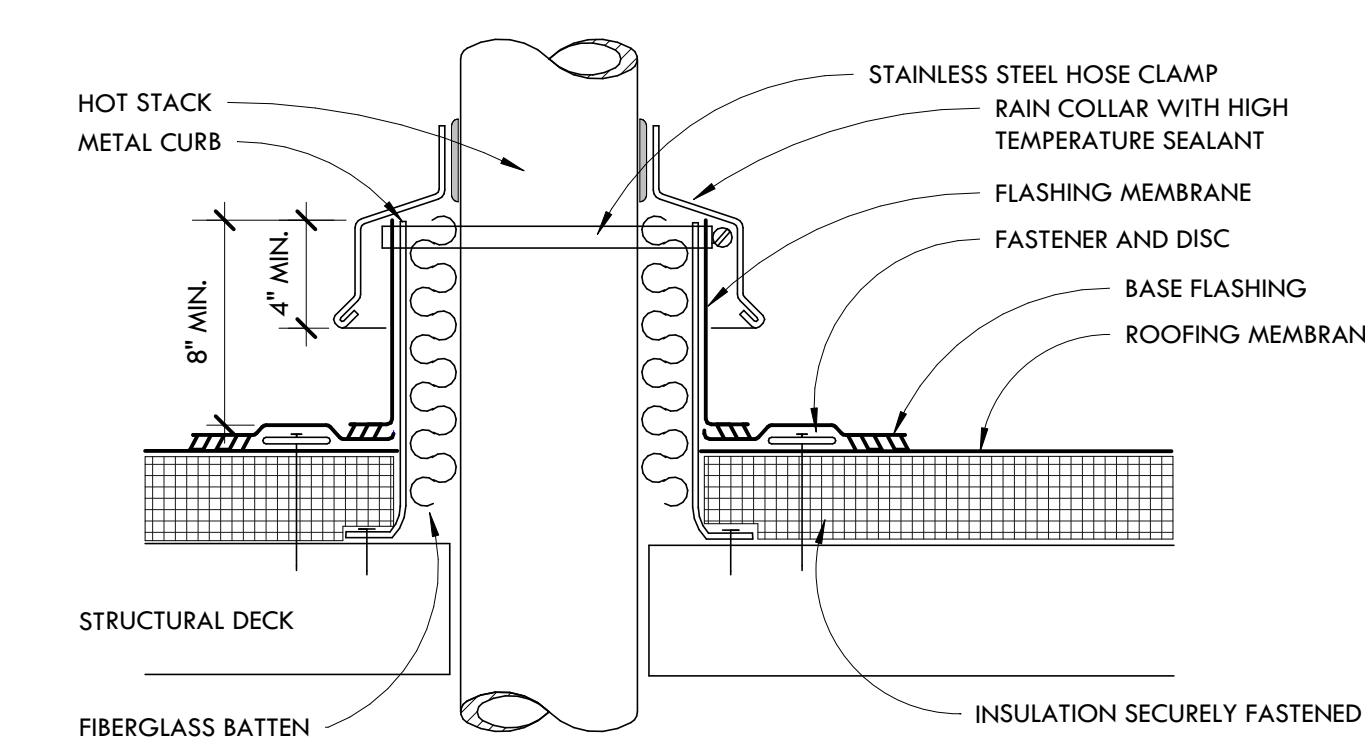
NOTES:
1) PROVIDE DRAIN BOWL, CLAMPING RING AND DRAIN ACCESSORIES.
2) MEMBRANE MUST BE USED IN AREAS OF ASPHALT CONTAMINATION.

6 TYPICAL ROOF DRAIN DETAIL
SCALE: 3" = 1'-0"



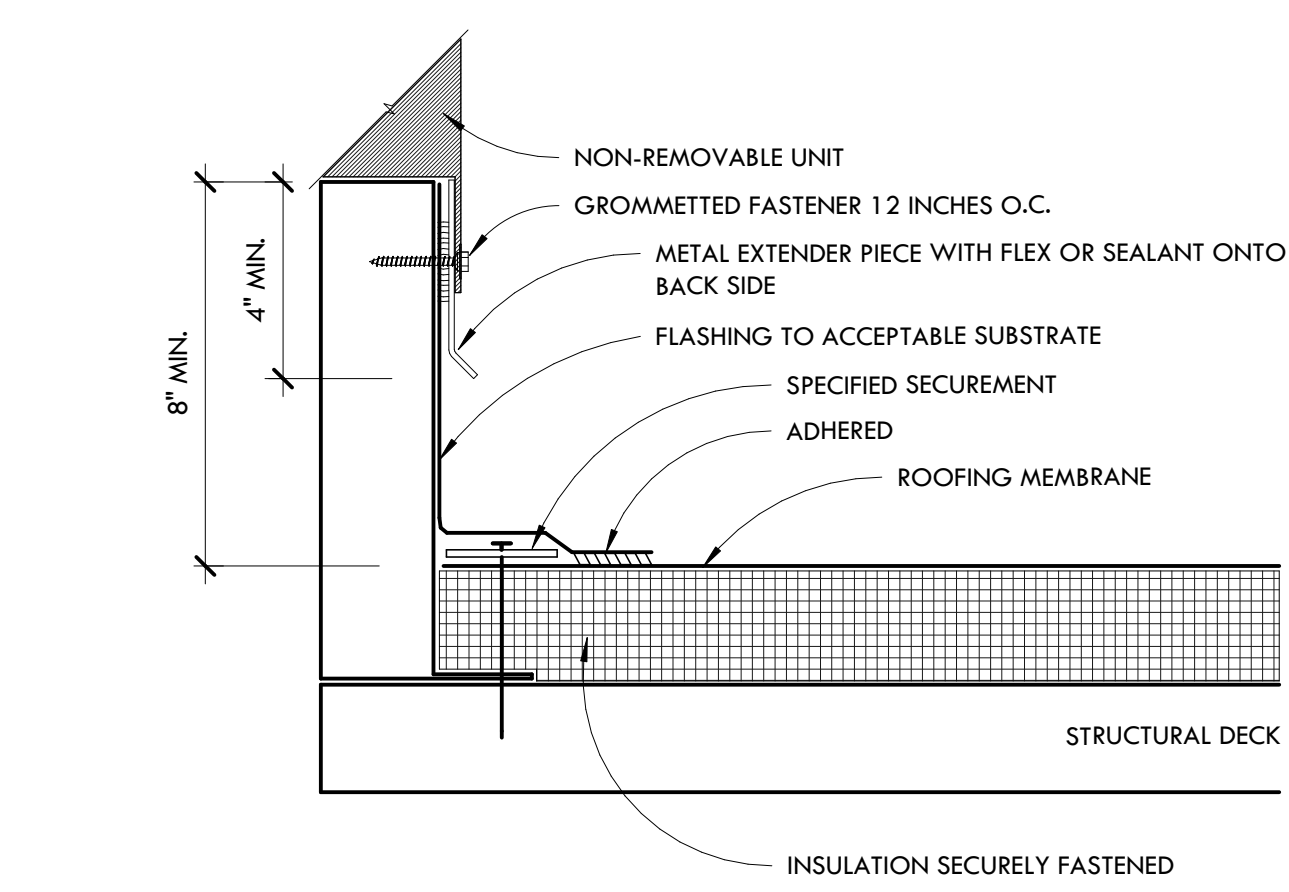
NOTES:
1) METAL EXTENDER PIECE IS REQUIRED IF EXISTING COUNTERFLASHING IS CONTAMINATED AND OR COUNTERFLASHING FASCIA IS LESS THAN 4 IN. WIDE.
2) METAL COUNTERFLASHING IS TO BE INSTALLED TO MEET LOCAL CODES AND REQUIREMENTS.

10 CUT IN REGLET
SCALE: 3" = 1'-0"



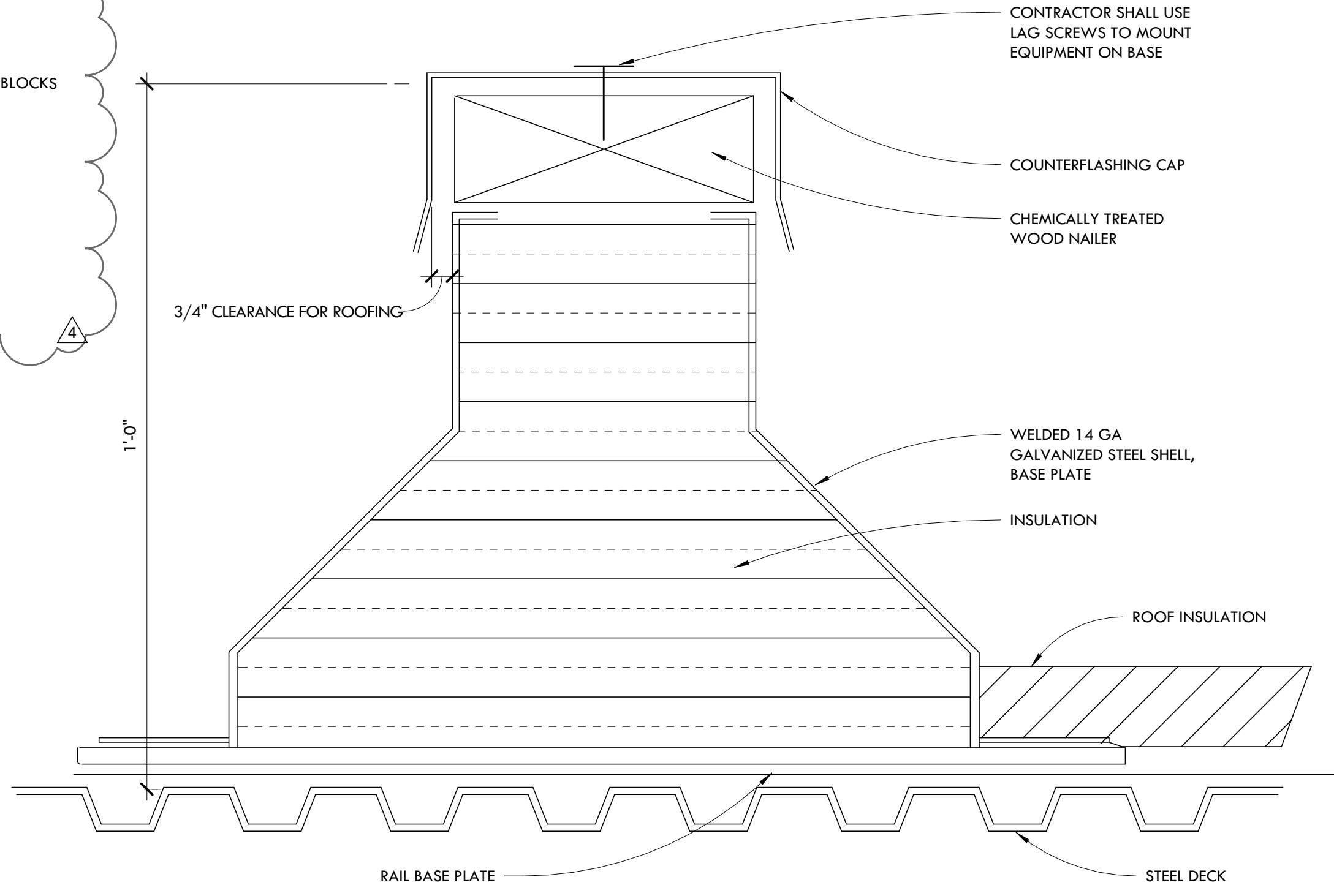
NOTES:
1) PVC MEMBRANE SHALL NOT BE IN CONTACT WITH SURFACES HAVING SUSTAINED TEMPERATURES ABOVE 160°F.

15 HEATED STACK FLASHING
SCALE: 3" = 1'-0"

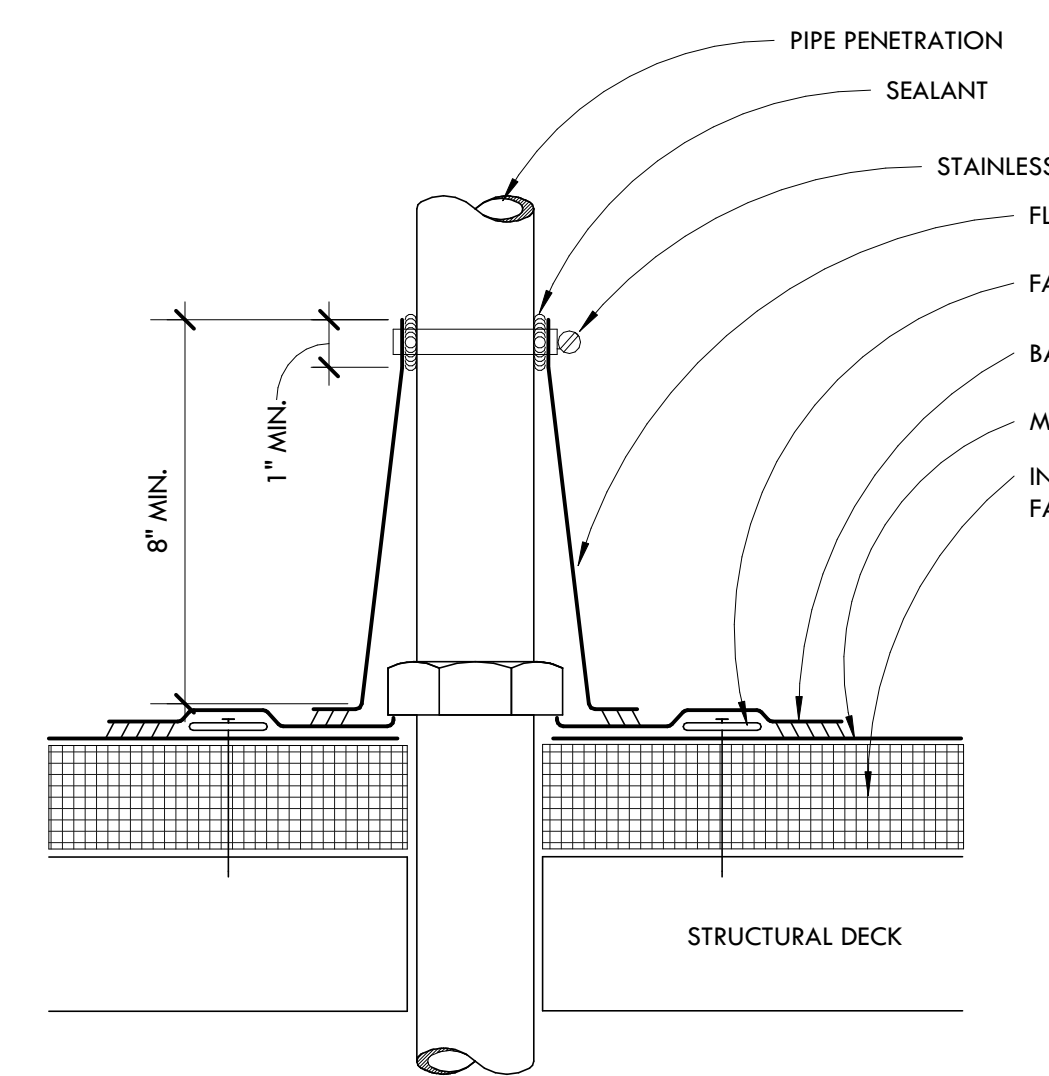


NOTE:
1) METAL EXTENDER PIECE IS REQUIRED IF EXISTING COUNTERFLASHING IS CONTAMINATED AND OR COUNTERFLASHING FASCIA IS LESS THAN 4 INCHES WIDE. FASTENED 12 INCHES O.C. WITH GROMMETTED FASTENER.

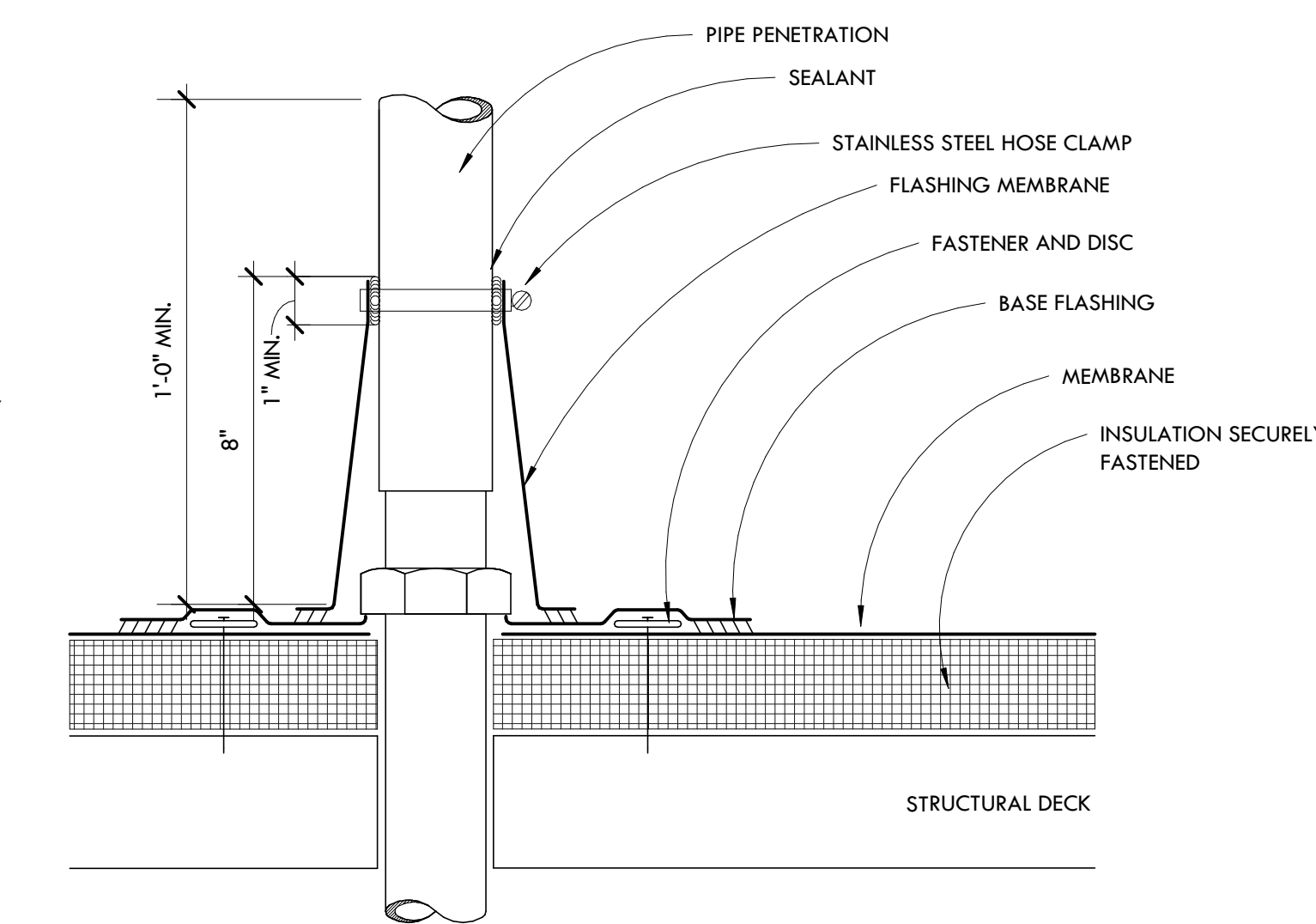
3 CURB FLASHING
SCALE: 3" = 1'-0"



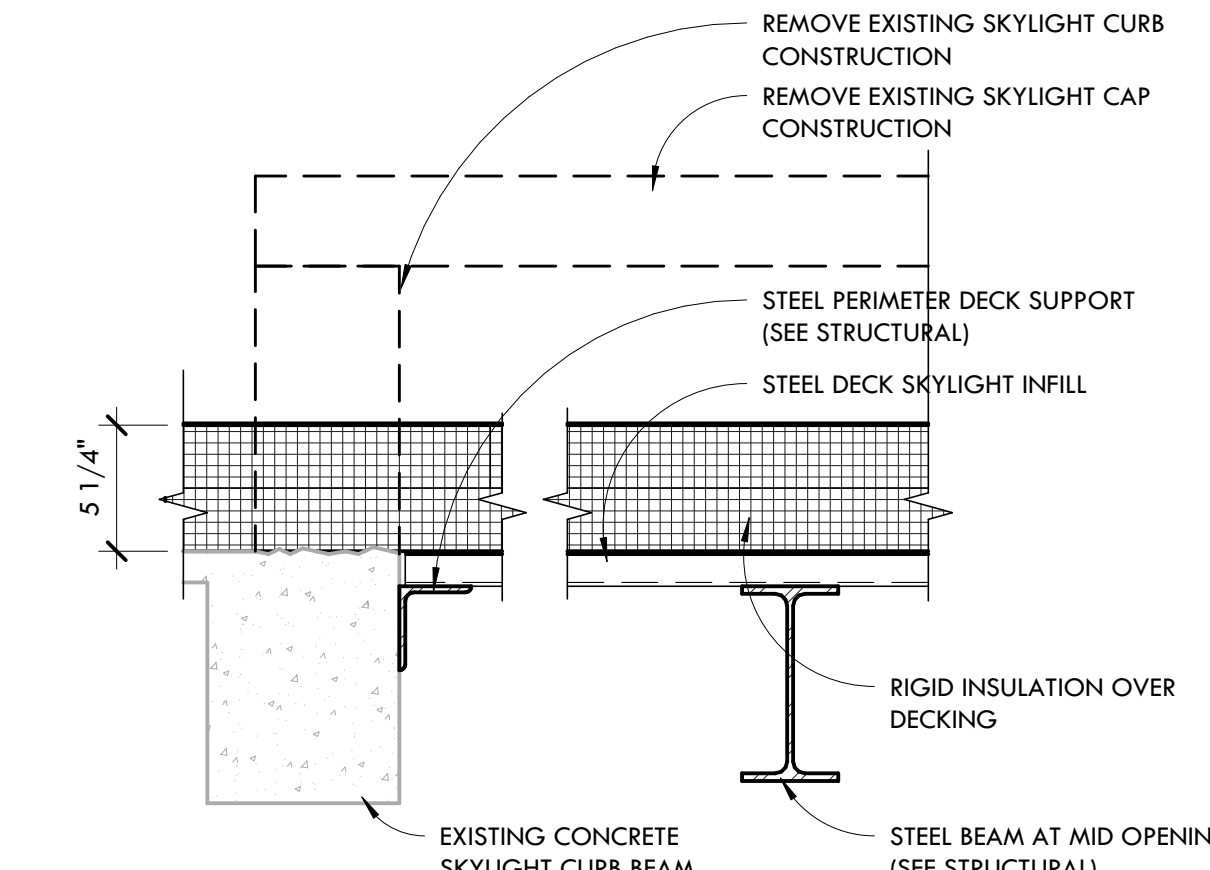
7 TYPICAL ROOF EQUIPMENT MOUNTING RAIL
SCALE: 6" = 1'-0"



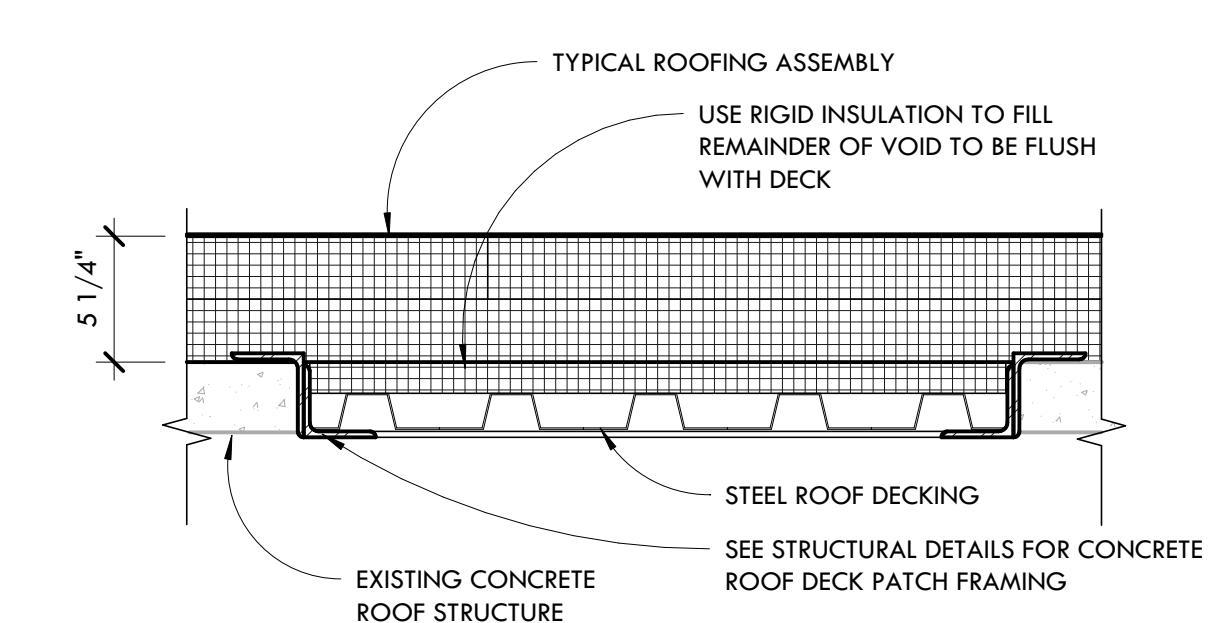
11 CONE FLASHING AT PENETRATION
SCALE: 3" = 1'-0"



12 CONE FLASHING AT PENETRATION WITH PIPE EXTENSION
SCALE: 3" = 1'-0"



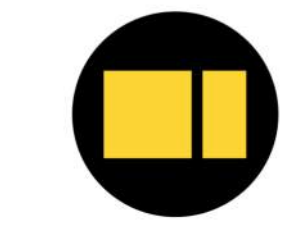
16 TYPICAL ROOF PATCHING DETAIL AT SKYLIGHT
SCALE: 1 1/2" = 1'-0"



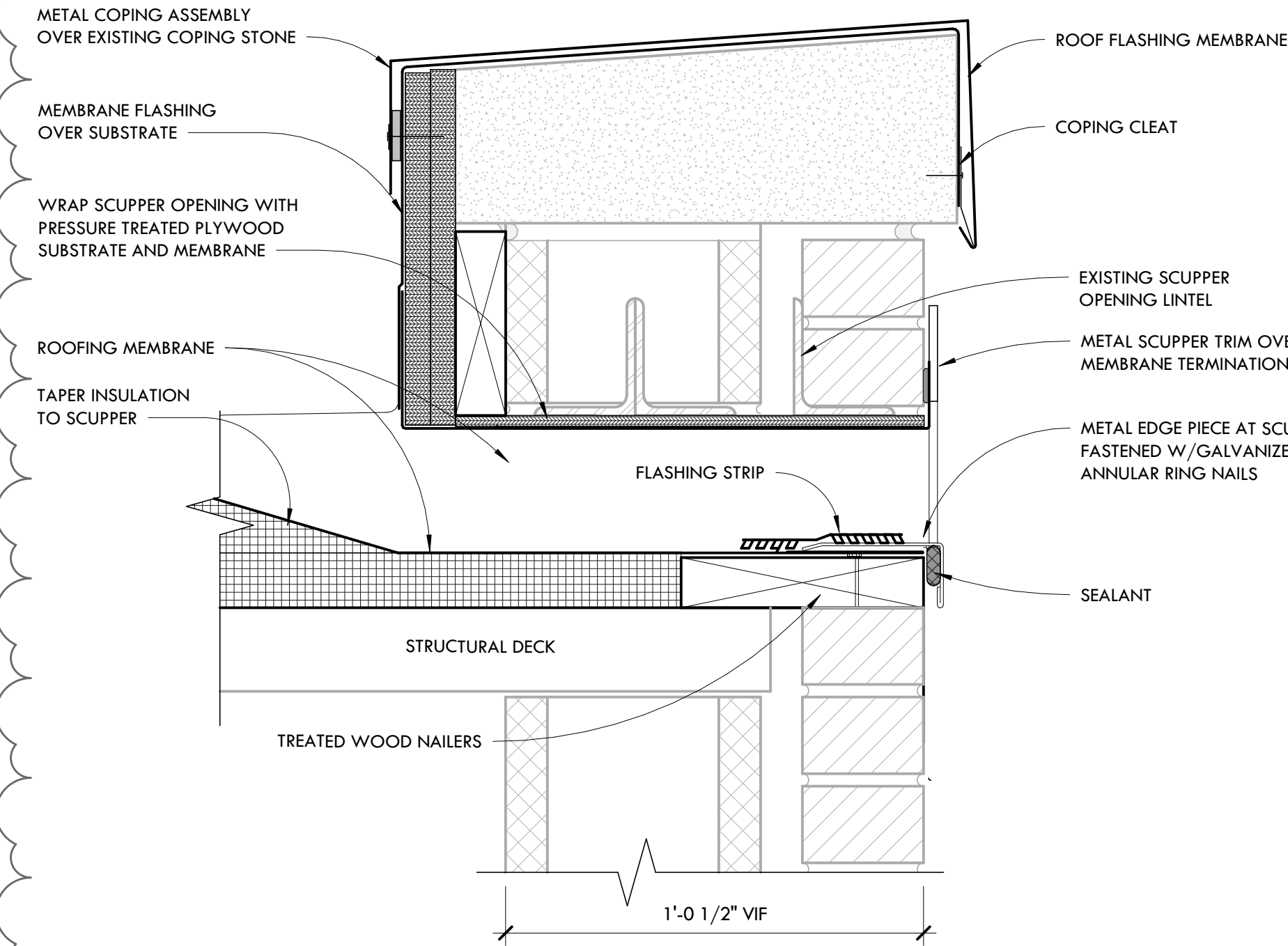
17 TYPICAL ROOF PATCHING DETAIL
SCALE: 1 1/2" = 1'-0"

ROOF DETAILS

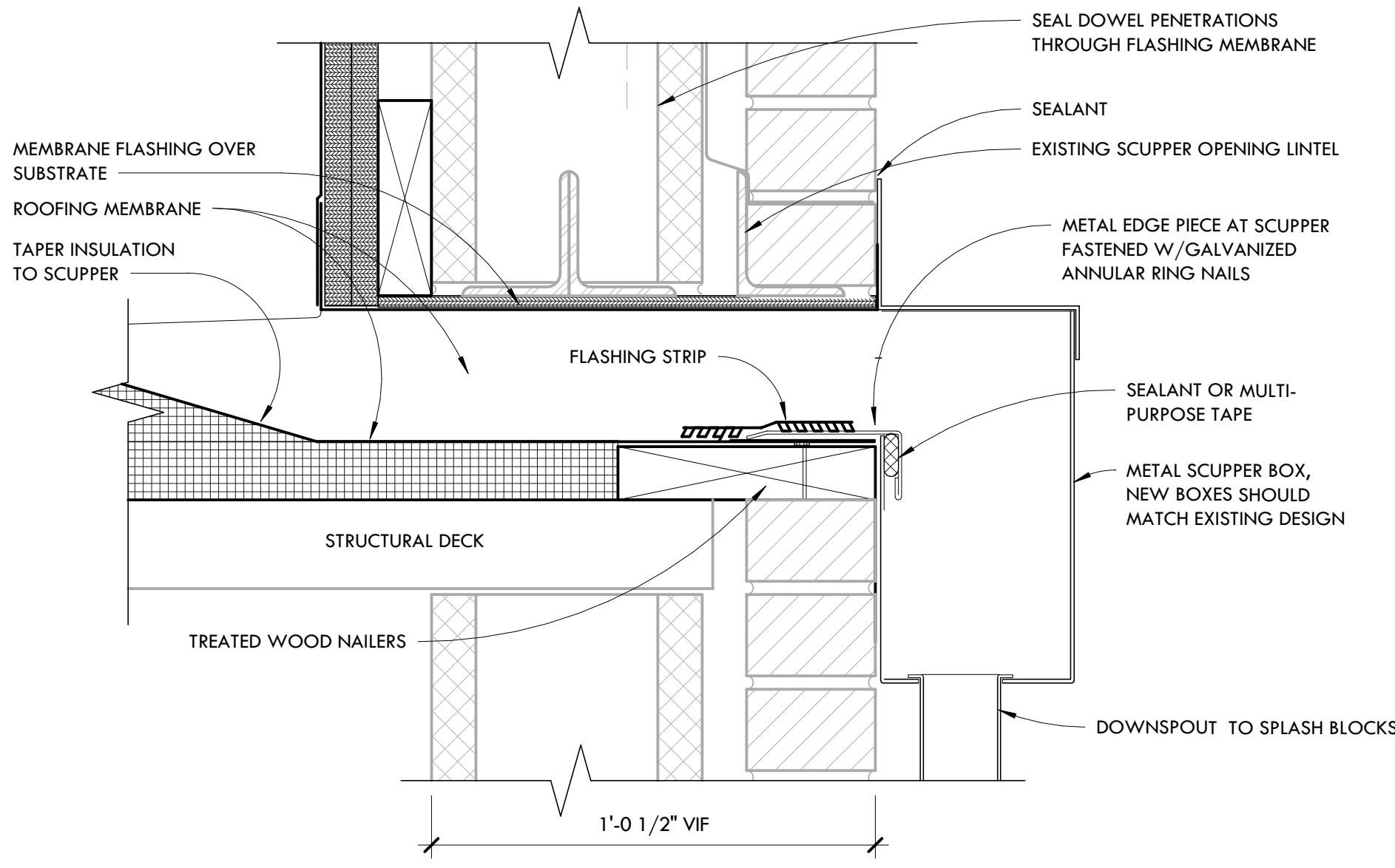
SCALE: AS NOTED



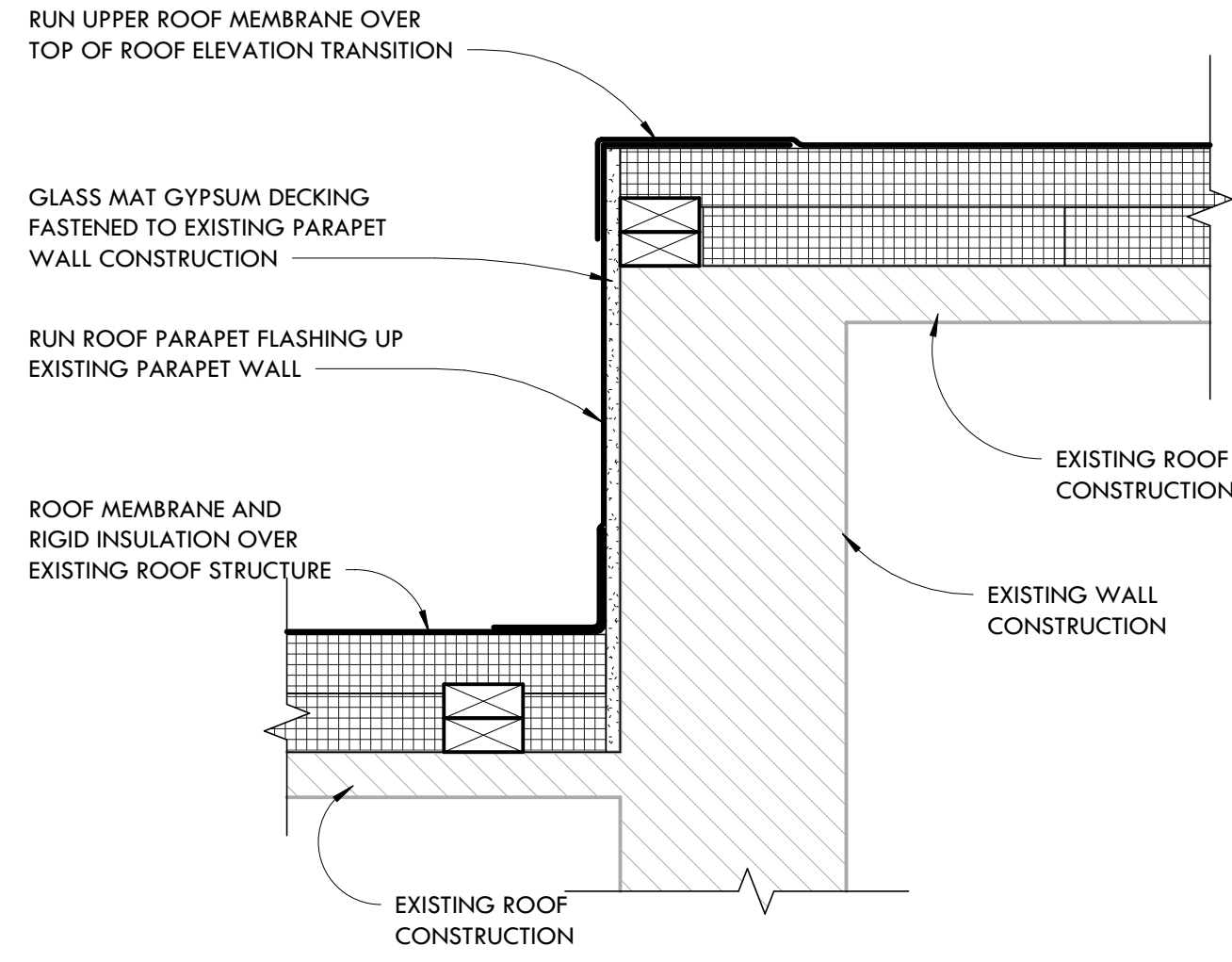
DATE:	01/21/22			
PROJECT NUMBER	31029-01			
SHEET NUMBER	A8.3			
ISSUED FOR:	DATE	ISSUED/REVISION	4	02/08/22
4	ADDENDUM	4	02/08/22	
DRAWN BY:		CHECKED BY:		APPROVED BY:
Author:		Checker:		Approver:



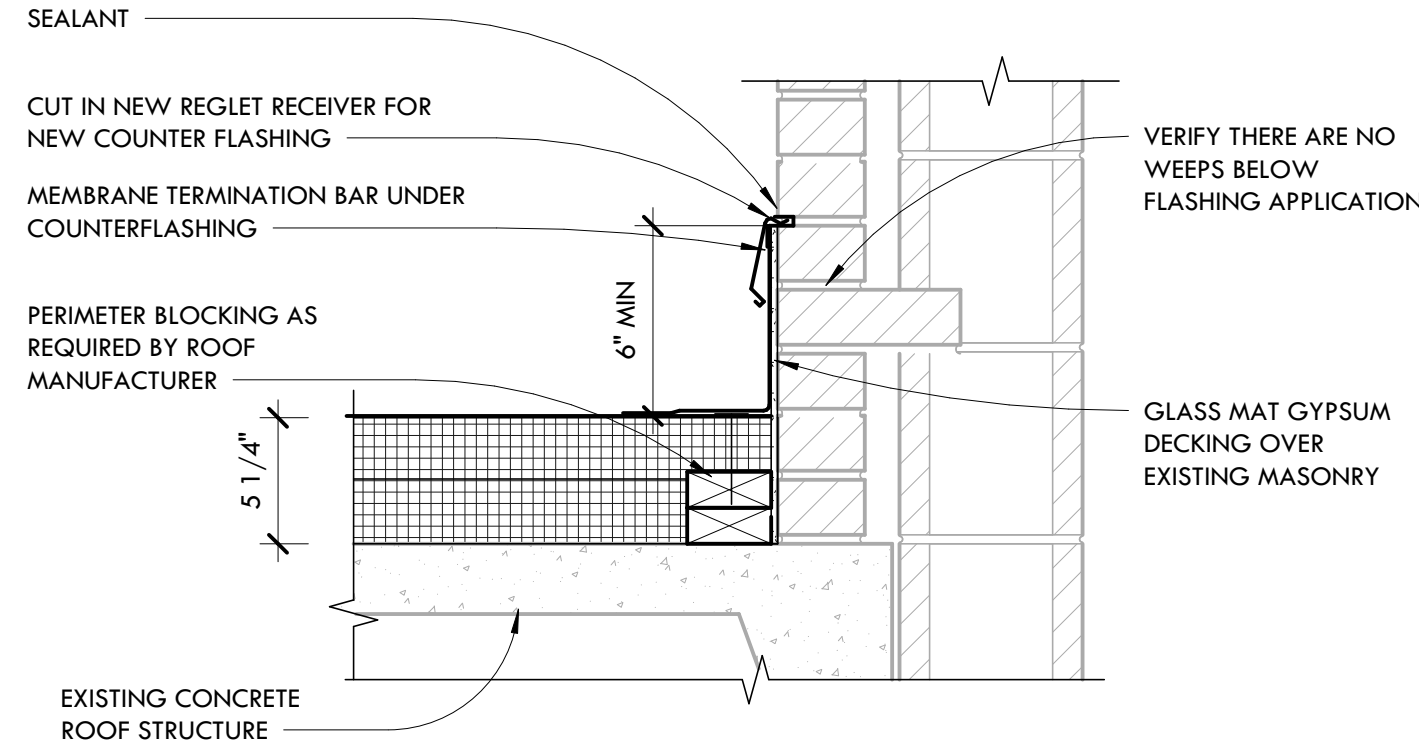
1 TYPICAL DETAIL AT BACK-UP SCUPPER DRAIN
SCALE: 3" = 1'-0"



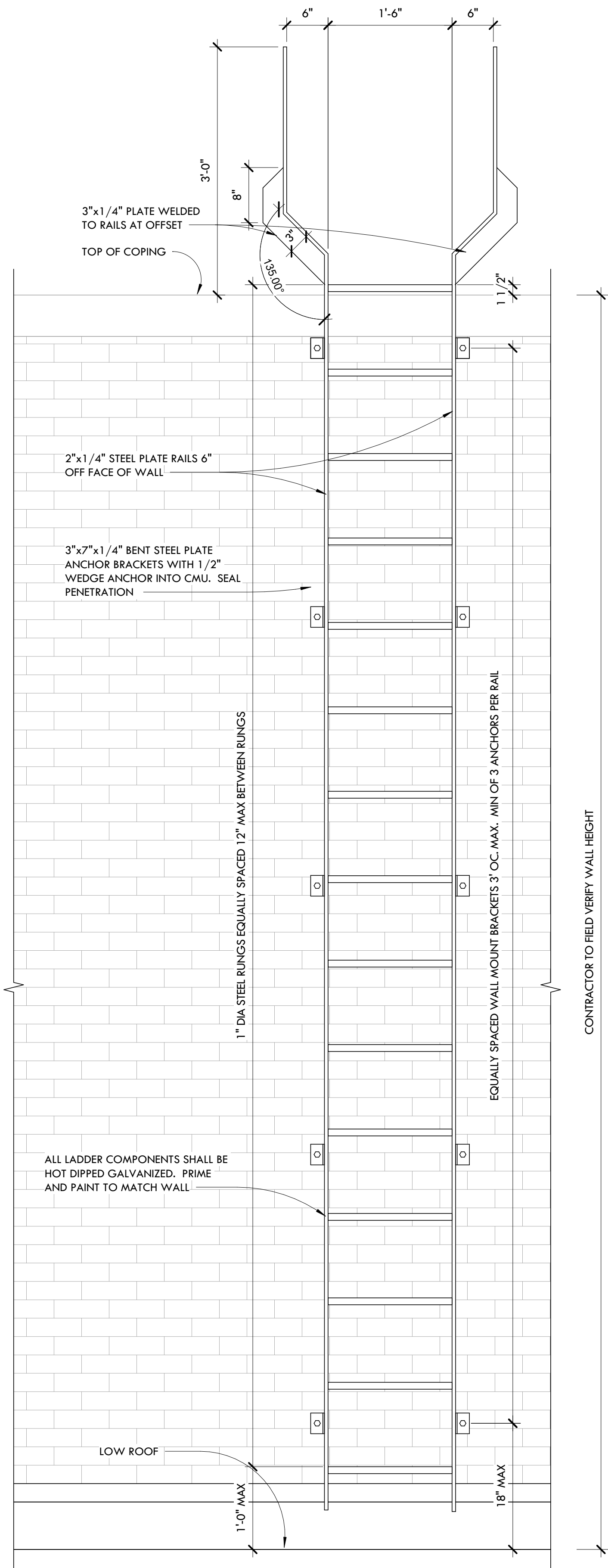
2 TYPICAL DETAIL AT THROUGH WALL SCUPPER DRAIN
SCALE: 3" = 1'-0"



3 ROOF TRANSITION DETAIL
SCALE: 1 1/2" = 1'-0"



4 ROOF-WALL FLASHING DETAIL
SCALE: 1 1/2" = 1'-0"

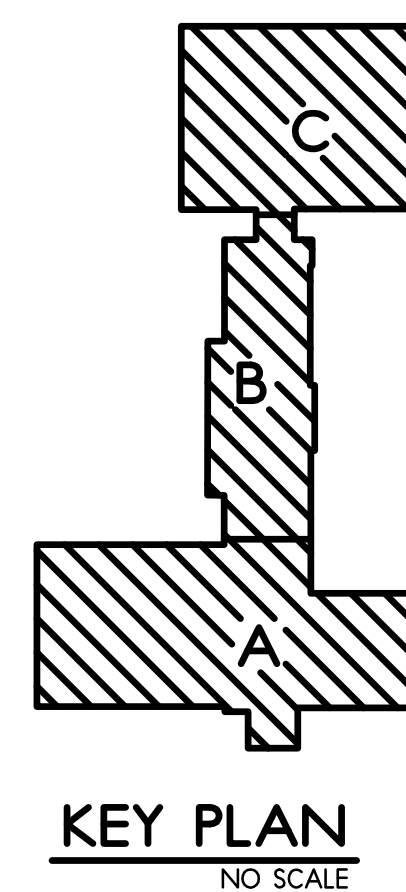
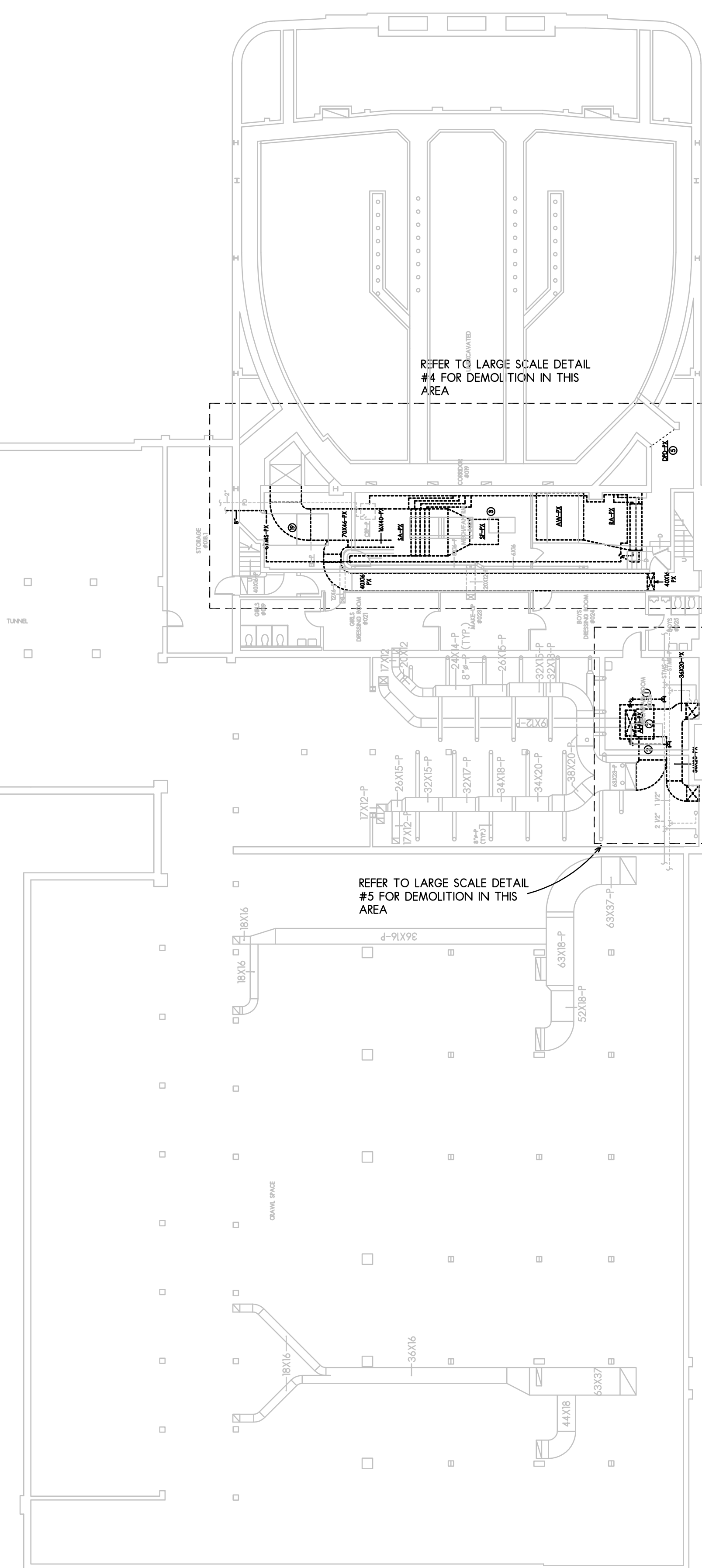
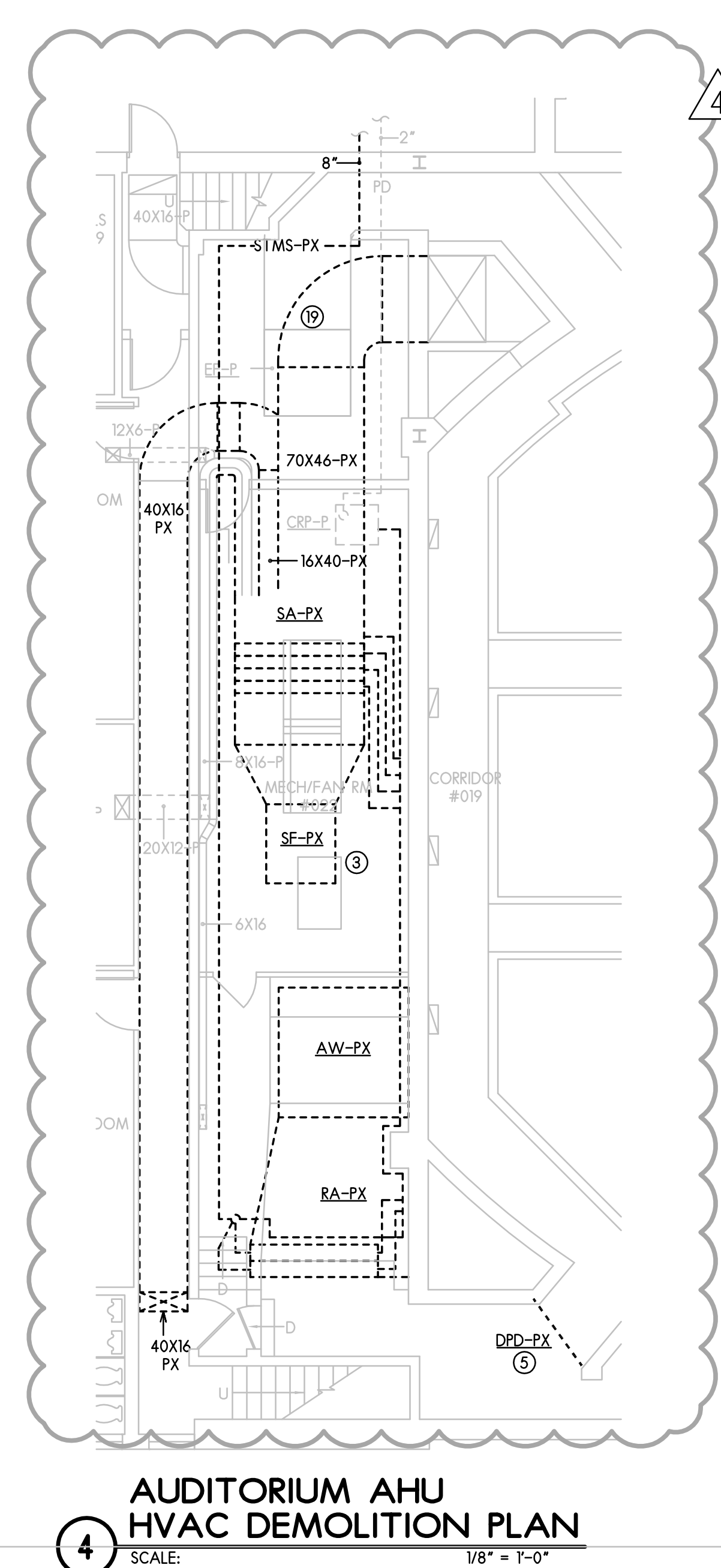
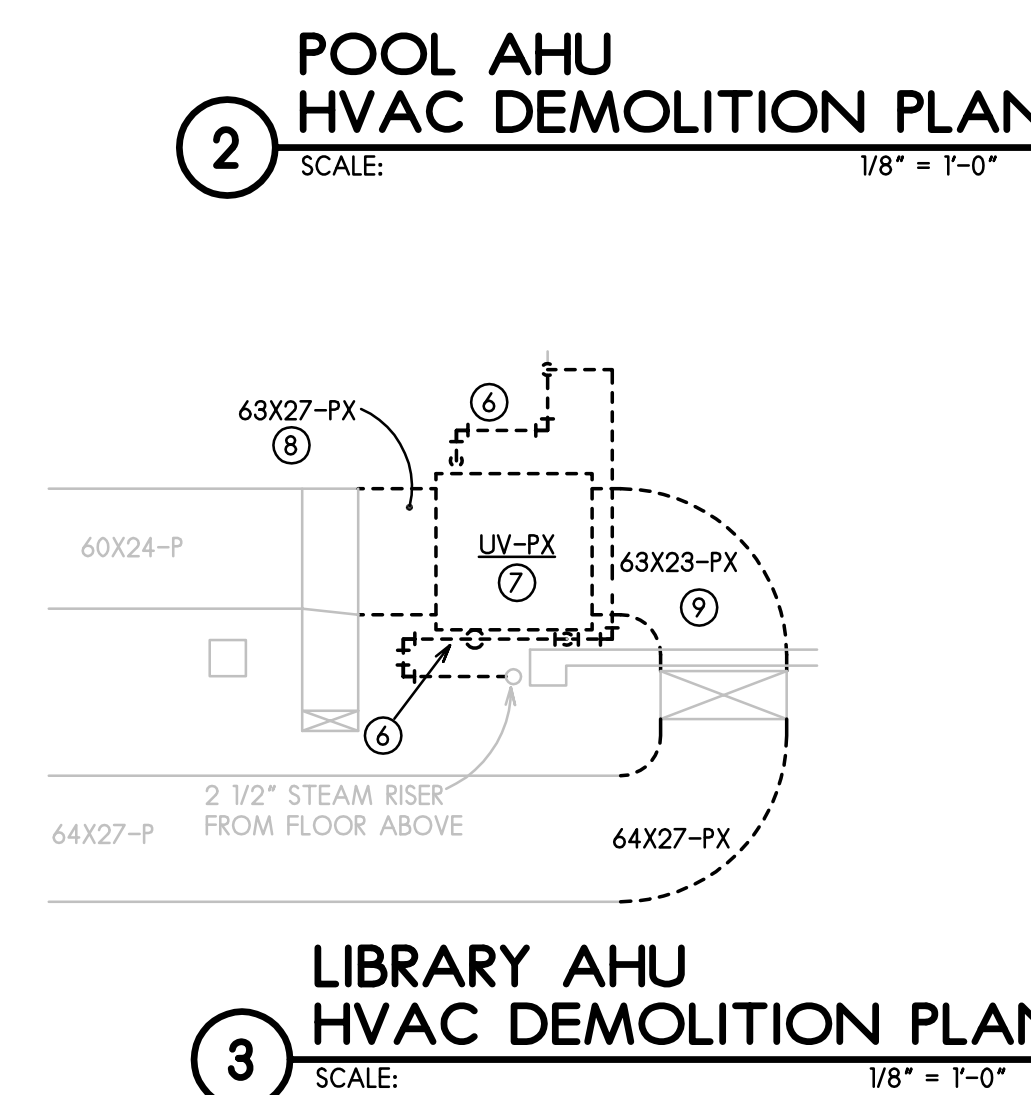
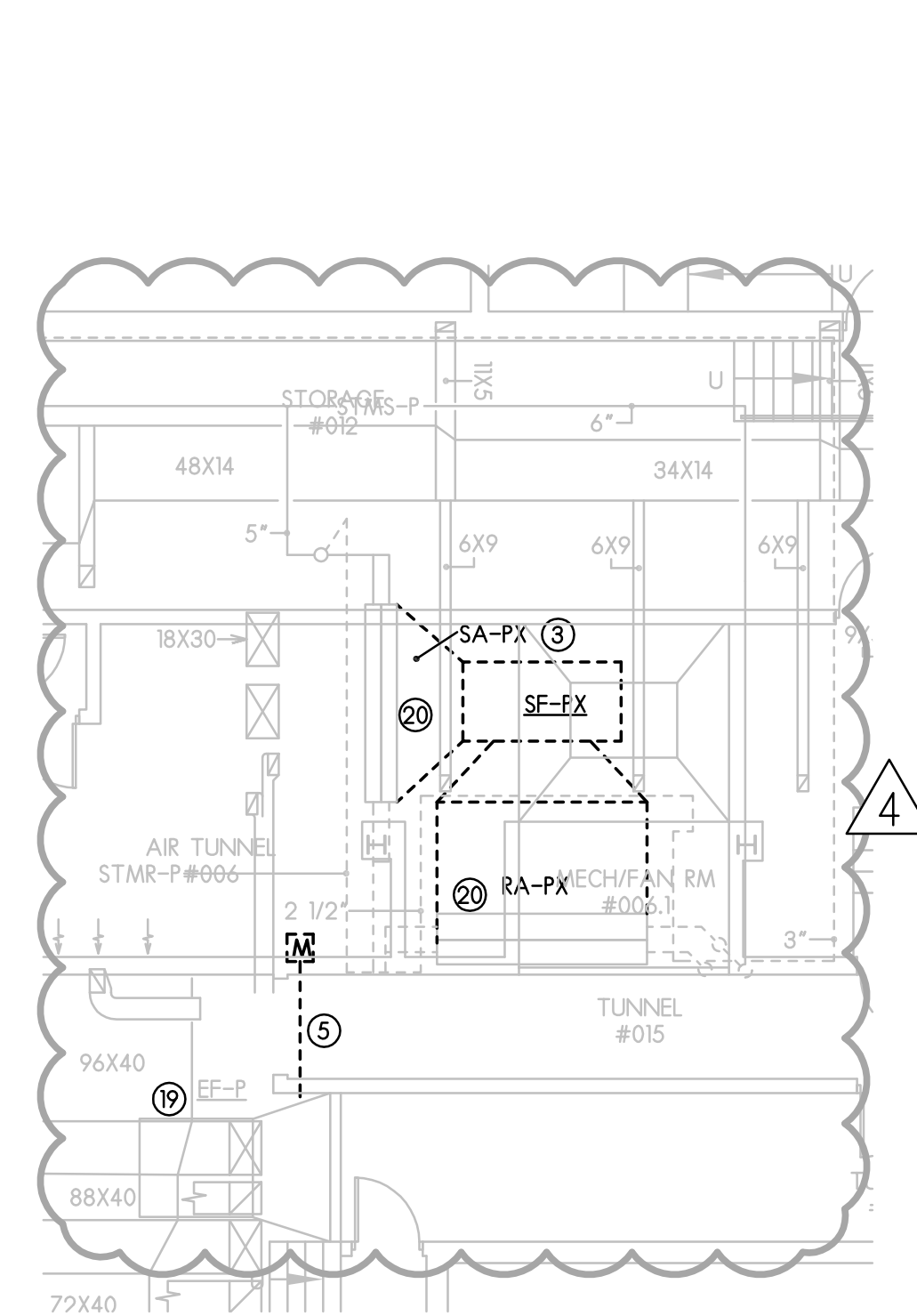
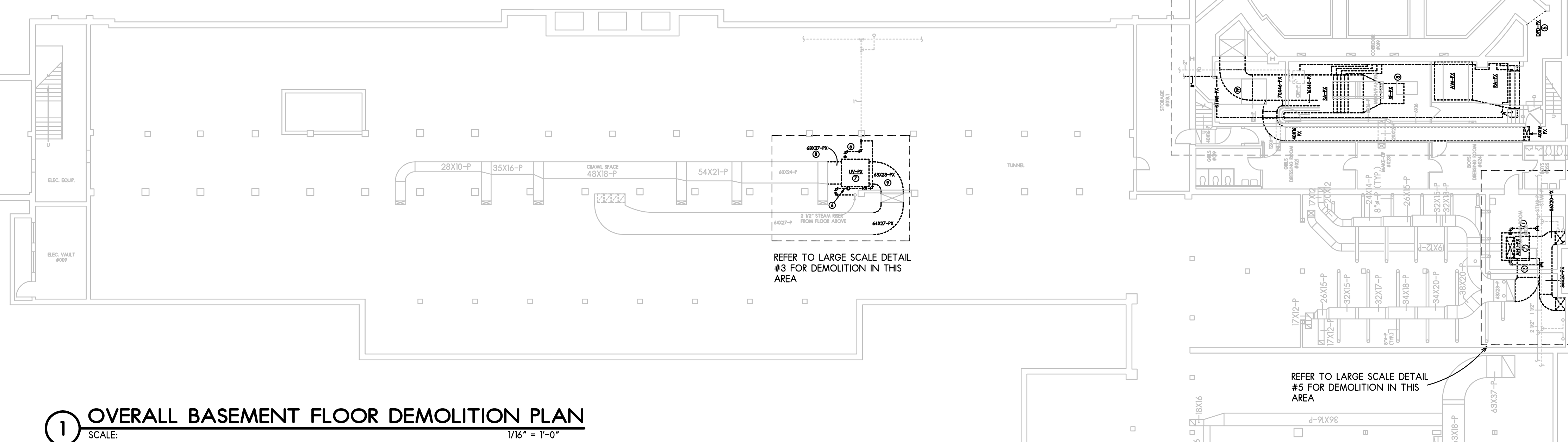
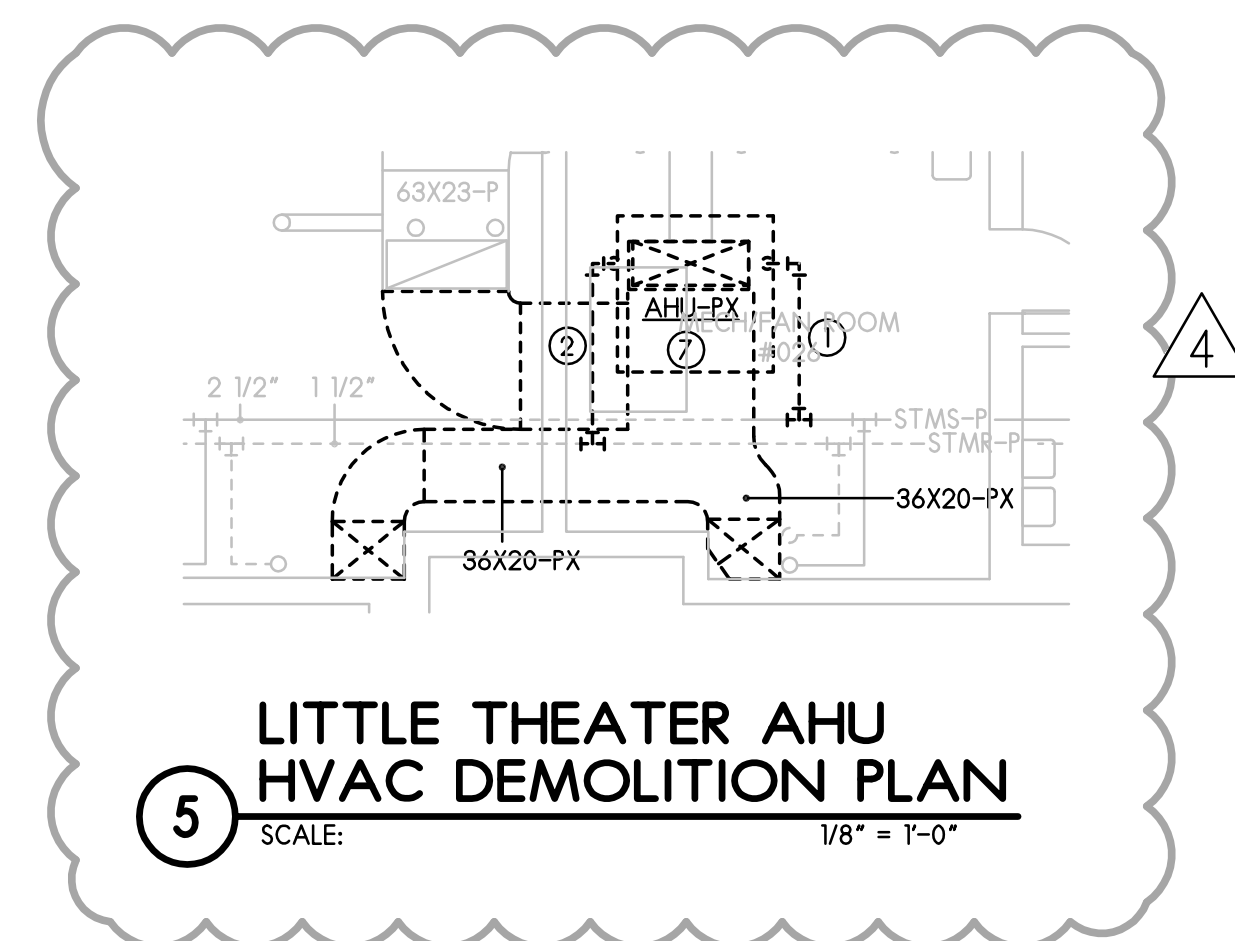
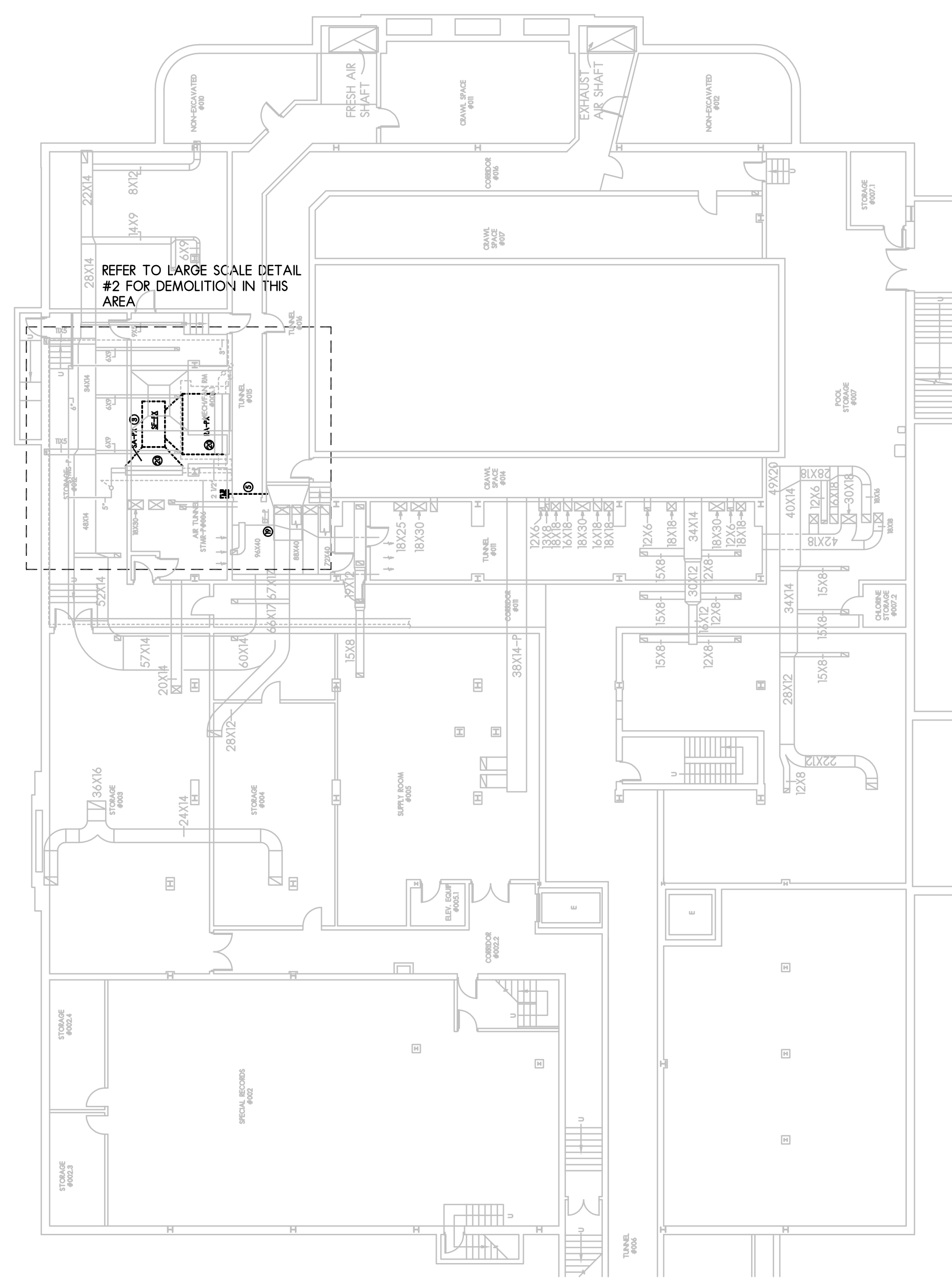


5 TYPICAL LADDER DETAIL
SCALE: 1" = 1'-0"

TYPICAL DETAILS

SCALE: AS NOTED

ISSUED FOR:	DATE	ISSUANCE	4	02/08/22
4 - ADDENDUM 4	02/08/22			
DRAWN BY:	CHECKED BY:	APPROVED BY:		
Author	Checker	Approver		

HVAC DEMOLITION KEYED
NOTES SHEETS MD1 THRU MD5:

- 1 REMOVE EXISTING STEAM SUPPLY AS SHOWN BACK TO MAIN AND CAP.
- 2 REMOVE EXISTING STEAM CONDENSATE AS SHOWN BACK TO MAIN AND CAP.
- 3 REMOVE EXISTING SUPPLY FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC....
- 4 REMOVE EXISTING EXHAUST/RETURN FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC....
- 5 REMOVE EXISTING MIXING DAMPER IN ITS ENTIRETY.
- 6 DISCONNECT STEAM SUPPLY/CONDENSATE TO AHU AND REMOVE PORTION OF PIPE AS SHOWN TO ALLOW FOR NEW INSTALLATION AS SHOWN ON NEW WORK PLAN.
- 7 REMOVE EXISTING AHU AS SHOWN IN ITS ENTIRETY. REMOVE CONTROL TUBING AND WIRING AND PREPARE TO INSTALL NEW UNIT AS SHOWN ON NEW WORK PLAN.
- 8 REMOVE PORTION OF EXISTING SUPPLY DUCT AS NEEDED TO ALLOW FOR NEW AHU INSTALLATION SEE NEW WORK PLAN.
- 9 REMOVE PORTION OF OA/RA DUCT AS NEEDED TO ALLOW FOR NEW AHU INSTALLATION. SEE NEW WORK PLAN.
- 10 REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED COILING COIL, SUPPLY/RETURN DUCTWORK, CONTROLS, ETC....
- 11 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING.
- 12 REMOVE EXISTING T-STAT AND ASSOCIATED PNEUMATIC TUBING.
- 13 REMOVE EXISTING UNIT HEATER AND ASSOCIATED STEAM SUPPLY/CONDENSATE BACK TO MAIN AND CAP.
- 14 REMOVE EXISTING SA/RA DUCT & GRILLE AS SHOWN CAP WALL OPENING AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 15 REMOVE EXISTING WINDOW-TYPE AIR CONDITIONER.
- 16 REMOVE EXISTING AHU AS SHOWN IN ITS ENTIRETY. REMOVE CONTROL TUBING AND WIRING AND PREPARE TO INSTALL NEW UNIT AS SHOWN ON NEW WORK PLAN.
- 17 REMOVE EXISTING UNIT VENTILATOR AND ASSOCIATED PIPING AND CONTROLS. PREPARE TO REPLACE WITH NEW UNIT AS SHOWN ON NEW WORK PLAN.
- 18 REMOVE EXISTING OA DUCT AS SHOWN. CAP & SEAL EXISTING LOUVER AIR & WATER TIGHT. CAP EXISTING LOUVER WITH INSULATION PANEL.
- 19 EXISTING FAN TO REMAIN. CONTRACTOR SHALL RE-COMMISSION EXISTING FAN TO REPLACE BELTS, PULLEY, MOTOR, BEARINGS & SHAFT IF NEEDED.
- 20 EXISTING COIL TO REMAIN. CONTRACTOR SHALL INVESTIGATE THE COIL CONDITION. REPLACE VALVES, STEAM TRAPS, CONTROL VALVES, ETC.
- 21 REMOVE PORTION OF RELIEF AIR DUCT AS SHOWN. REMOVE DUCT RISER THROUGH ROOF INCLUDING GRAVITY VENT. CAP AT DUCT RISER AND PREPARE TO CONNECT WITH NEW RETURN AIR DUCT AS SHOWN ON NEW WORK PLAN.

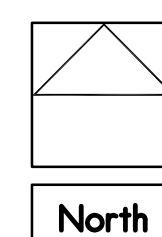
GENERAL DEMOLITION NOTES

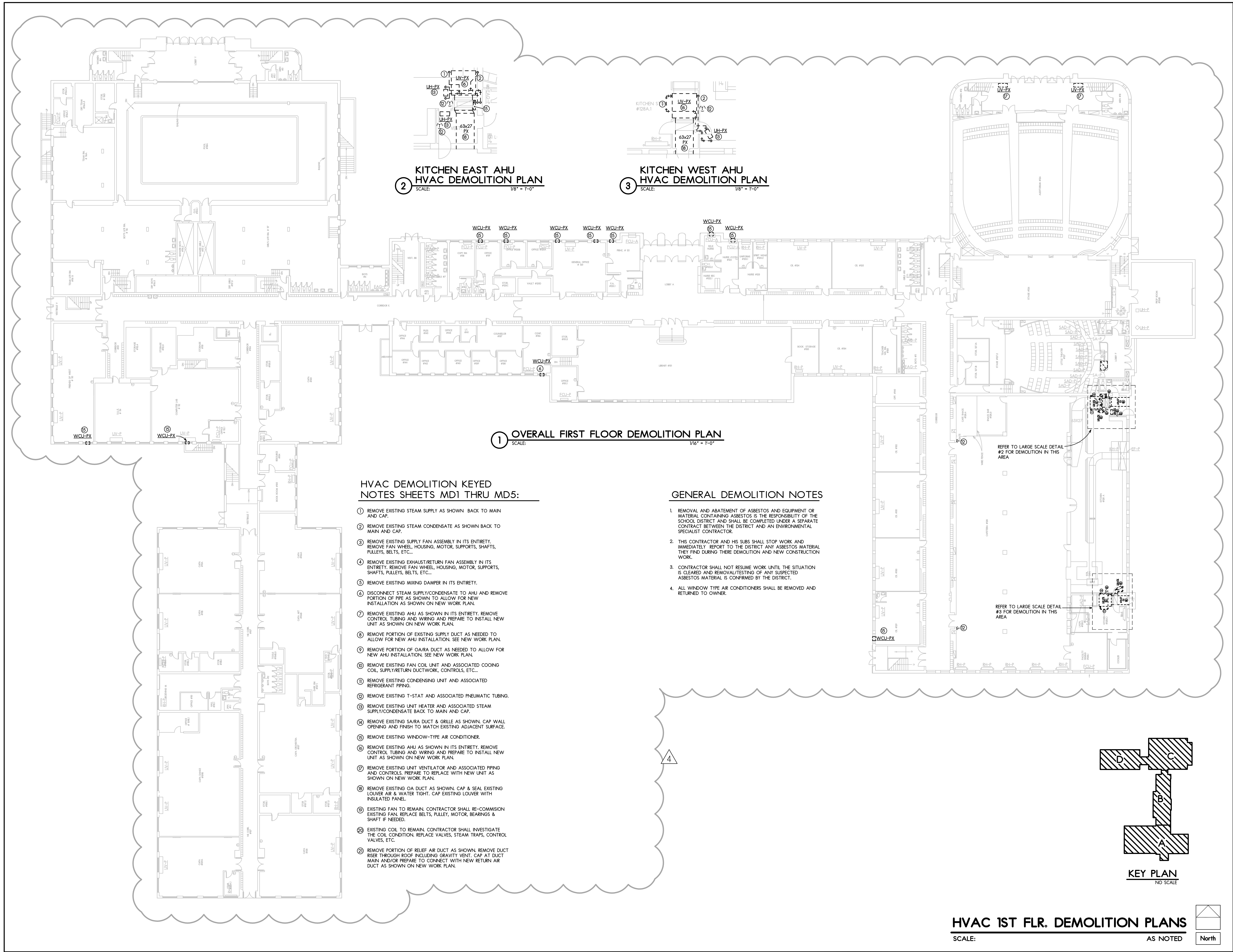
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4. ALL WINDOW TYPE AIR CONDITIONERS SHALL BE REMOVED AND RETURNED TO OWNER.

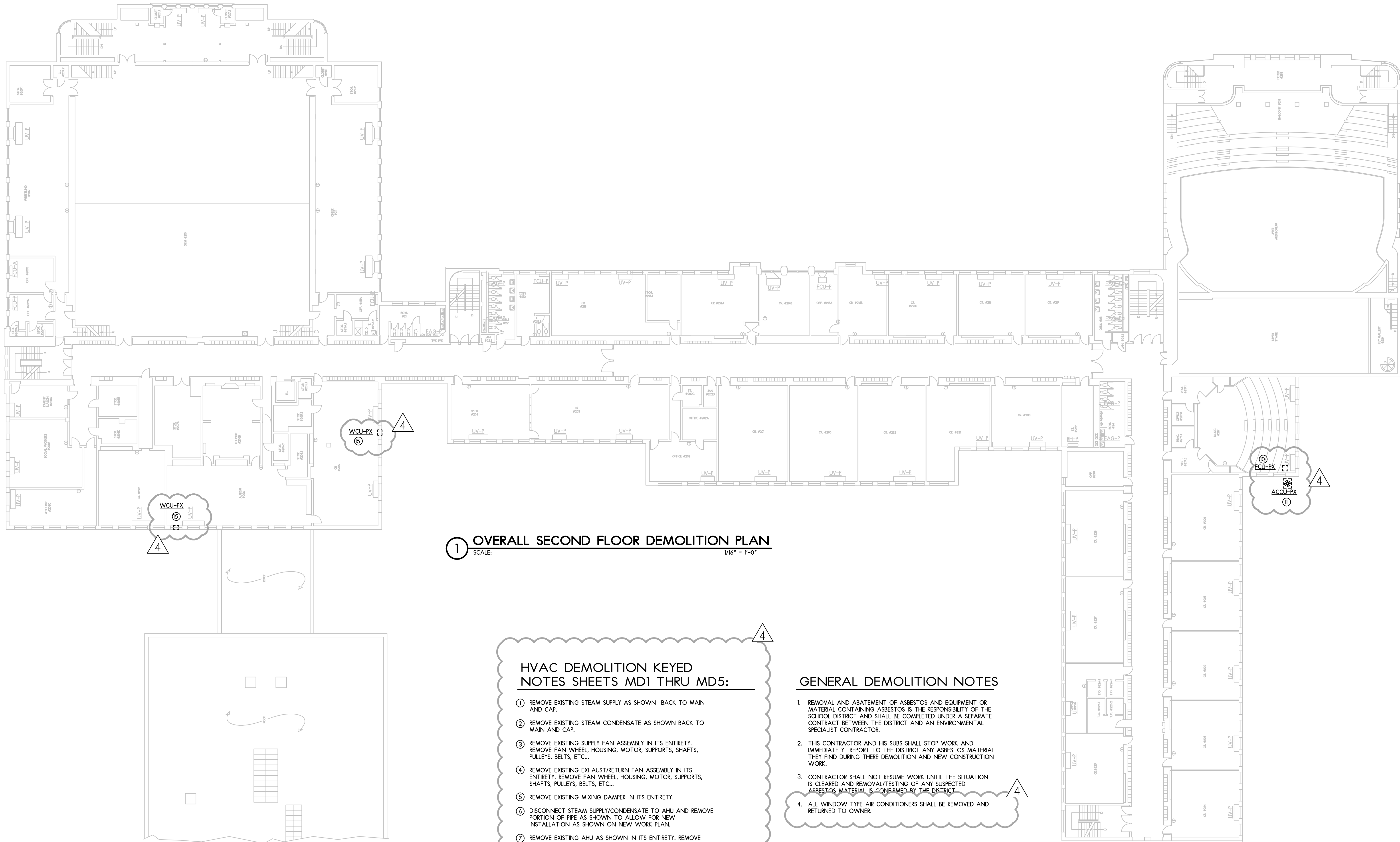
HVAC BASEMENT DEMOLITION PLANS

SCALE:

AS NOTED





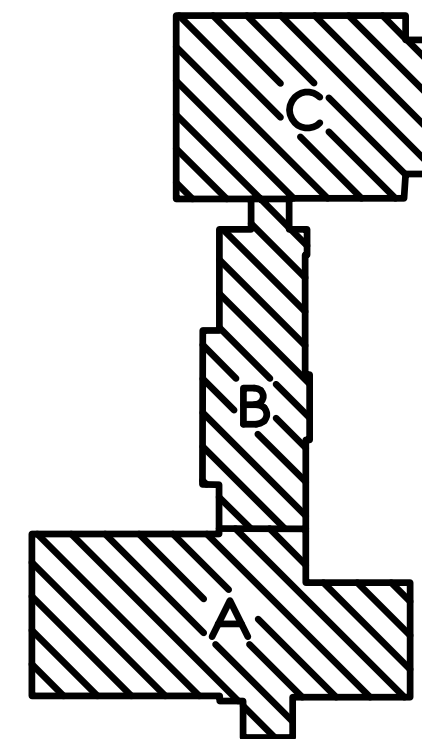


HVAC DEMOLITION KEYED NOTES SHEETS MD1 THRU MD5:

1. REMOVE EXISTING STEAM SUPPLY AS SHOWN BACK TO MAIN AND CAP.
2. REMOVE EXISTING STEAM CONDENSATE AS SHOWN BACK TO MAIN AND CAP.
3. REMOVE EXISTING SUPPLY FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC...
4. REMOVE EXISTING EXHAUST/RETURN FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC...
5. REMOVE EXISTING MIXING DAMPER IN ITS ENTIRETY.
6. DISCONNECT STEAM SUPPLY/CONDENSATE TO AHU AND REMOVE PORTION OF PIPE AS SHOWN TO ALLOW FOR NEW INSTALLATION AS SHOWN ON NEW WORK PLAN.
7. REMOVE EXISTING AHU AS SHOWN IN ITS ENTIRETY. REMOVE CONTROL TUBING AND WIRING AND PREPARE TO INSTALL NEW UNIT AS SHOWN ON NEW WORK PLAN.
8. REMOVE PORTION OF EXISTING SUPPLY DUCT AS NEEDED TO ALLOW FOR NEW AHU INSTALLATION. SEE NEW WORK PLAN.
9. REMOVE PORTION OF OA/RA DUCT AS NEEDED TO ALLOW FOR NEW AHU INSTALLATION. SEE NEW WORK PLAN.
10. REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED COOING COIL, SUPPLY/RETURN DUCTWORK, CONTROLS, ETC...
11. REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING.
12. REMOVE EXISTING T-STAT AND ASSOCIATED PNEUMATIC TUBING.
13. REMOVE EXISTING UNIT HEATER AND ASSOCIATED STEAM SUPPLY/CONDENSATE BACK TO MAIN AND CAP.
14. REMOVE EXISTING SA/RA DUCT & GRILLE AS SHOWN. CAP WALL OPENING AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
15. REMOVE EXISTING WINDOW-TYPE AIR CONDITIONER.
16. REMOVE EXISTING AHU AS SHOWN IN ITS ENTIRETY. REMOVE CONTROL TUBING AND WIRING AND PREPARE TO INSTALL NEW UNIT AS SHOWN ON NEW WORK PLAN.
17. REMOVE EXISTING UNIT VENTILATOR AND ASSOCIATED PIPING AND CONTROLS. PREPARE TO REPLACE WITH NEW UNIT AS SHOWN ON NEW WORK PLAN.
18. REMOVE EXISTING OA DUCT AS SHOWN. CAP & SEAL EXISTING LOUVER AIR & WATER TIGHT. CAP EXISTING LOUVER WITH INSULATED PANEL.
19. EXISTING FAN TO REMAIN. CONTRACTOR SHALL RE-COMMISSION EXISTING FAN. REPLACE BELTS, PULLEY, MOTOR, BEARINGS & SHAFT IF NEEDED.
20. EXISTING COIL TO REMAIN. CONTRACTOR SHALL INVESTIGATE THE COIL CONDITION. REPLACE VALVES, STEAM TRAPS, CONTROL VALVES, ETC.
21. REMOVE PORTION OF RELIEF AIR DUCT AS SHOWN. REMOVE DUCT RISER THROUGH ROOF INCLUDING GRAVITY VENT. CAP AT DUCT MAIN AND/OR PREPARE TO CONNECT WITH NEW RETURN AIR DUCT AS SHOWN ON NEW WORK PLAN.

GENERAL DEMOLITION NOTES

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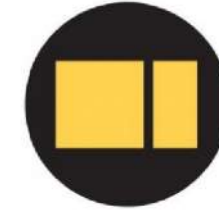
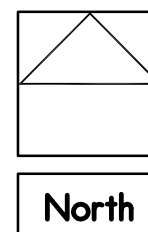


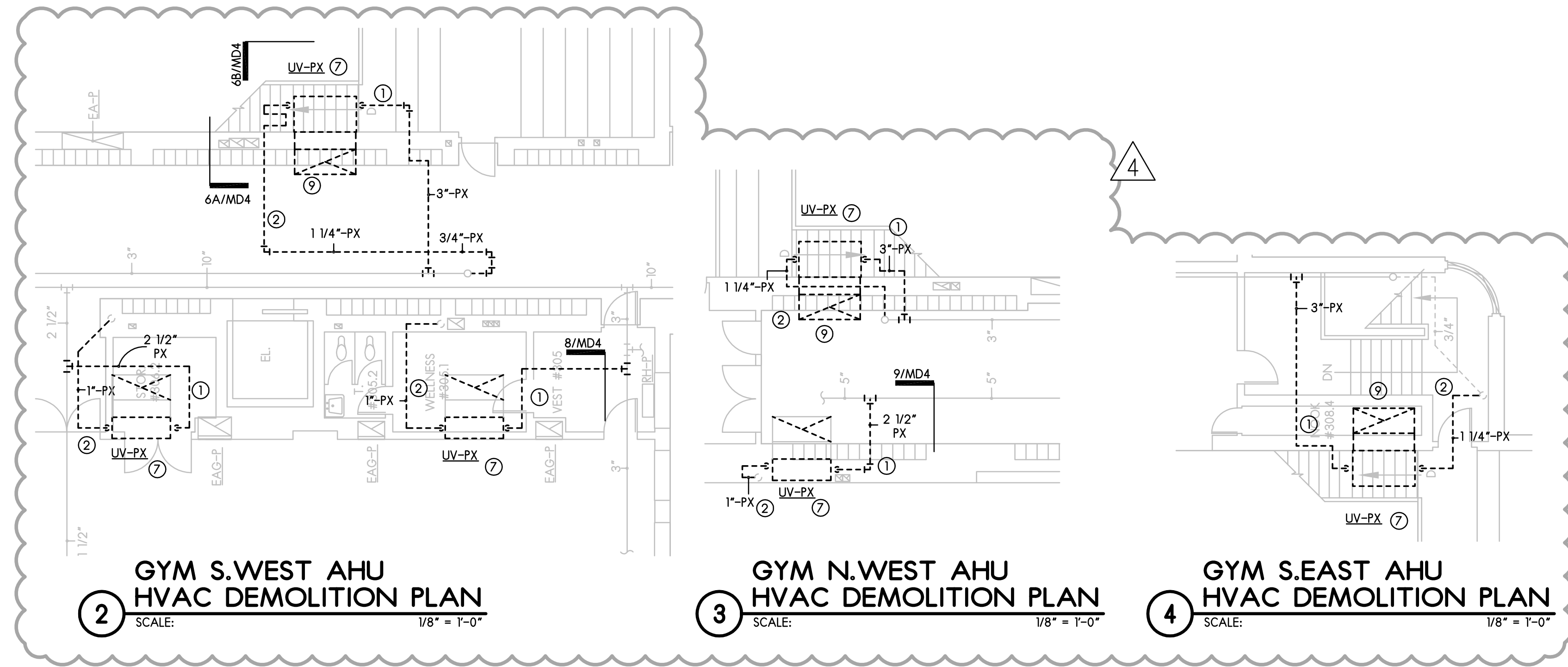
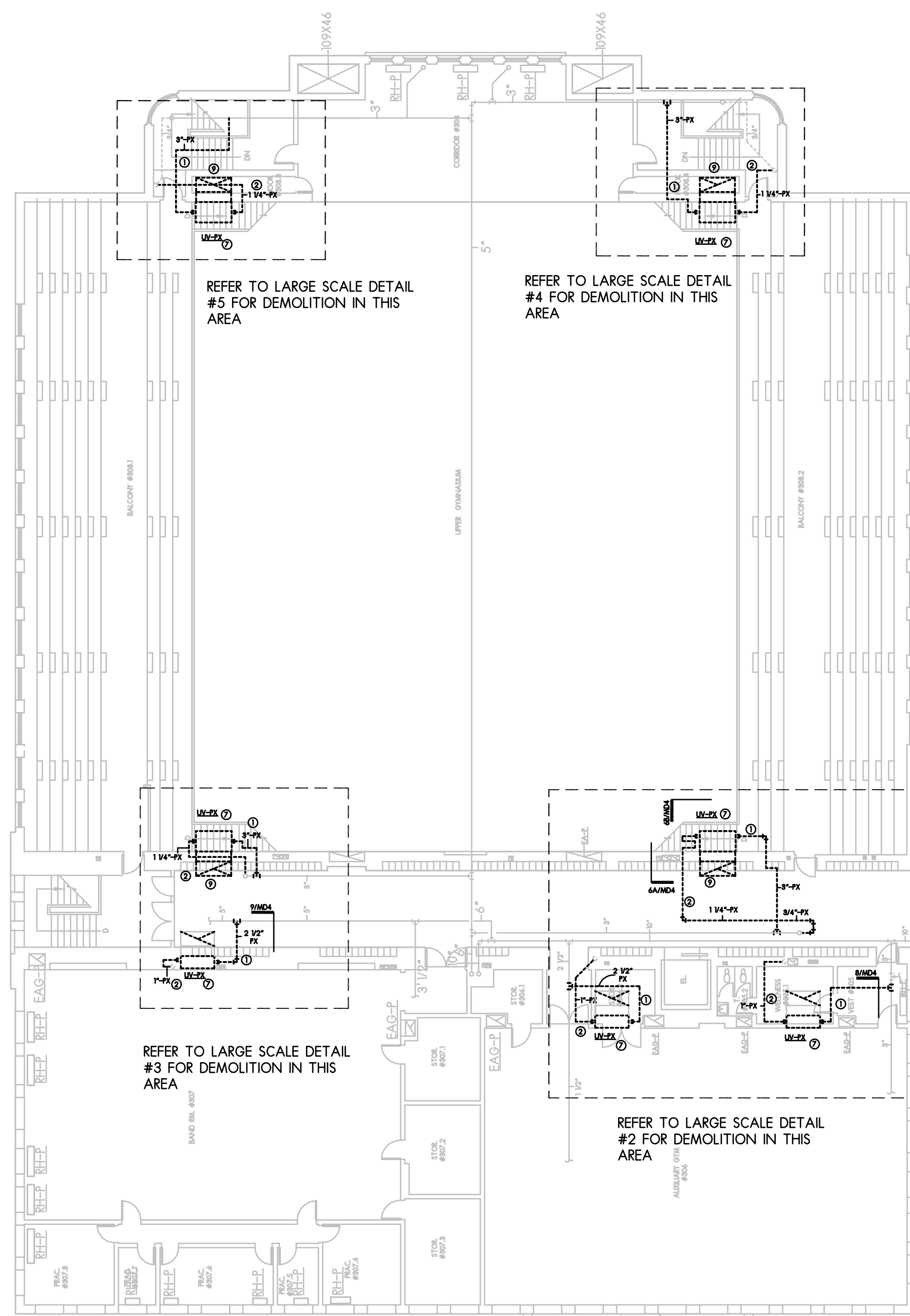
KEY PLAN
NO SCALE

HVAC 2ND FLR. DEMOLITION PLANS

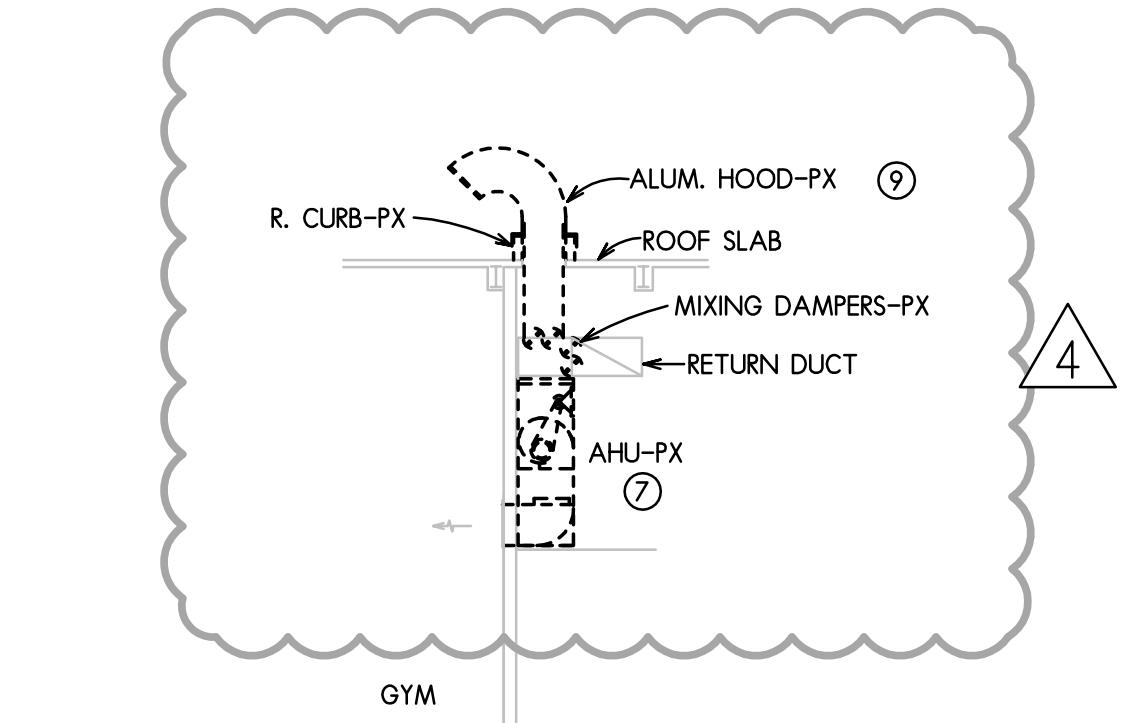
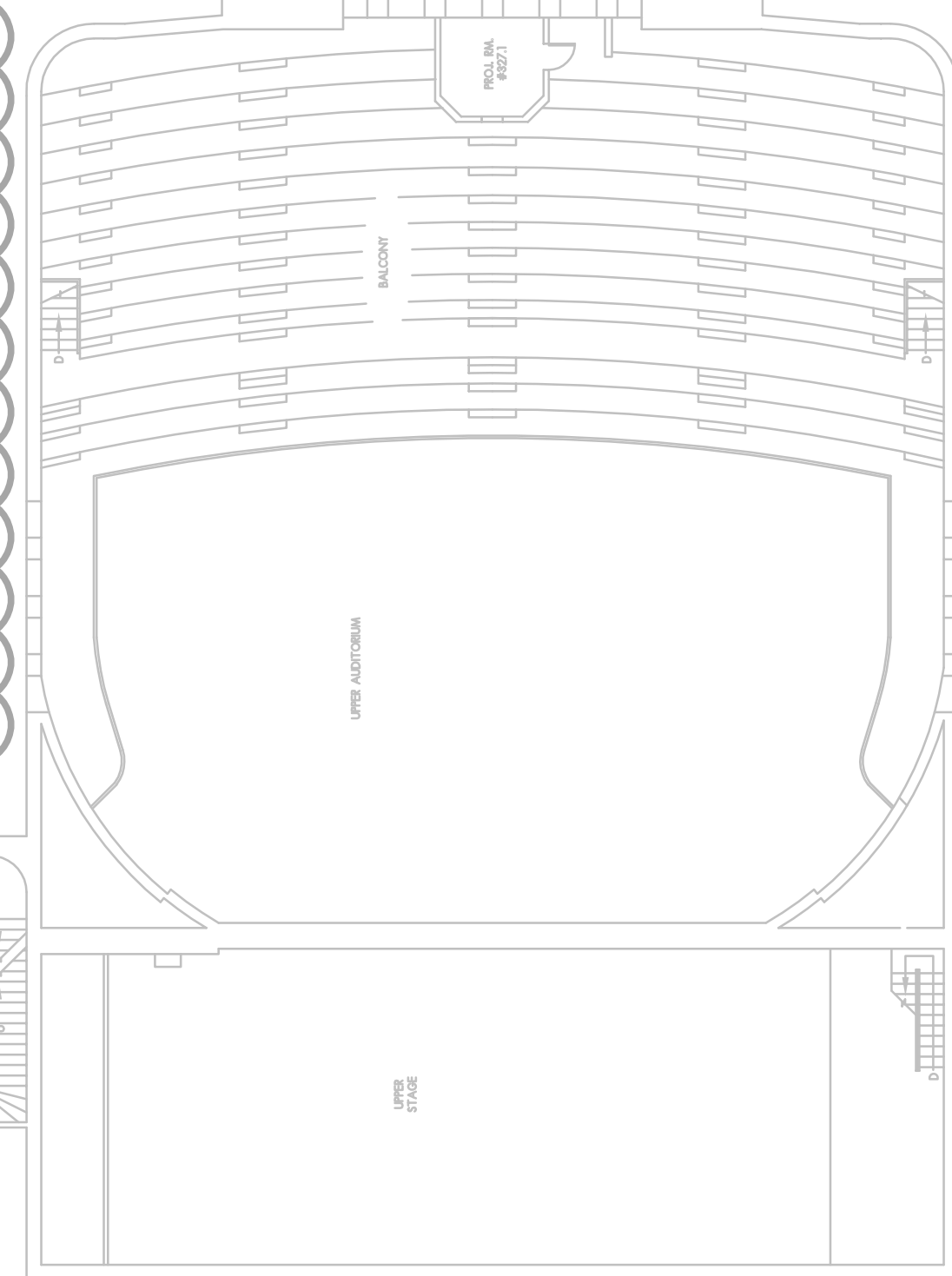
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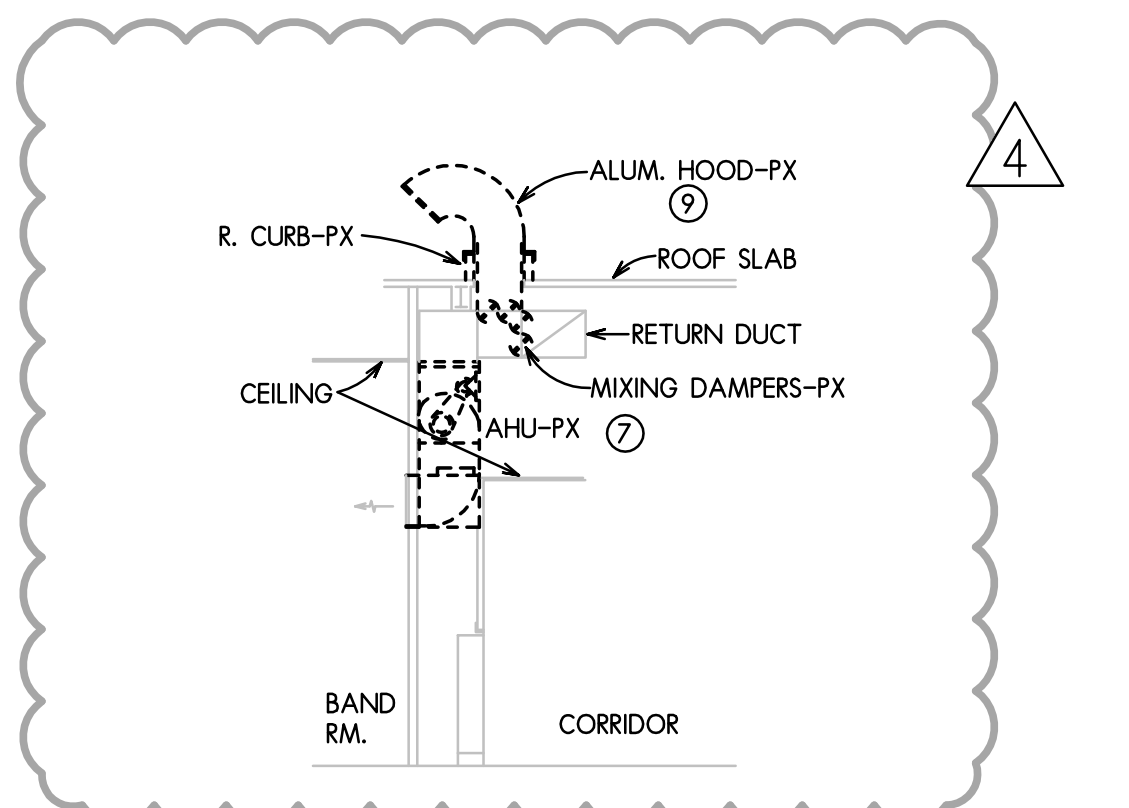




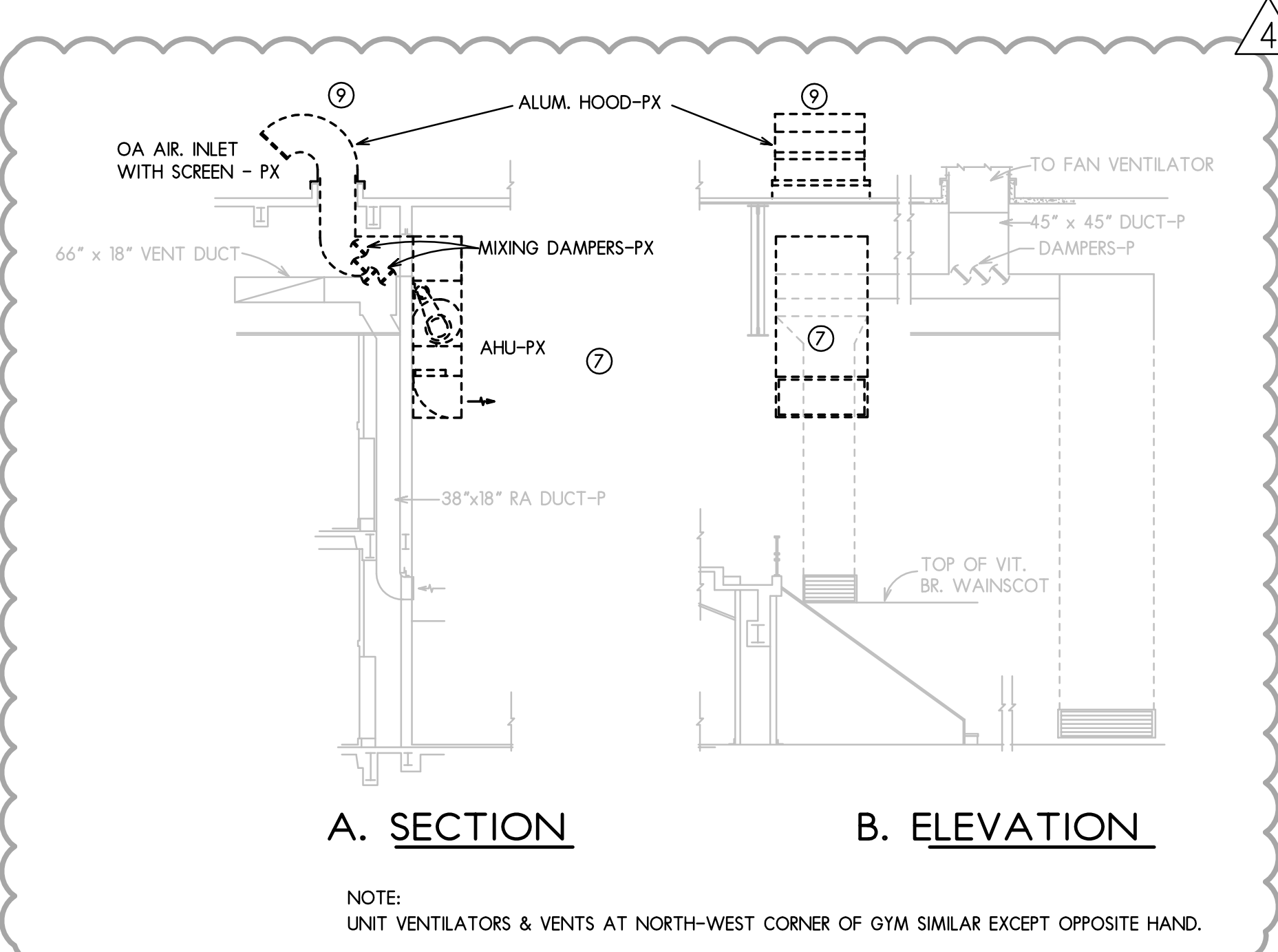
1 OVERALL THIRD FLOOR DEMOLITION PLAN
SCALE: 1/16" = 1'-0"



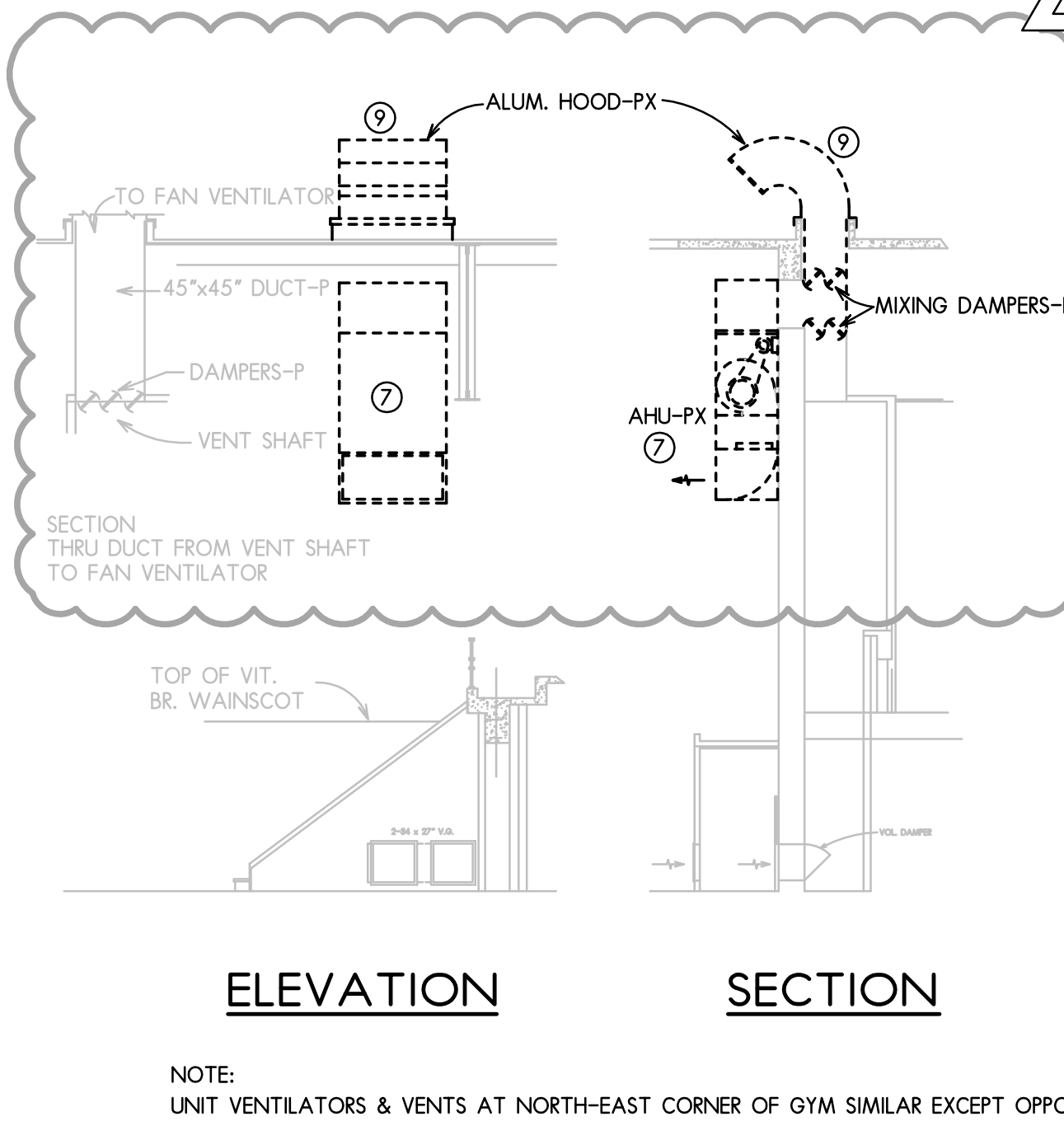
8 SECT. THRU. UNIT VENTILATORS IN AUXILIARY GYM.
NO SCALE



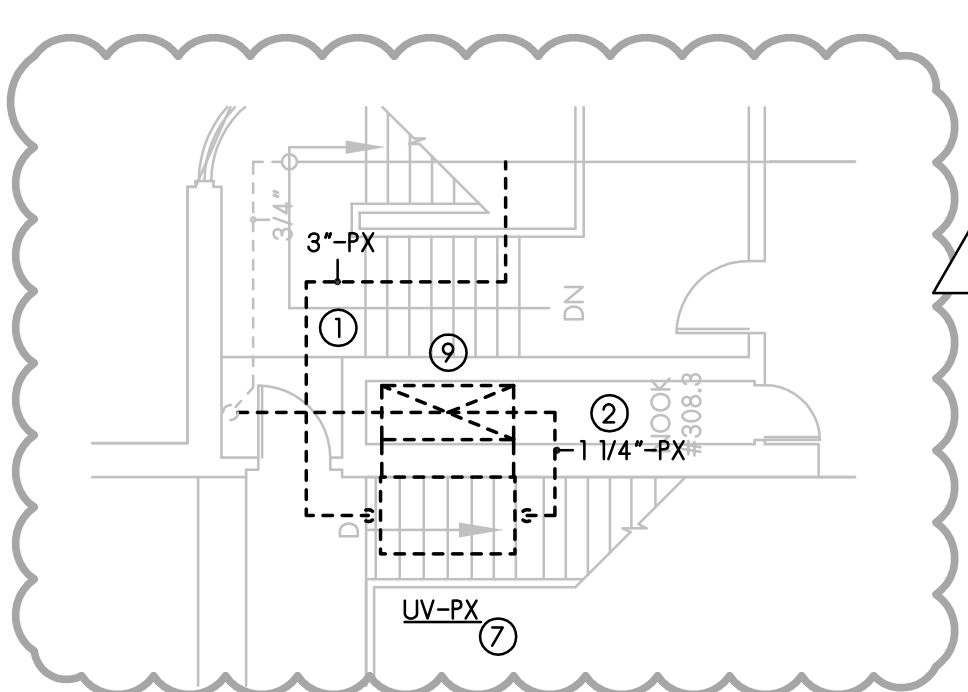
9 SECT. THRU. UNIT VENTILATORS IN BAND RM.
NO SCALE



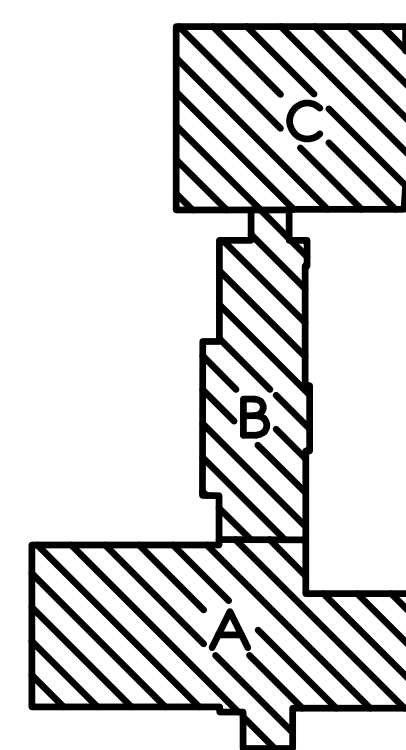
6 DETAILS OF UNIT VENTILATORS AND VENTS AT SOUTH WEST CORNER OF GYM
NO SCALE



7 DETAILS OF UNIT VENTILATORS AND VENTS AT SOUTH EAST CORNER OF GYM
NO SCALE



5 GYM N.EAST AHU HVAC DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE

HVAC DEMOLITION KEYED NOTES SHEETS MD1 THRU MD5:

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- REMOVE EXISTING SUPPLY FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC...
- REMOVE EXISTING EXHAUST/RETURN FAN ASSEMBLY IN ITS ENTIRETY. REMOVE FAN WHEEL, HOUSING, MOTOR, SUPPORTS, SHAFTS, PULLEYS, BELTS, ETC...
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- REMOVE EXISTING T-STAT AND ASSOCIATED PNEUMATIC TUBING.
- REMOVE EXISTING UNIT HEATER AND ASSOCIATED STEAM SUPPLY/CONDENSATE BACK TO MAIN AND CAP.
- REMOVE EXISTING SA/RA DUCT & GRILLE AS SHOWN. CAP WALL OPENING AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- REMOVE EXISTING WINDOW-TYPE AIR CONDITIONER.
- REMOVE EXISTING AHU AS SHOWN IN ITS ENTIRETY. REMOVE CONTROL TUBING AND WIRING AND PREPARE TO INSTALL NEW UNIT AS SHOWN ON NEW WORK PLAN.
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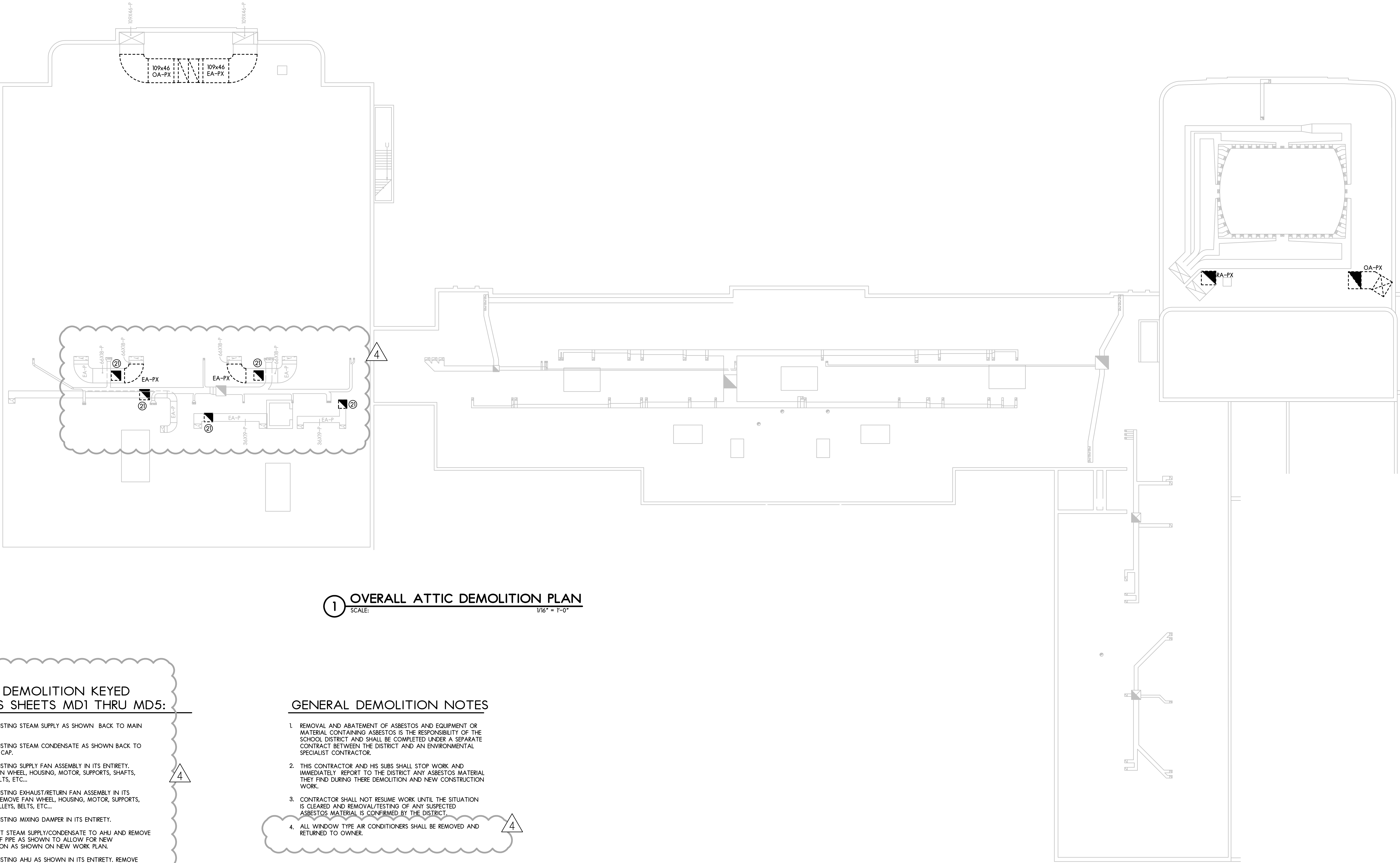
HVAC 3RD FLR. DEMOLITION PLANS

SCALE: AS NOTED



ISSUED FOR:	01-21-22	ISSUED FOR:	BIDDING
ADDENDUM 4	02-08-22		
DRAWN BY:	CHECKED BY:	APPROVED BY:	RAS
JJ			

DATE: 01-21-2021	PROJECT NUMBER	SHEET NUMBER
	31029-01	MD4



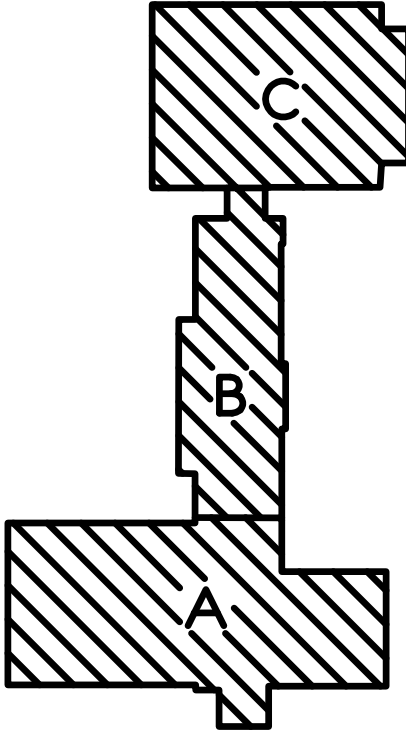
1 OVERALL ATTIC DEMOLITION PLAN
SCALE: 1/16" = 1'-0"

HVAC DEMOLITION KEYED
NOTES SHEETS MD1 THRU MD5:

- 1 REMOVE EXISTING STEAM SUPPLY AS SHOWN BACK TO MAIN AND CAP.
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- 10 REMOVE EXISTING FAN COIL UNIT AND ASSOCIATED COOING COIL, SUPPLY/RETURN DUCTWORK, CONTROLS, ETC...
- 11 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING.
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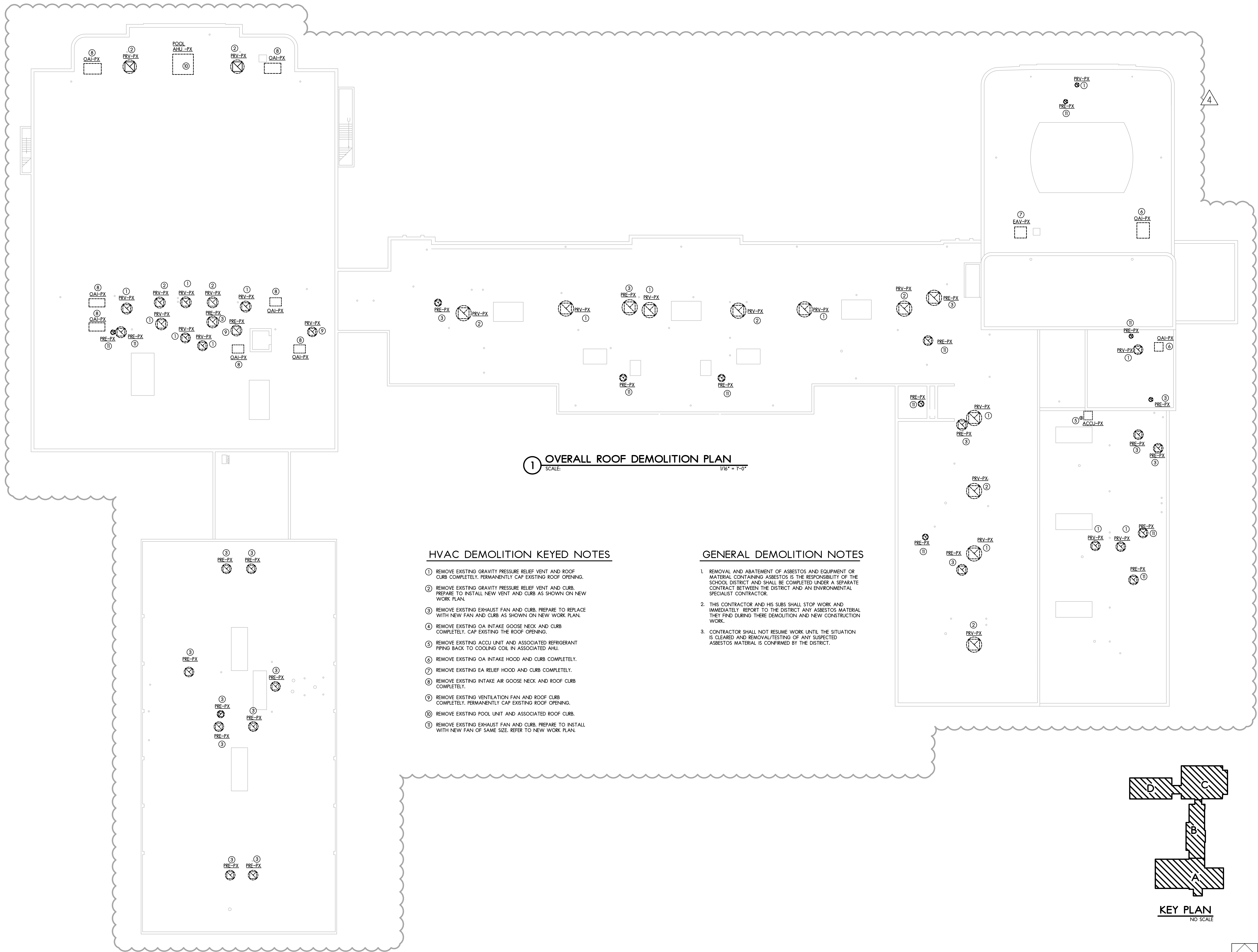
KEY PLAN
NO SCALE

HVAC ATTIC DEMOLITION PLANS

SCALE: AS NOTED

ISSUED FOR:	01-21-22	ISSUED FOR:	BIDDING
ADDENDUM 4	02-08-22		
DRAWN BY:	CHECKED BY:	APPROVED BY:	RAS
JJ			

DATE: 01-21-2022	PROJECT NUMBER	SHEET NUMBER
31029-01		MD5



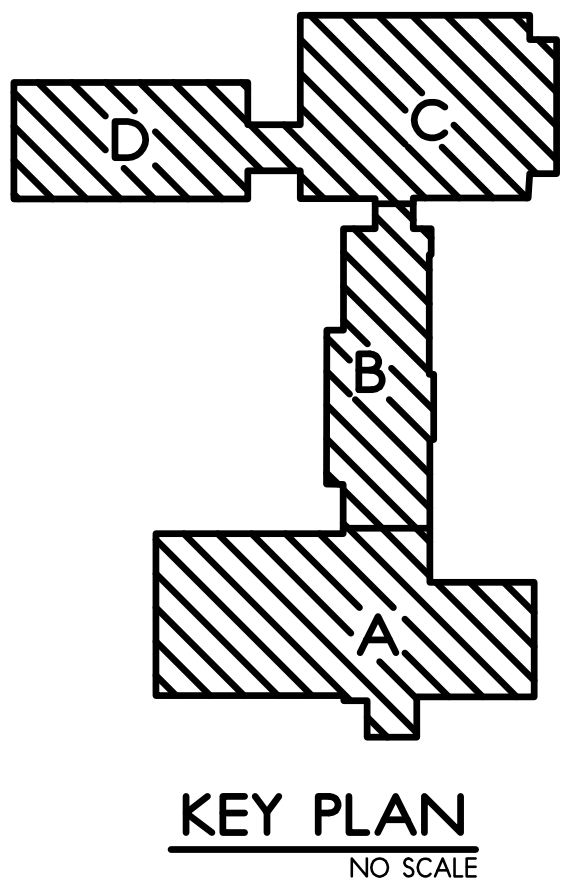
1 OVERALL ROOF DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

HVAC DEMOLITION KEYED NOTES

- 1 REMOVE EXISTING GRAVITY PRESSURE RELIEF VENT AND ROOF CURB COMPLETELY. PERMANENTLY CAP EXISTING ROOF OPENING.
- 2 REMOVE EXISTING GRAVITY PRESSURE RELIEF VENT AND CURB. PREPARE TO INSTALL NEW VENT AND CURB AS SHOWN ON NEW WORK PLAN.
- 3 REMOVE EXISTING EXHAUST FAN AND CURB. PREPARE TO REPLACE WITH NEW FAN AND CURB AS SHOWN ON NEW WORK PLAN.
- 4 REMOVE EXISTING OA INTAKE GOOSE NECK AND CURB COMPLETELY. CAP EXISTING THE ROOF OPENING.
- 5 REMOVE EXISTING ACCU UNIT AND ASSOCIATED REFRIGERANT PIPING BACK TO COOLING COIL IN ASSOCIATED AHU.
- 6 REMOVE EXISTING OA INTAKE HOOD AND CURB COMPLETELY.
- 7 REMOVE EXISTING EA RELIEF HOOD AND CURB COMPLETELY.
- 8 REMOVE EXISTING INTAKE AIR GOOSE NECK AND ROOF CURB COMPLETELY.
- 9 REMOVE EXISTING VENTILATION FAN AND ROOF CURB COMPLETELY. PERMANENTLY CAP EXISTING ROOF OPENING.
- 10 REMOVE EXISTING POOL UNIT AND ASSOCIATED ROOF CURB.
- 11 REMOVE EXISTING EXHAUST FAN AND CURB. PREPARE TO INSTALL WITH NEW FAN OF SAME SIZE. REFER TO NEW WORK PLAN.

GENERAL DEMOLITION NOTES

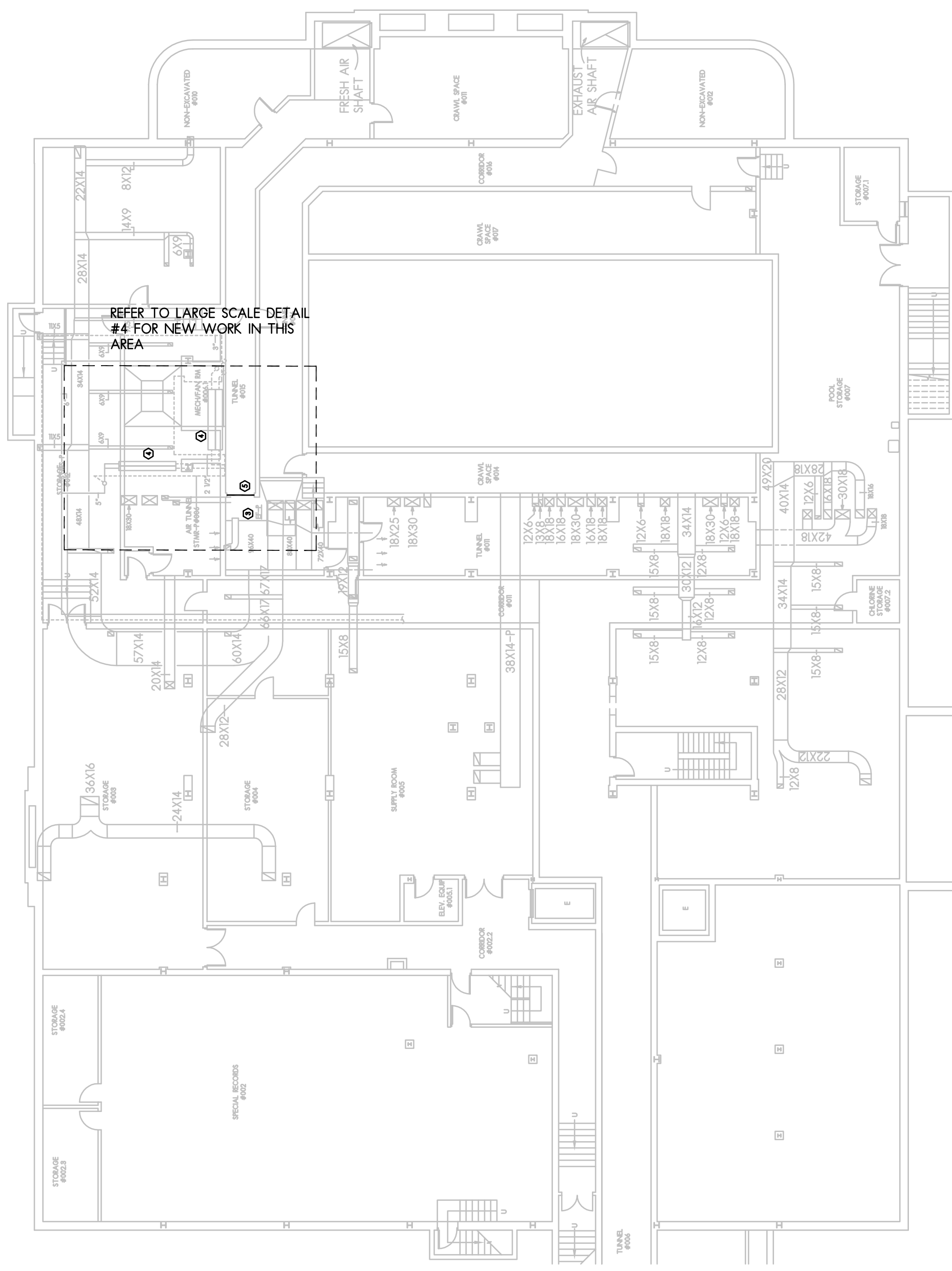
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HVAC ROOF DEMOLITION PLANS
SCALE: AS NOTED

ISSUED FOR:	01-21-22	ISSUED FOR:	BIDDING
ADDENDUM 4	02-08-22		
DRAWN BY:	CHECKED BY:	APPROVED BY:	RAS
JJ			

DATE: 01-21-2021	PROJECT NUMBER	SHEET NUMBER
31029-01		MD6



REFER TO LARGE SCALE DETAIL
#4 FOR NEW WORK IN THIS
AREA

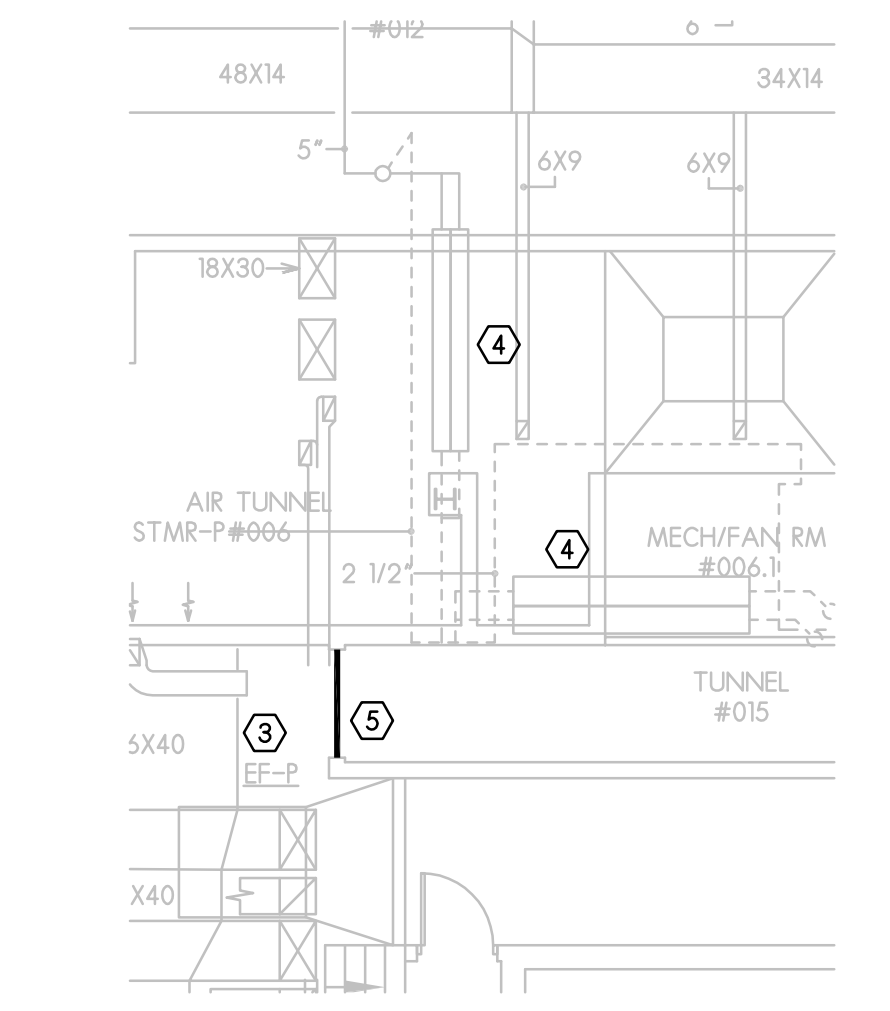
1 OVERALL BASEMENT NEW WORK PLAN
SCALE: 1/16" = 1'-0"

KEYED NOTES

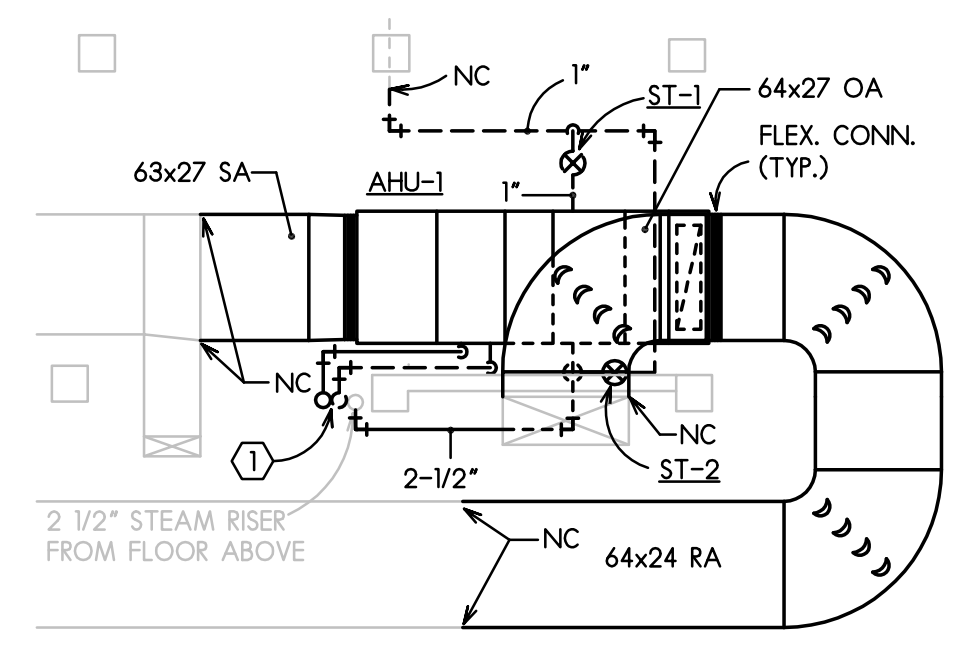
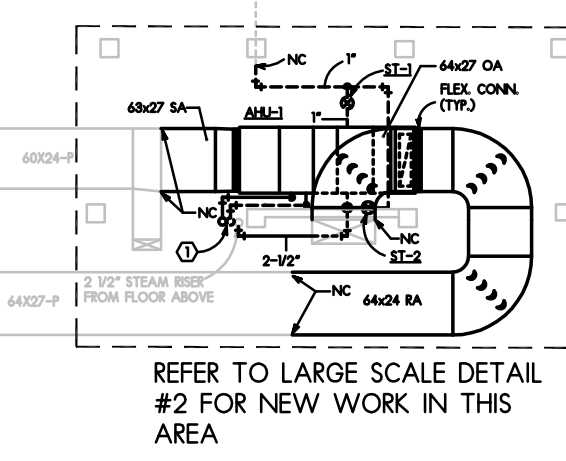
- REFRIGERANT LIQUID & SUCTION LINES UP THRU FLOOR TO ACCU-10 ON ROOF. SIZE PER MFR RECOMMENDATION VERTICAL RISE AND TOTAL PIPE LENGTH.
- REMOVE ALL EXISTING PNEUMATIC CONTROLS ON EXISTING FAN AND REPLACE WITH NEW ELECTRIC CONTROLS. INTERLOCK FAN WITH RTU-4. REFER TO SEQUENCE OF OPERATION FOR MORE CONTROLS INFO.
- REMOVE ALL EXISTING PNEUMATIC CONTROLS ON EXISTING FAN AND REPLACE WITH NEW ELECTRIC CONTROLS. INTERLOCK FAN WITH PU-1. REFER TO SEQUENCE OF OPERATION FOR MORE CONTROLS INFO.
- REMOVE ALL EXISTING PNEUMATIC CONTROLS ON EXISTING STEAM COILS AND REPLACE WITH NEW ELECTRIC CONTROLS. INTERLOCK CONTROLS WITH PU-1 CONTROLS PER SEQUENCE OF OPERATION.
- PERMANENTLY CAP EXISTING MIXED AIR OPENING. PROVIDE & INSTALL INSULATED SHEET METAL PANEL AND SEAL AIR-TIGHT.

GENERAL CONSTRUCTION NOTES

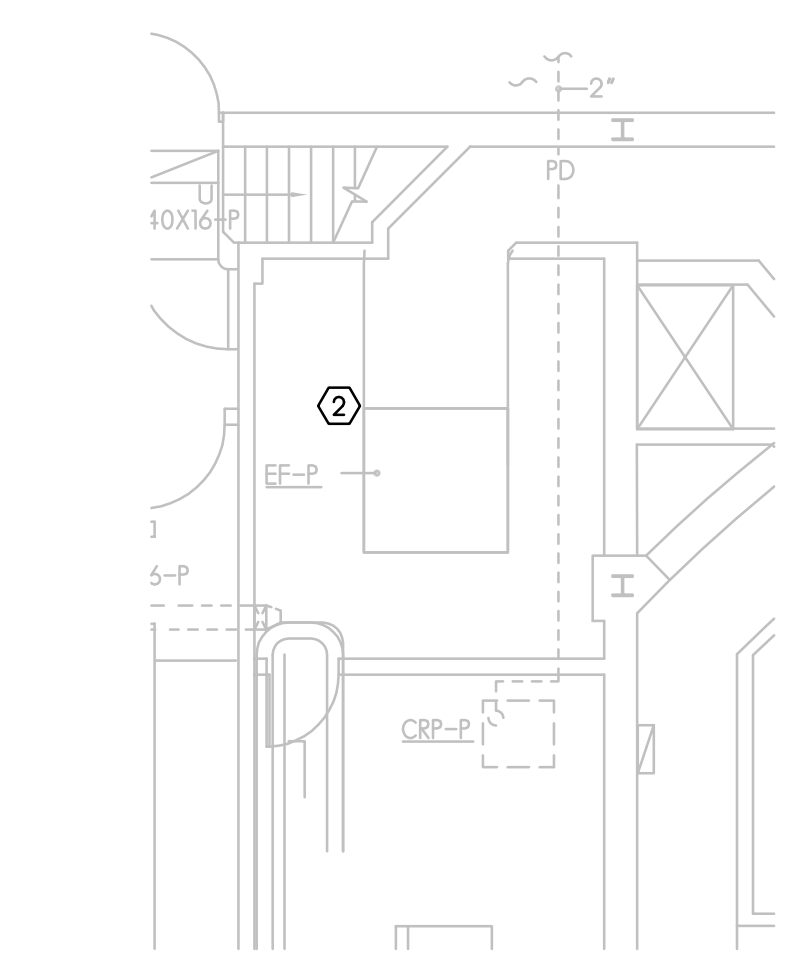
- CONTRACTOR SHALL CLEAN ALL EXISTING DUCTWORK (SUPPLY / RETURN / EXHAUST) ASSOCIATED WITH THIS PROJECT.
- MODIFY EXISTING DDC CONTROL SYSTEM AND PROVIDE ALL REQUIRED MATERIAL TO ACCOMMODATE NEW AIR-CONDITIONING SYSTEM ADDED TO THIS PROJECT.
- CONTRACTOR SHALL PROVIDE & INSTALL NEW FULLY FUNCTIONAL VRF SYSTEM AS SHOWN AND DESCRIBED IN THIS PROJECT.
- CONTRACTOR SHALL FIELD VERIFY AND SURVEY ALL EXISTING CONDITIONS AND SHALL ROUTE NEW REFRIGERATION PIPING ACCORDINGLY.
- PROVIDE ARCHITECTURAL PIPE COVER FOR NEW EXPOSED REFRIGERANT PIPING INSTALLED UNDER THIS PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE INSTALLED ON ROOF CURBS OR EQUIPMENT RAILING/SUPPORT.
- UNUSED AND/OR INACTIVE STEAM PIPES AS A RESULT OF THIS PROJECT AND/OR DEMOLITION WORK SHALL BE CAPPED AT THE MAIN OR TRAPPED/DRAINED PROPERLY.
- ALL EXPOSED DUCTWORK IN UNCONDITIONED SPACE SHALL BE FULLY INSULATED TO PREVENT CONDENSATION.



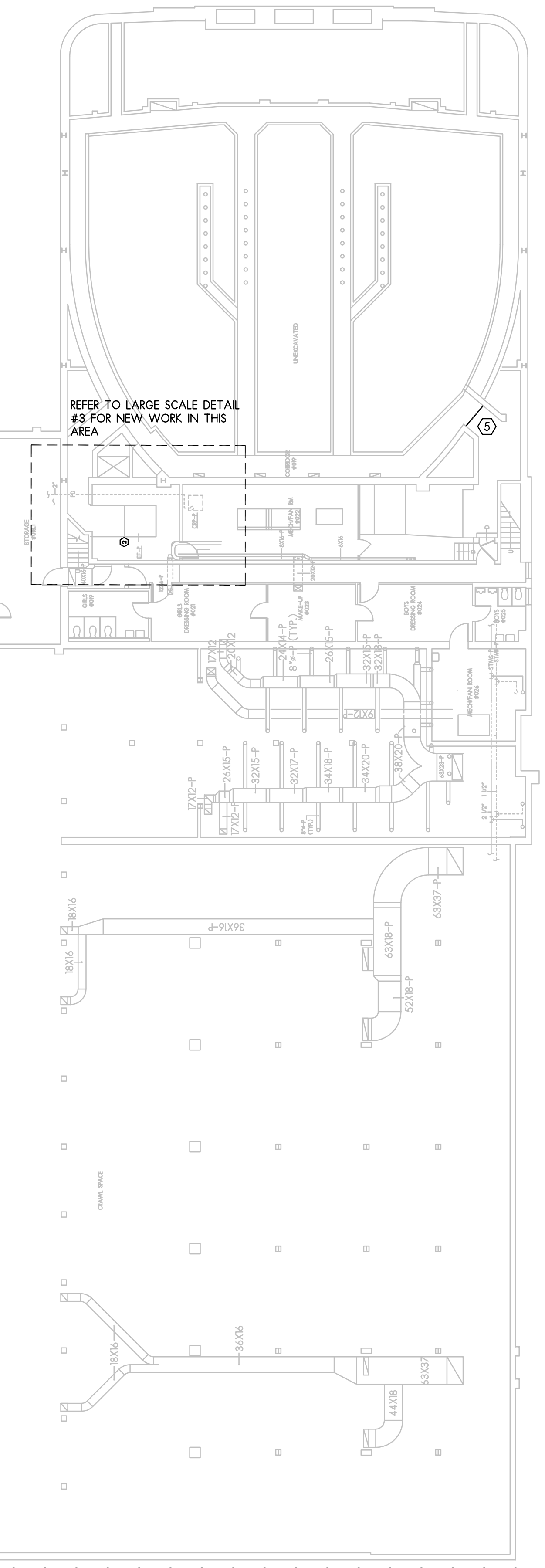
3 POOL HEATING COIL & RF HVAC NEW WORK PLAN
SCALE: 1/8" = 1'-0"



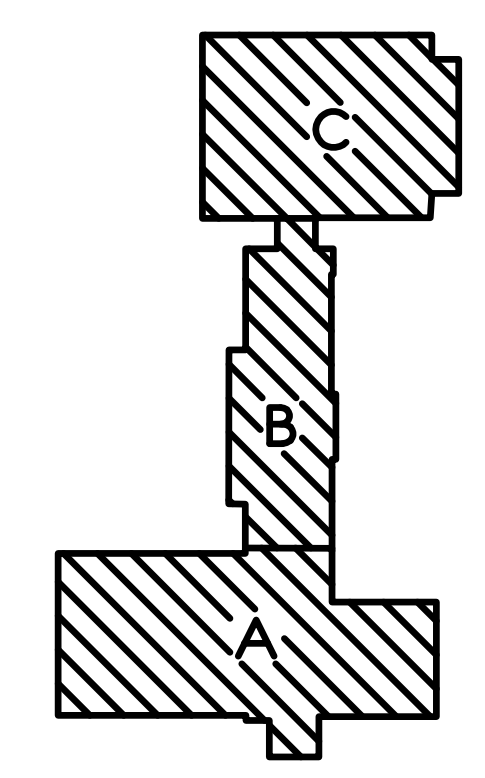
2 LIBRARY AHU HVAC NEW WORK PLAN
SCALE: 1/8" = 1'-0"



3 AUDITORIUM RF HVAC NEW WORK PLAN
SCALE: 1/8" = 1'-0"



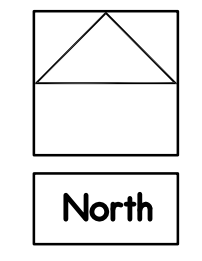
REFER TO LARGE SCALE DETAIL
#3 FOR NEW WORK IN THIS
AREA



KEY PLAN
NO SCALE

HVAC BASEMENT NEW WORK PLANS

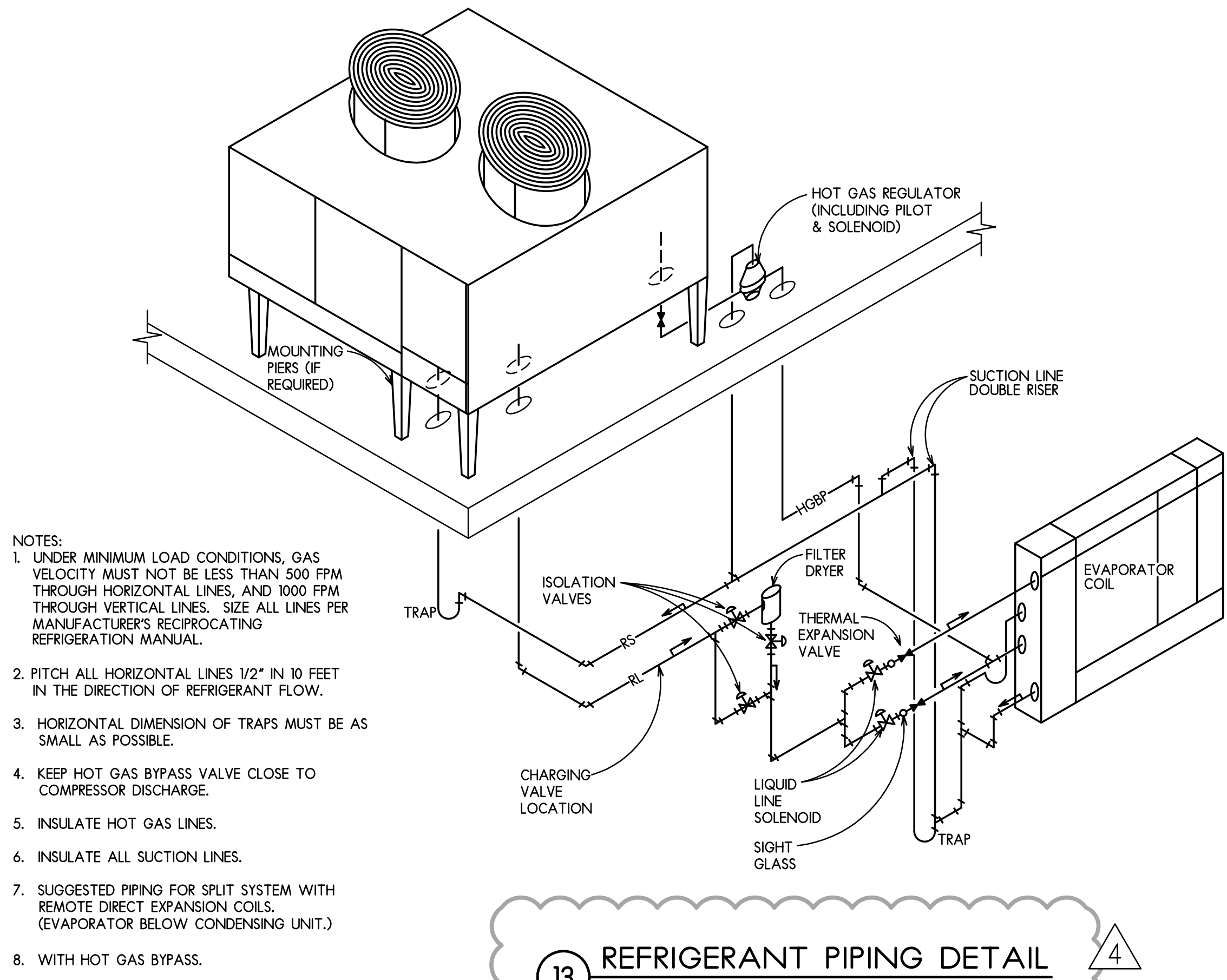
SCALE: AS NOTED



DATE: 01-21-2021	ISSUED FOR: 01-21-22	ISSUED FOR: 01-21-22	BIDDING
PROJECT NUMBER	ADDENDUM 4	02-08-22	
SHEET NUMBER			
	DRAWN BY:	CHECKED BY:	APPROVED BY:
	JJ		RAS

WEST MIDDLE SCHOOL HVAC SYSTEM UPGRADES
RPS DISTRICT 205 - PROJECT #2242 - IFB #22-22
1900 N ROCKTON AVE, ROCKFORD IL, 61103

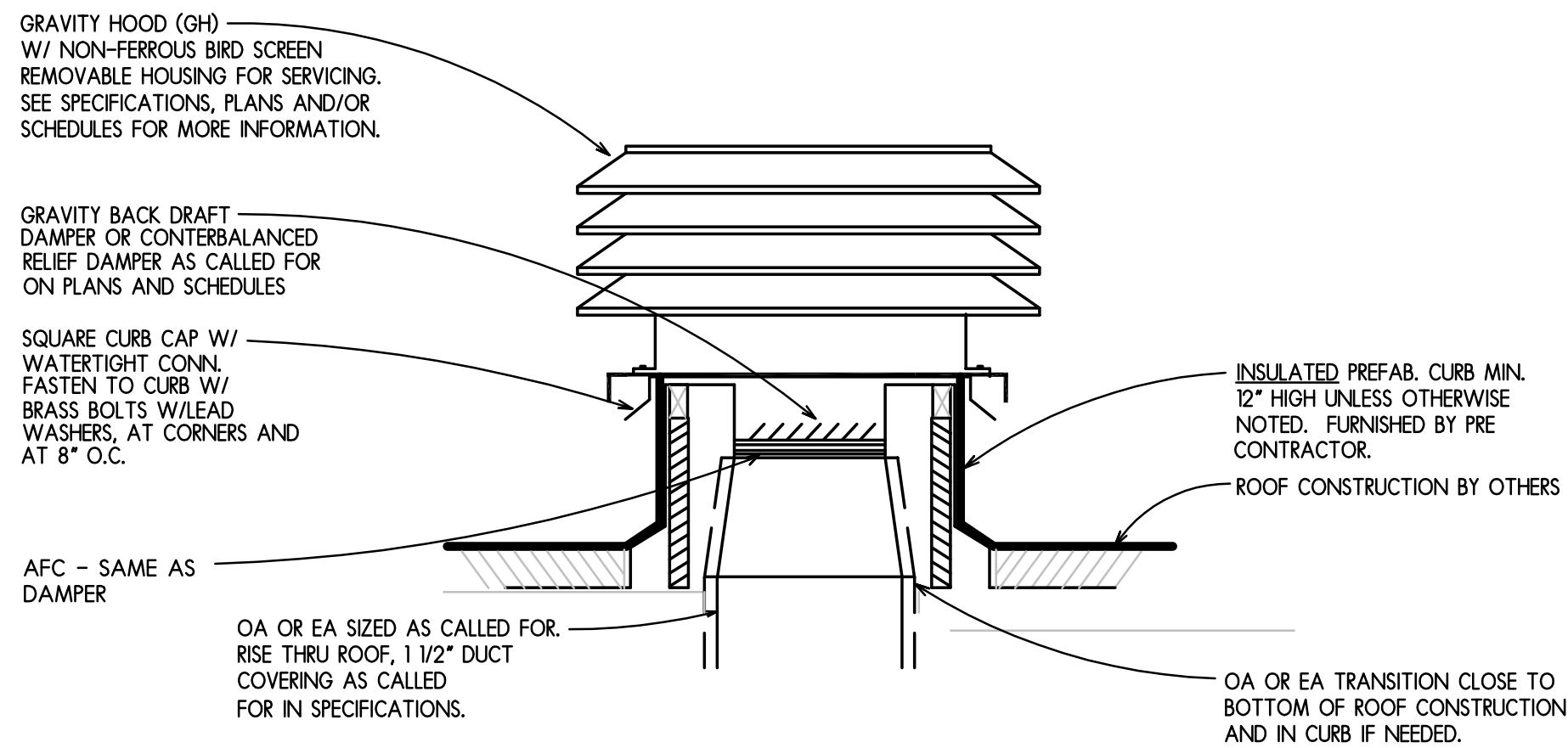
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13 REFRIGERANT PIPING DETAIL

NTS

4



14 GRAVITY HOOD (GH) DETAIL

NTS

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