

QUALIFIED FOR THIS WORK AND MUST, WITHOUT DIRECTION, FURNISH AND INSTALL EVERYTHING NECESSARY TO

PROVIDE COMPLETE CONSTRUCTION AND ACCEPTABLE ORDER, READY FOR USE WITHOUT ADDITIONAL WORK.

## 

### MASONRY RESTORATION AND REPOITING AT 10 SCHOOLS

# Rockford School District #205

501 7th Street

ROCKFORD, ILLINOIS



Conklin Elementary School 3003 Halsted Road Rockford, Illinois 61101

Johnson Elementary School 3805 Rural Street Rockford, Illinois 61107

Lathrop Elementary School 2603 Clover Avenue Rockford, Illinois 61102

Summerdale Early Childhood Ctr 3320 Glenwood Avenue Rockford, Illinois 61103

ROOM NUMBER/CEILING HEIGHT

GROUP A

#### SHEET INDEX IFB 12-22 SEALS **ABBREVIATIONS** SHEET DESCRIPTION SHEET DESCRIPTION ROUGH OPENING LINEAR FOOT ADJACENT EQUIPMENT SOLID CORE EXIST (EX) ABOVE FINISH FLOOR EXIST LEFT HAND LH LLH CONKLIN ELEMENTARY SCHOOL - RPS205 2101 - BFA 1177A SUMMERDALE EARLY CHILDHOOD CENTER - RPS205 2111 - BFA 1117J SQUARE FOOT <sub>M</sub>rinR□B ELECTRIC WATER COOLER LONG LEG HORIZONTAL (SUBFLOOR OR SLAB) CONKLIN KEY PLAN AND MASONRY NOTES SUMMERDALE KEY PLAN AND MASONRY NOTES AHJ ALUM ALT. EXTERIOR LONG LEG VERTICAL AUTHORITIES HAVING JURISDICTION SIMILAR BELLES MAS MECH. MDF MFGR (MFR) FLOOR DRAIN ALUMINUM MASONRY STAINLESS STEEL CONKLIN ELEVATIONS SUMMERDALE ELEVATIONS FIRE EXTING., BRACKET MOUNTED ALTERNATE MECHANICAL 001-013146 MEDIUM DENSITY FIBERBOARD MANUFACTURER ACOUSTIC PANEL CONKLIN ELEVATIONS SUMMERDALE ELEVATIONS BOTTOM OF FIRE EQUIPMENT CABINET STRUCTURAL FIXT FIXTURE MIN M.O. MTD MTL (MET) BUILDING SUSP SUSPENDED FNDN BLKG BLOCKING FOUNDATION MASONRY OPENING S CONC SEALED CONCRETE F.O.W. FACE OF WALL MOUNTED TREAD TOP OF B.O. BOT. BRD (BD FIBERGLASS REINFORCED BY OWNER JOHNSON ELEMENTARY SCHOOL RPS205 2104 - BFA 1117D MFGR(MFR) MANUFACTURER T & G TONGUE & GROOVE GROUP A ALTERNATES BOARD JOHNSON KEY PLAN, MASONRY NOTES, AND ELEVATIONS TEMP TERR THK FOOTING GUAGE NOT IN CONTRACT Rob C. Belles BEARING N.I.C. TERRAZZO ALTERNATE A-I: AT CONKLIN, JOHNSON, AND LATHROP, REMOVE CHIMNEY TOTAL (3) GA. GBB CARPET CONTROL JOINT JOHNSON ELEVATIONS NTS 01-22-2001 GYPSUM BASE BOARD 0.C. 0.D. 0H THROUGH ON CENTER JOHNSON ELEVATIONS 11-30-2022 CENTER LINE OUTSIDE DIMENSION CLE COMP CONT CONT TYPICAL GYP BD GYPSUM WALL BOARD ALTERNATE A-2: AT LATHROP, PROVIDE NEW SEALANT AT DOOR FRAMES CEILING UNDERGROUND HDR HDW HM HORIZ HEADER CORRUGATED METAL PIPE CONCRETE MASONRY UNIT OPNG OPP HND OPENING OPPOSITE HAND UNDERWRITER'S LABORITORIES PROFESSIONAL DESIGN FIRM ARCHITECT CORPORATION 184-001868 HARDWARE AS INDICATED ON THE DRAWINGS. U.N.O. UNLESS NOTED OTHERWISE HOLLOW METAL P (PNT) (PT UR VERT V.I.F. URINAL VERTICAL PAINT(ED) ATHROP ELEMENTARY SCHOOL - RPS205 2105 - BFA 1117E HORIZONTAL CONCRETE CONTINUOUS PLUS OR MINUS LATHROP KEY PLAN AND MASONRY NOTES VERIFY IN FIELD HEIGHT CERAMIC TILE REMOVE THIS ITEM VENEER PLASTER DIA (4) INTERIOR DIMENSION DIAMETER LATHROP ELEVATIONS VENT THRU ROOF PLYMD PLYWOOD DIM(S) DIMENSION(S) INCLUDING VINYL WALL COVERING LATHROP ELEVATIONS INSULATION INTERIOR DRAWING RISERS WATER CLOSET JOINT REQUIRED RIGHT HAND LAVATORY EXPANSION JOINT architecture MATER RESISTANT ELECT (ELEC.) ELECTRIC(AL) GYPSUM WALL BOARD 2905 Creekside Court, Suite 'B', Rockford, IL 61114 (815)-961-0504 BellesFirm@yahoo.com **NOTES** MATERIAL INDICATIONS GRAPHIC SYMBOLS BUILDING CODES THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL AND RUBBISH DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR PROPER COMPLETION OF THE WORK 2015 ICC [IBC] INTERNATIONAL BUILDING CODE SUITABLE FOR THE INTENDED USE OF THE OWNER, ANYTHING NOT EXPRESSLY SET FORTH BUT WHICH IS AND AT THE COMPLETION OF THE WORK, SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS AND REASONABLE IMPLIED OR NECESSARY FOR PROPER PERFORMANCE OF THE PROJECT SHALL BE INCLUDED. SURPLUS MATERIALS AND LEAVE THE BUILDING BROOM - CLEAN. 2008 CDB [IAC] ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN ROUGH WOOD WORK NOT INDICATED IN ANY PART OF THESE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT THE USER OF THESE DRAWINGS AGREES TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED. 2015 ICC [IECC] INTERNATIONAL ENERGY CONSERVATION CODE REGARD TO CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY JOBSITE SAFETY PRECAUTIONS AND PROGRAMS. FURTHER THE USER OF THESE DRAWINGS SHALL HOLD THE ARCHITECT FINISH WOOD 2015 ICC [IFC] INTERNATIONAL FIRE CODE GRAVEL OR SAND FILL HARMLESS FOR COST AND PROBLEMS ARISING FROM NEGLIGENCE OF CONTRACTOR, SUBCONTRACTOR, NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WEATHER REPEATED OR NOT 2014 NFPA 70 [NEC] NATIONAL ELECTRICAL CODE TRADESMEN, OR WORKMEN. THE USE OF THESE DRAWINGS ALSO IMPLIES THAT THE ARCHITECT SHALL TAKE NO RESPONSIBILITY FOR THE PLANNED USER'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS, OR INSUFFICIENT INFORMATION CONCRETE PLYWOOD OR SHALL SUBMIT DETAILS TO THE ARCHITECT PRIOR TO CONSTRUCTION, WHERE CONTRADICTIONS OCCUR (FOR THE CONTRACTOR ALONE IS RESPONSIBLE FOR THE SAFETY AND ADEQUACY OF HIS PLANT, APPLIANCES, BIDDING PURPOSES) THE ITEM REQUIRING THE GREATER LABOR OR MATERIAL SHALL GOVERN. METHODS AND MEANS, AND FOR DAMAGE WHICH MAY RESULT FROM THEIR IMPROPER REMOVAL, CONSTRUCTION LIGHT WEIGHT CONCRETE MAINTENANCE, OR OPERATION. HE SHALL ERECT AND PROPERLY MAINTAIN AT ALL TIMES, AS RQUIRED BY THE EACH CONTRACTOR SHALL REVIEW THE DRAWINGS OF OTHER TRADES TO VERIFY SPACES IN WHICH THEIR WORK CONDITIONS AND PROGRESS OF THE WORK, PROPER SAFEGUARDS FOR THE PROTECTION OF WORKERS, OWNER, WILL BE INSTALLED WILL BE CLEAR OF OBSTRUCTIONS. WHERE THERE IS EVIDENCE THAT WORK WILL INTERFER BRICK MASONRY AND OWNER'S PROPERTY, AND SHALL POST WARNINGS AGAINST HAZARDS CREATED BY CONSTRUCTION WITH OTHER CONTRACTORS, EACH SHALL ASSIST IN WORKING OUT SPACE CONDITIONS FOR SATISFACTORY ACOUSTICAL TILE DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. LARGE SCALE DRAWINGS AND DETAILS TAKE THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT HE HAS INDIVISIBLE, INDELEGABLE, AND REINFORCING BARS (END) ELEVATION MARK LAMINATED BEAM PRECEDENCE OVER SMALL SCALE DRAWINGS. INTRANSFEREABLE AND CONTRACTUAL OBLIGATION TO THE OWNER TO MAKE HIS OWN INSPECTIONS ON HIS OWN WORK AT THE STAGES OF CONSTRUCTION AND SHALL SUPERVISE AND SUPERINTEND PERFORMANCE OF WORK IN ALL LABOR, MATERIALS, AND CONSTRUCTION SHALL COMPLY AND CONFORM WITH ALL RULES, REGULATIONS, SUCH MANNER AS TO ENABLE HIM TO CONFIRM, CERTIFY, AND CORROBORATE AT ALL TIMES THAT ALL WORK HAS REINFORCING BARS (SIDE) VAPOR BARRIER CODES AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE BEEN EXECUTED ACCORDING TO THE CONTRACT DOCUMENTS. DOOR NUMBER WORK, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE AMERICAN WITH DISABILITIES ALL CONTRACTORS AND SUB-CONTRACTORS, EACH AS HIS OWN TRADE APPLIES, SHALL BE RESPONSIBLE FOR ACT (ADA). CONCRETE BLOCK ACQUAINTING HIMSELF WITH THE ANSI AII7.I, THE STATE OF ILLINOIS CAPITAL DEVELOPMENT BOARD RIGID INSULATION THE CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL WORK SHOWN OR ACCESSIBILITY CODE, AND THE FEDERAL AMERICANS WITH DISABILITIES ACT, AND SHALL BE RESPONSIBLE FOR WALL TYPE SPECIFIED, INCLUDING TEMPORARY FACILITIES, EXCEPT AS NOTED. COMPLYING WITH THESE STANDARDS AS THEY APPLY TO WORK UNDER CONTRACT. ALL SUB-CONTRACTORS, EACH AS HIS OWN TRADE APPLIES. SHALL BE RESPONSIBLE FOR RECONCILIATION OF CONTRADICTIONS OR LOOSE OR BATT INSULATION THE CONTRACTOR WARRANTS THAT HE IS FAMILIAR WITH THE CODES AND REGULATIONS APPLICABLE TO THE INCOMPLETE INFORMATION PERTAINING TO THE ABOVE REFERENCED STANDARDS WHETHER SHOWN ON PLANS OR WORK AND THAT HE HAS THE SKILL, KNOWLEDGE, COMPETENCE, ORGANIZATION AND PLANT TO EXECUTE THE INTERIOR ELEVATION WORK PROMPTLY AND IN COMPLIANCE. STUD WALL OR PARTITION Α PLASTER OR DRYWALL THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE. THE CONTRACTOR SHALL SUPPLY ALL LABOR, TRANSPORTATION, APPARATUS, SCAFFOLDING, AND TOLLS FOR PRIOR TO SUBMITTING A BID THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL THE COMPLETION OF THE WORK, MAINTAIN AND REMOVE ANY TEMPORARY EQUIPMENT, AND CONSTRUCT THE CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION J ] I STRUCTURAL STEEL STEEL OR IRON NAME # COMPLETE WORK AND EVERYTHING PROPERLY INCIDENTAL THERETO AS STATED IN THE CONTRACT DOCUMENTS THAT COULD AFFECT THE BID. ROOM NAME/NUMBER OR REASONABLY IMPLIED THEREFROM. IT IS NOT THE INTENT OF THE CONTRACT DOCUMENTS TO SET FORTH IN IFB No. 21-11 DETAIL VERY ITEM NECESSARY TO PROVIDE FOR THE EXECUTION OF THIS PROJECT. CONTRACTOR MUST BE #

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A

COMPLETELY TIGHT FACADE. FOR ALL AREAS:
REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS
REMOVE AND REPLACE ALL CRACKED MASONRY UNITS

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS
REMOVE AND REPLACE ALL SPALLED MASONRY UNITS
GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP

REPOINT ALL OPEN JOINTS
REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT
REMOVE ALL UNUSED EMBEDMENTS

HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

I ESS THAN IMM

NO WORK REQUIRED

LESS THAN IMM

OF WORK REQUIRED

OF REATER THAN IMM BUT LESS THAN 2 MM

OF REPAIR BY FACE GROUTING

OF GREATER THAN OR EQUAL TO 2MM

OF REPAIR BY FACE GROUTING

OF REPAIR BY FACE GROUTING

OF REATER THAN OR EQUAL TO 2MM

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

MORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE:
ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT..

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK):

- CLEAN MASONRY:

WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO MINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY:

AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

% APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

I EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY
UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE

4 AT EXISTING WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND I/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5 WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6 REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL BEARING.

7 SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8 PREPARE SUBSTRATE FOR NEW JAHN REPAIR. CONTRACTOR TO VERIFY SIZE OF REPAIR DOES NOT REQUIRE ADDITIONAL PINS/ANCHORS, ELSE PROVIDE. CONTRACTOR TO VIF QUANTITY OF WORK.

9 DETACH AND RESET EXISTING CONDUIT TO ALLOW FOR PROPER POINTING AND REPAIR BEHIND.

10 PROVIDE NEW WEATHEPROOF COVER PLATE AT EXISTING JUNCTION BOX.

II AT ADDITION WINDOW SILLS: REMOVE SEALANT BETWEEN STONES. SKY AND FRONT FACE. PROVIDE NEW SEALANT AND WHERE NECESSARY NEW BACKER ROD. INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

12 GRIND AND POINT ENTIRE VERTICAL JOINT IN CORNER.

IS REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

14 REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

IS LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH LOUVER.

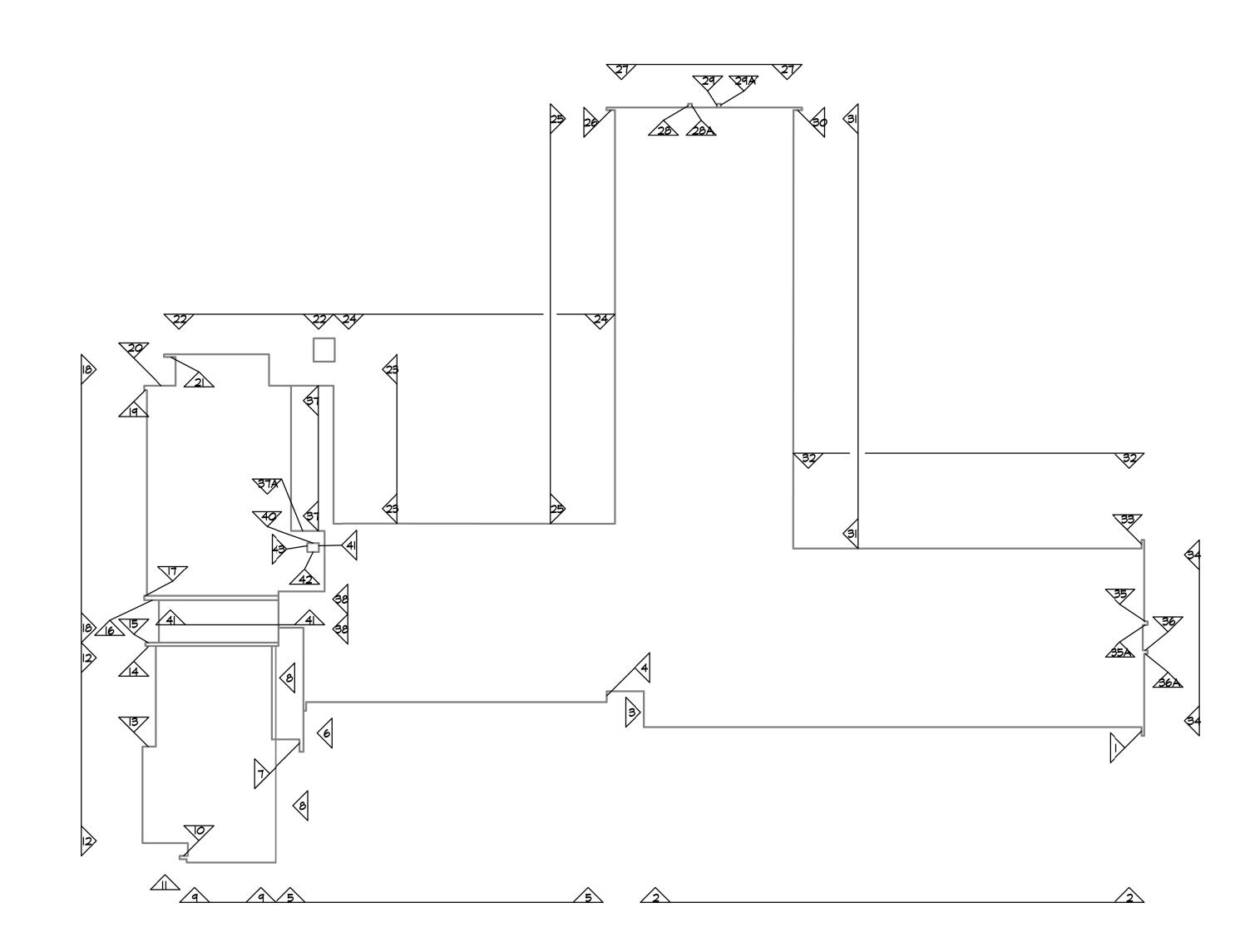
I6 CAREFULLY REMOVE PLYWOOD COVERING EXISTING GLASS BLOCK TAKING CARE TO PRESERVE GLASS BLOCK. REPLACE ALL BROKEN/CRACKED BLOCKS, APPROX. 6 BLOCKS, CONTRACTOR TO VIF. GRIND AND POINT ALL EXTERIOR JOINTS. PROVIDE SEALANT OR GLAZING COMPOUND AT ENTIRE EXTERIOR PERIMETER WHERE BLOCK MEETS STEEL CHANNEL. NOTE: IT APPEARS THERE MAY BE A HOLE IN ONE PORTION OF THE WINDOW. SEE INTERIOR.

17 EXISTING ABANDONED CHIMNEY

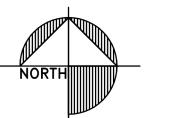
TYPICAL AT 3 SCHOOLS.

FILLED WITH MORTAR.

BASE BID: NO WORK. NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO POINTING.
ALTERNATE A-I: REMOVE CHIMNEY CONSTRUCTION DOWN TO 4"+/- ABOVE EXISTING ROOF
FLASHING. POINT REMAINING JOINTS. PROVIDE TREATED 2x NAILER SET INTO EXISTING
MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF SUPPORTING 200#
TOTAL LOAD. EDGE OF METAL COVER TO EXTEND, WITH DRIP EDGE, OVER TOP 2" OF
EXISTING FLASHING FOR WATERTIGHT CONDITION.
CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW ROOF
LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION.







\$\begin{align\*}
\begin{align\*}
\text{a } \text{ } \text{

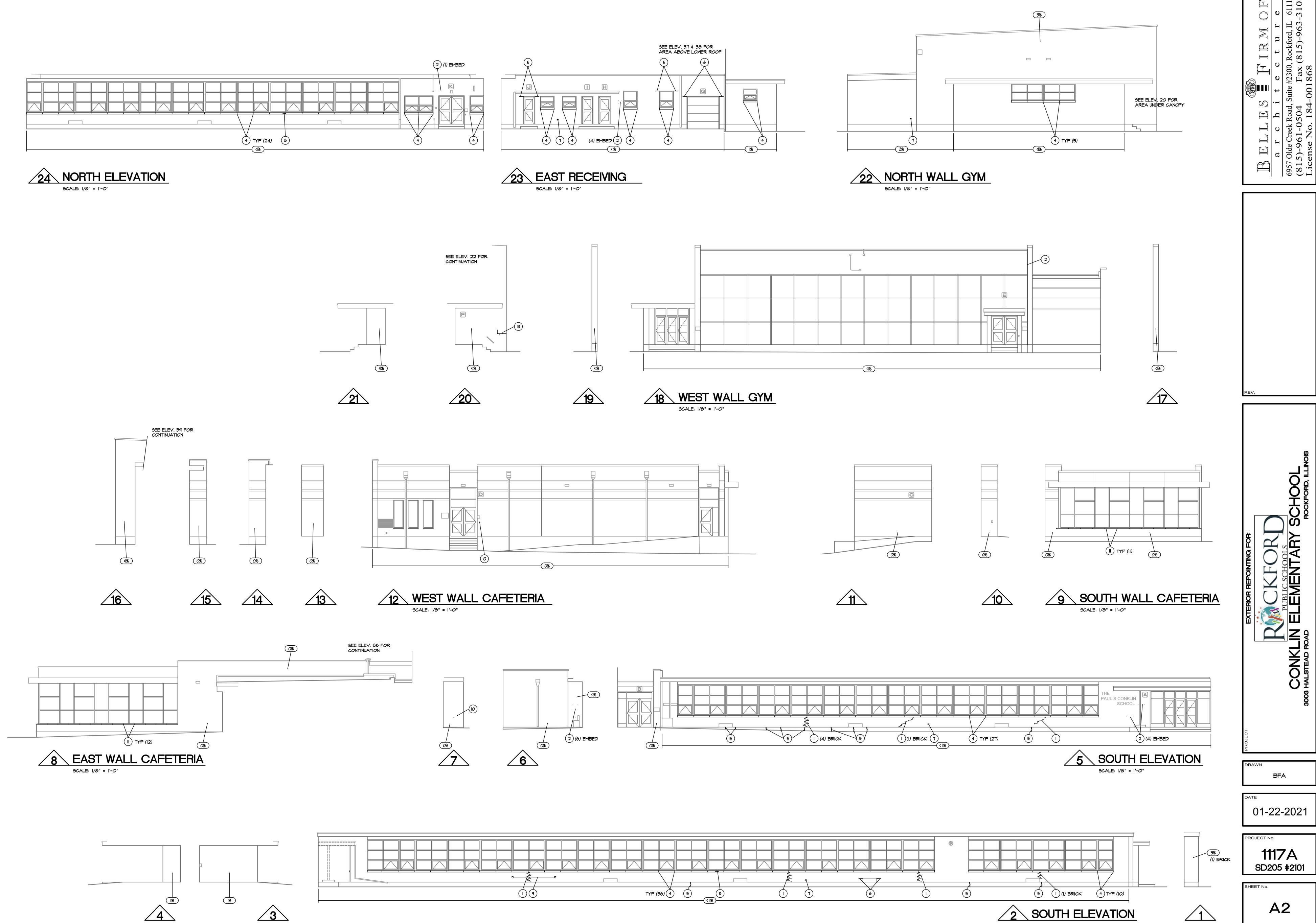
(81; Lice



01-22-2021

1117A

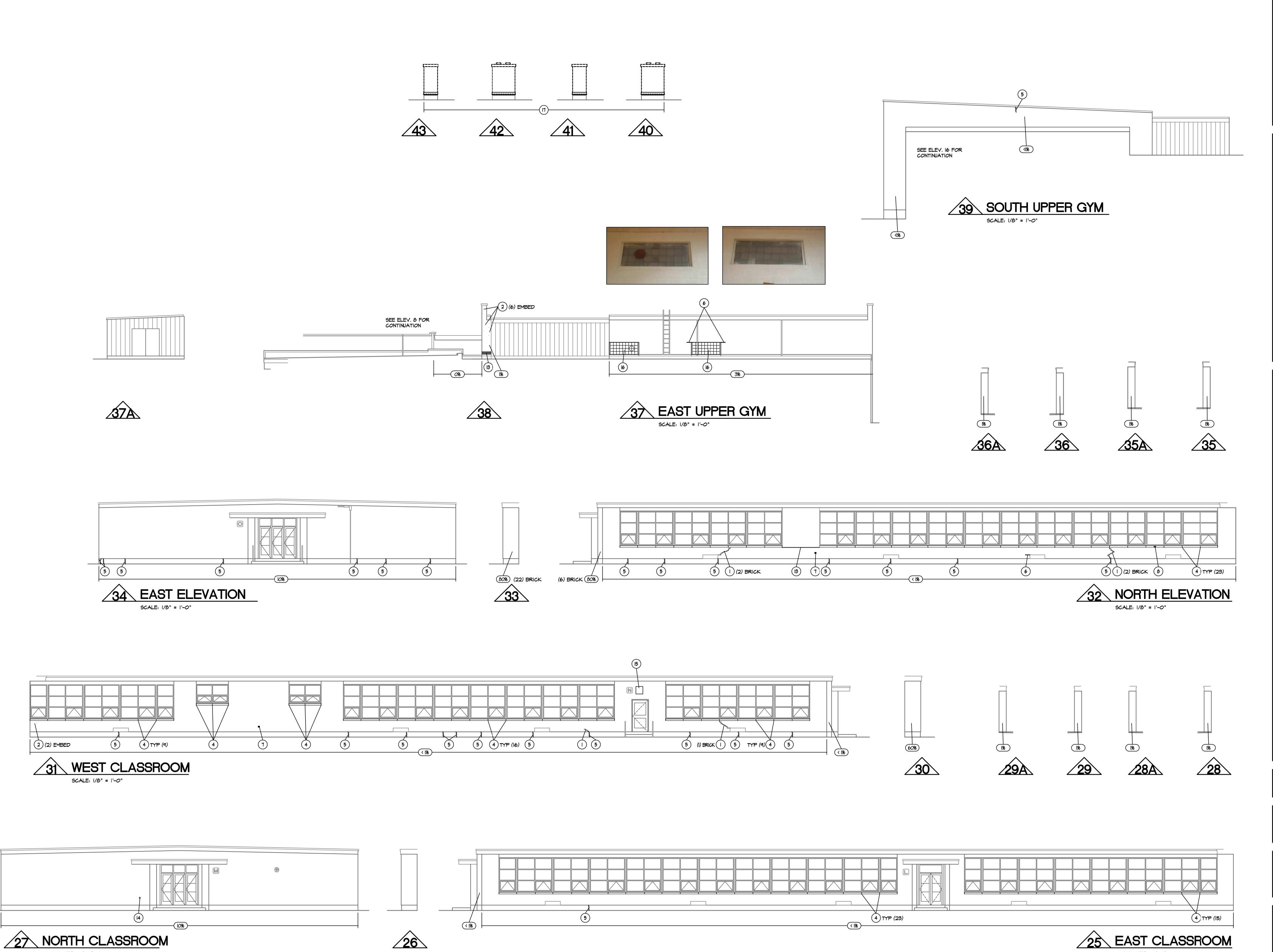
SD205 #2101



**A2** 

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

BELLES FIRM OF

a r c h i t e c t u r e

6957 Olde Creek Road, Suite #2300, Rockford, IL 61114

(815)-961-0504 Fax (815)-963-3108

License No. 184-001868

REV.

CONKLIN ELEMENTARY SCHOOL

RAWN **BFA** 

01-22-2021

1117A SD205 #2101

A3

SCALE: 1/8" = 1'-0"

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS: REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS REMOVE AND REPLACE ALL SPALLED MASONRY UNITS GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT REMOVE ALL UNUSED EMBEDMENTS HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT.

HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR. THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED: LESS THAN IMM

GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR

ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE

SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT ..

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK): - CLEAN MASONRY: WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS

ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS. SEAL MASONRY: AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES

OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND

% APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

DOOR FRAMES AND FREE STANDING WALLS.

I EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4 AT WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND 1/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5 WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6 REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL

7 SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

6 PREPARE SUBSTRATE FOR NEW JAHN REPAIR. CONTRACTOR TO VERIFY SIZE OF REPAIR DOES NOT REQUIRE ADDITIONAL PINS/ANCHORS, ELSE PROVIDE. CONTRACTOR TO VIF QUANTITY OF WORK.

9 EXISTING 6" DIA +/- HOLE CUT THRU MASONRY WALL. REMOVE (5) CUT BRICKS AND REPLACE WITH NEW WHOLE BRICKS.

10 PROVIDE NEW WEATHEPROOF COVER PLATE AT EXISTING JUNCTION BOX.

II AT ADDITION WINDOW SILLS: REMOVE SEALANT BETWEEN STONES. SKY AND FRONT FACE. PROVIDE NEW SEALANT AND WHERE NECESSARY NEW BACKER ROD. INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

12 MASONRY CONTRACTOR TO REMOVE UNREADABLE SIGN AND FILL HOLES. RPS TO F&I NEW SIGN IF DESIRED.

IS REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS

14 REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

15 LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH LOUVER.

16 REMOVE SEALANT. GRIND AND POINT JOINT BETWEEN BRICK AND CONCRETE.

17 EXISTING ABANDONED CHIMNEY BASE BID: NO WORK. NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO ALTERNATE A-I REMOVE CHIMNEY CONSTRUCTION DOWN TO 4"+/- ABOVE EXISTING ROOF FLASHING. POINT REMAINING JOINTS. PROVIDE TREATED 2x NAILER SET INTO EXISTING MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF SUPPORTING 200# TOTAL LOAD. EDGE OF METAL COVER TO EXTEND, WITH DRIP EDGE, OVER TOP 2" OF EXISTING FLASHING FOR WATERTIGHT CONDITION. CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW ROOF LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION. TYPICAL AT 3 SCHOOLS.

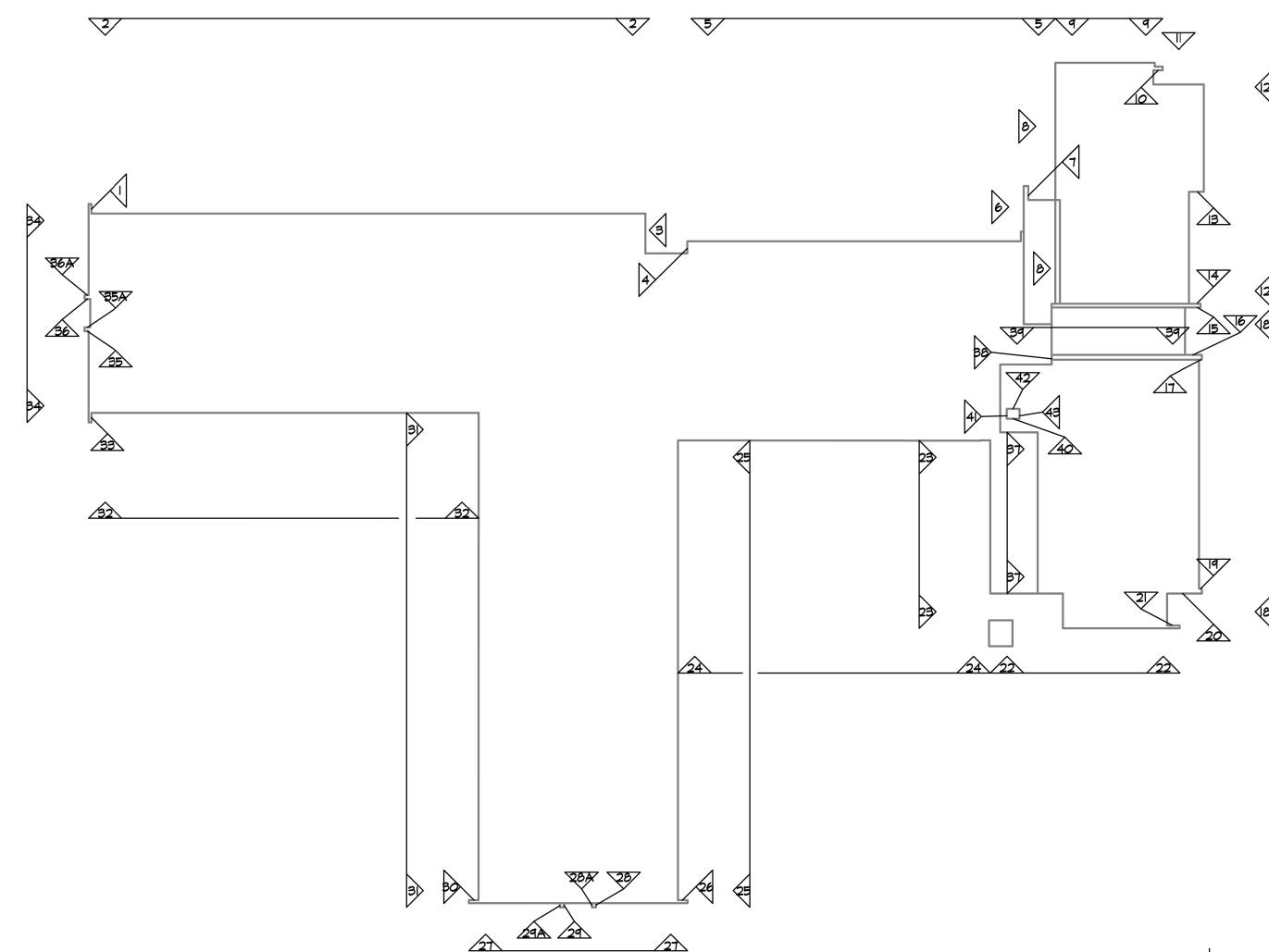
18 DETACH AND RESET EXISTING DOWNSPOUT TO ALLOW FOR REPAIR OF FOUNDATION CRACK. RE-ATTACH DOWNSPOUT.

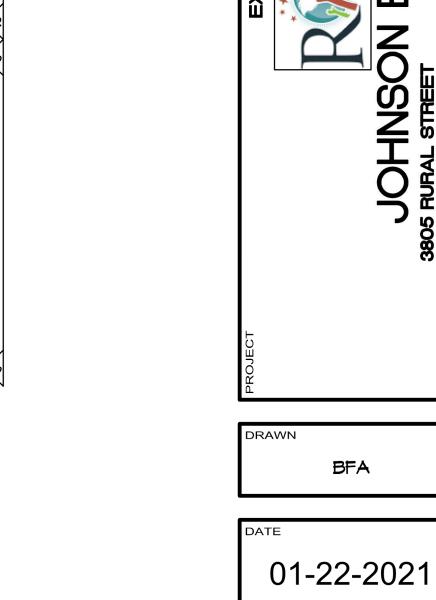
KEYPLAN

SCALE: 1/32" = 1'-0"

KEYPLAN

19 GRIND AND POINT JOINT BETWEEN GLASS BLOCKS AND STONE SILL BELOW.





**A1** 

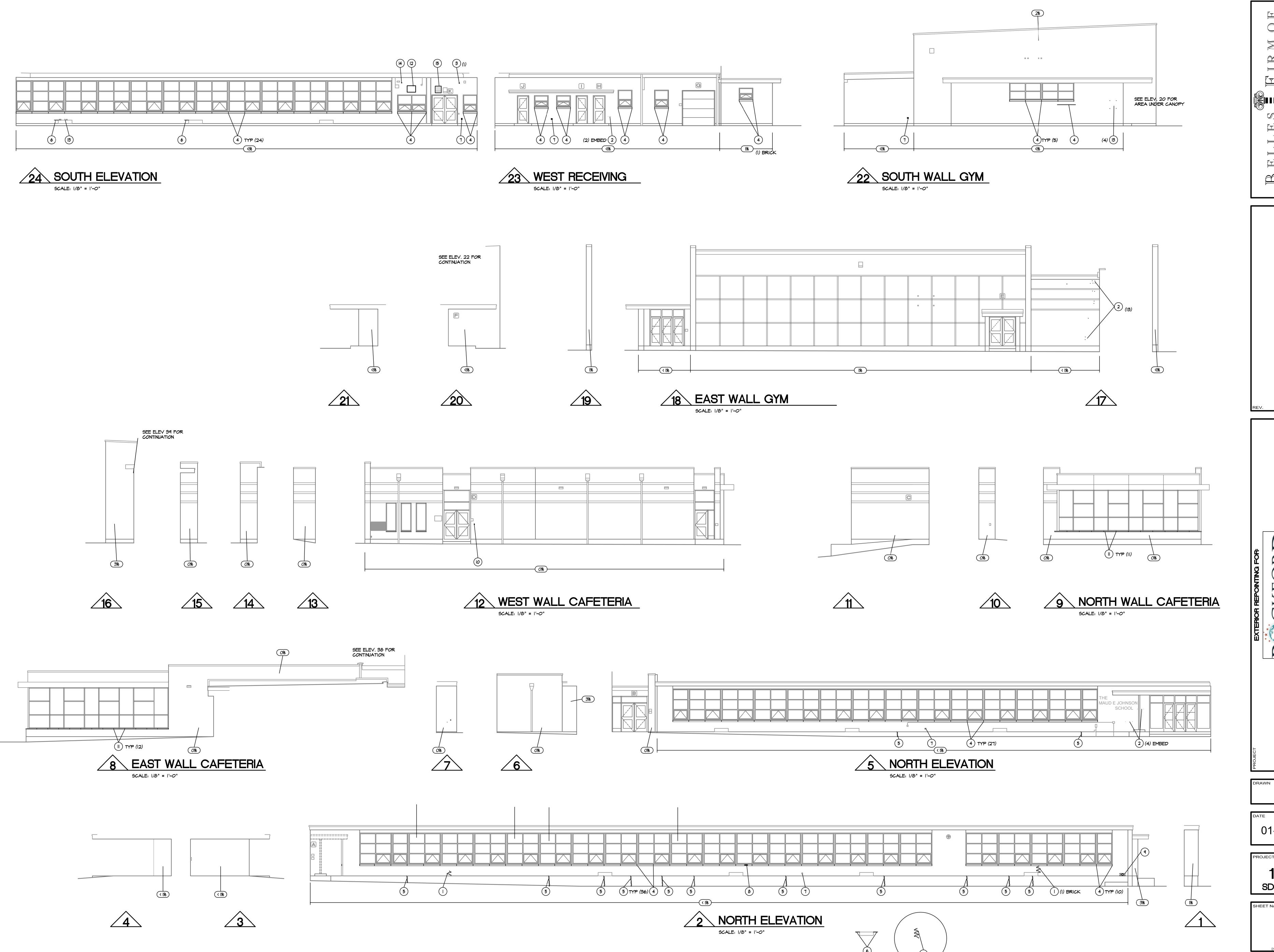
1117D

SD205 #2104

cside 11-0

reek -96

2905 Cr (815)-Licens



BELLES FIRM OF

a r c h i t e c t u r e

2905 Creekside Court, Suite 'B', Rockford, IL 61114
(815)-961-0504 BellesFirm@yahoo.com
License No. 184-001868

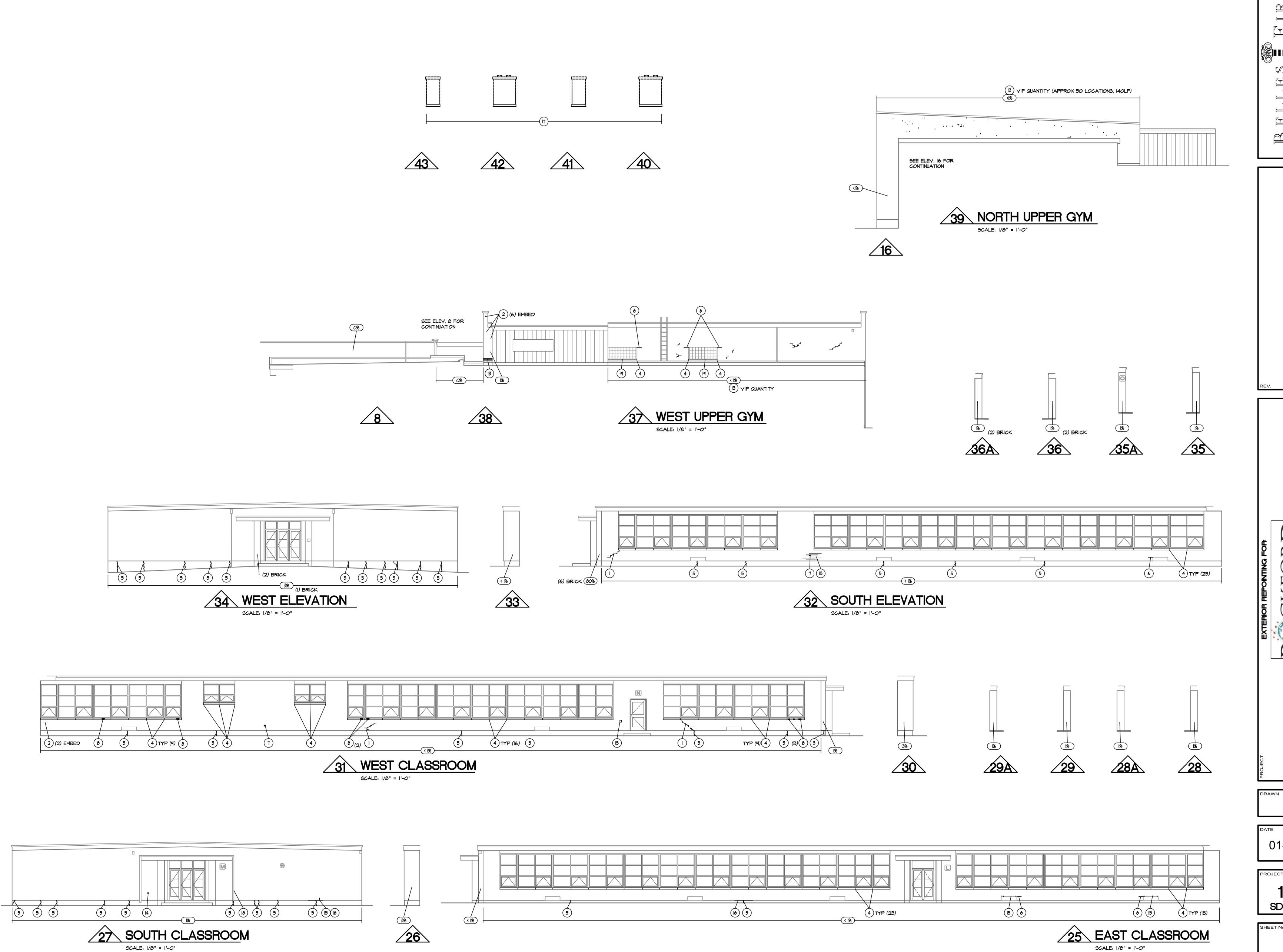
REV.

PUBLIC SCHOOLS
JOHNSON ELEMENTARY SCHOOL
3805 RURAL STREET

DRAWN **BFA** 

01-22-2021

1117D SD205 #2104



BELLES FIRMOF a r c h i t e c t u r e 2905 Creekside Court, Suite 'B', Rockford, IL 61114 (815)-961-0504 BellesFirm@yahoo.com License No. 184-001868

 $\frac{\mathbb{B}}{\frac{a}{2905}}$ 

DOHNSON ELEMENTARY SCHOOL ROS RURAL STREET

DRAWN **BFA** 

01-22-2021

1117D SD205 #2104

АЗ

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS:

REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS
REMOVE AND REPLACE ALL CRACKED MASONRY UNITS
REMOVE AND REPLACE ALL SPALLED MASONRY UNITS
REMOVE AND REPLACE ALL SPALLED MASONRY UNITS
GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP
REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT REMOVE ALL UNUSED EMBEDMENTS HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT.

GRIND AND POINT

HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN IMM NO WORK REQUIRED GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING

NOTE: SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

NOTE:
WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO
OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK

NOTE: ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE:
ALL JUNCTION BOXES (RECEPTACLES, BOXES, SMITCHES, DEVICES, ETC.) TO BE
SEALED MATERTIGHT TO MASONRY, INDICATED, OR NOT..

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK):

GREATER THAN OR EQUAL TO 2MM

AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

- CLEAN MASONRY:
WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN
ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS
NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE.
INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS
ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY:
AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING
WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL
EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK
FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO
WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

% APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

I EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4 AT WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND I/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5 WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6 REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT.
PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL
BEARING.

7 SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8 NOT USED.

9 REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

10 PROVIDE NEW WEATHERPROOF COVER PLATE AT EXISTING JUNCTION BOX.

II REMOVE SEALANT AT EXISTING LINTEL, FULL LENGTH. GRIND JOINT. INSPECT LINTEL FOR RUST, AND TREAT ACCORDINGLY WITH RUST INHIBITOR. POINT JOINT.

12 EXISTING ABANDONED CHIMNEY
BASE BID: NO WORK. NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO

ALTERNATE A-I REMOVE CHIMNEY CONSTRUCTION DOWN TO 4"+/- ABOVE EXISTING ROOF FLASHING. POINT REMAINING JOINTS. PROVIDE TREATED 2x NAILER SET INTO EXISTING MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF SUPPORTING 200# TOTAL LOAD. EDGE OF METAL COVER TO EXTEND, WITH DRIP EDGE, OVER TOP 2" OF EXISTING FLASHING FOR WATERTIGHT CONDITION. CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW ROOF LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION.

IS ALTERNATE A-2 FOR ALL HOLLOW METAL DOORS/FRAMES AND FOR ALL OVERHEAD DOORS, ALL SEALANT TO BE REMOVED BY ASBESTOS CONTRACTOR UNDER SEPARATE CONTRACT.

THIS CONTRACTOR TO PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR

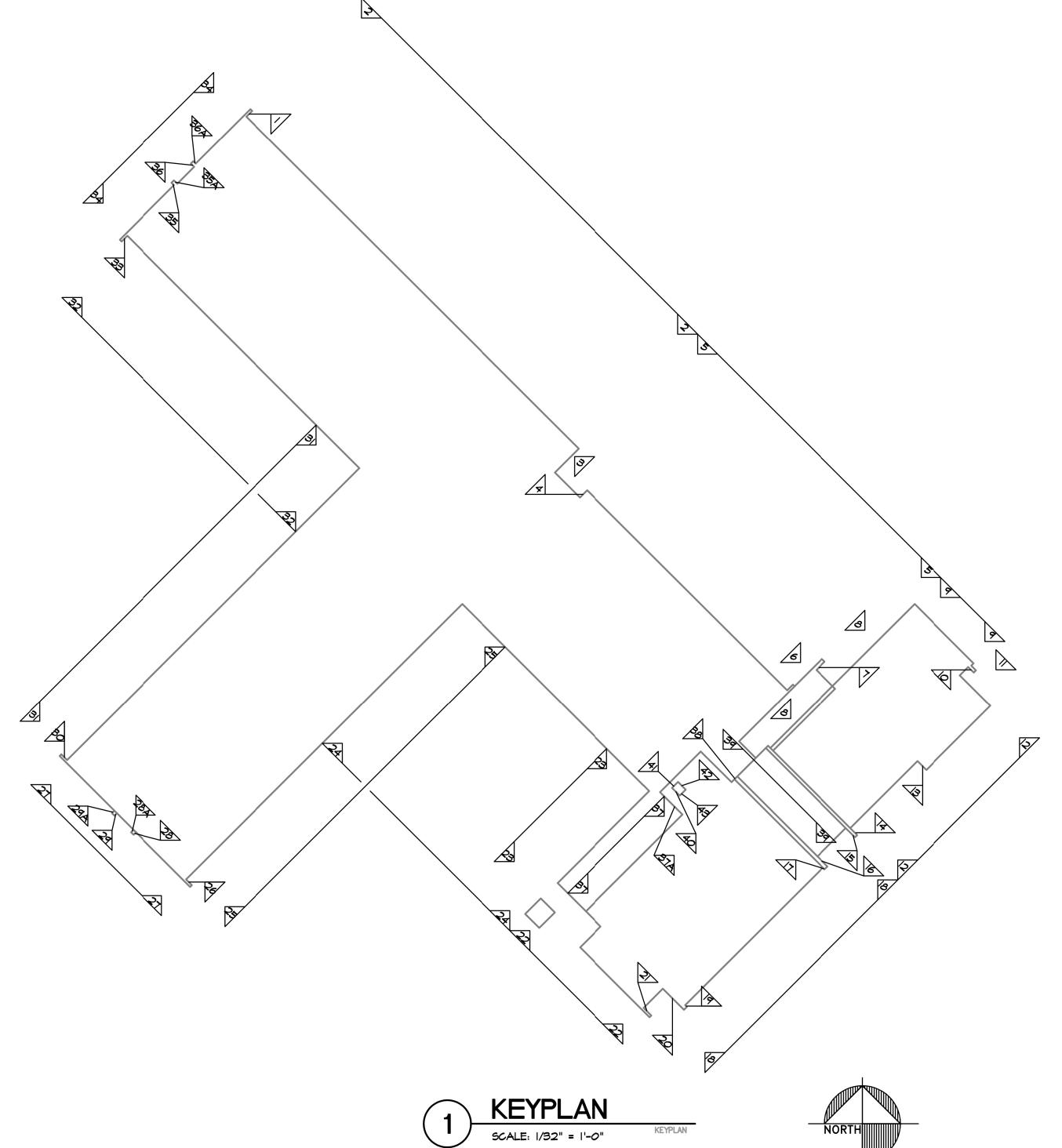
THIS CONTRACTOR TO PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH FRAME.

AT JAMBS: BETWEEN FRAME/TRIM AND BRICK.

AT HEAD: BETWEEN FRAME AND LINTEL ABOVE.

AT LINTEL, GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE. CLEAN AND REMOVE

LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES, COLOR TO MATCH EXISTING FRAMES.



chie BellesFirm@yahoo.cc

reek -96 se

2905 Cr (815)-Licen

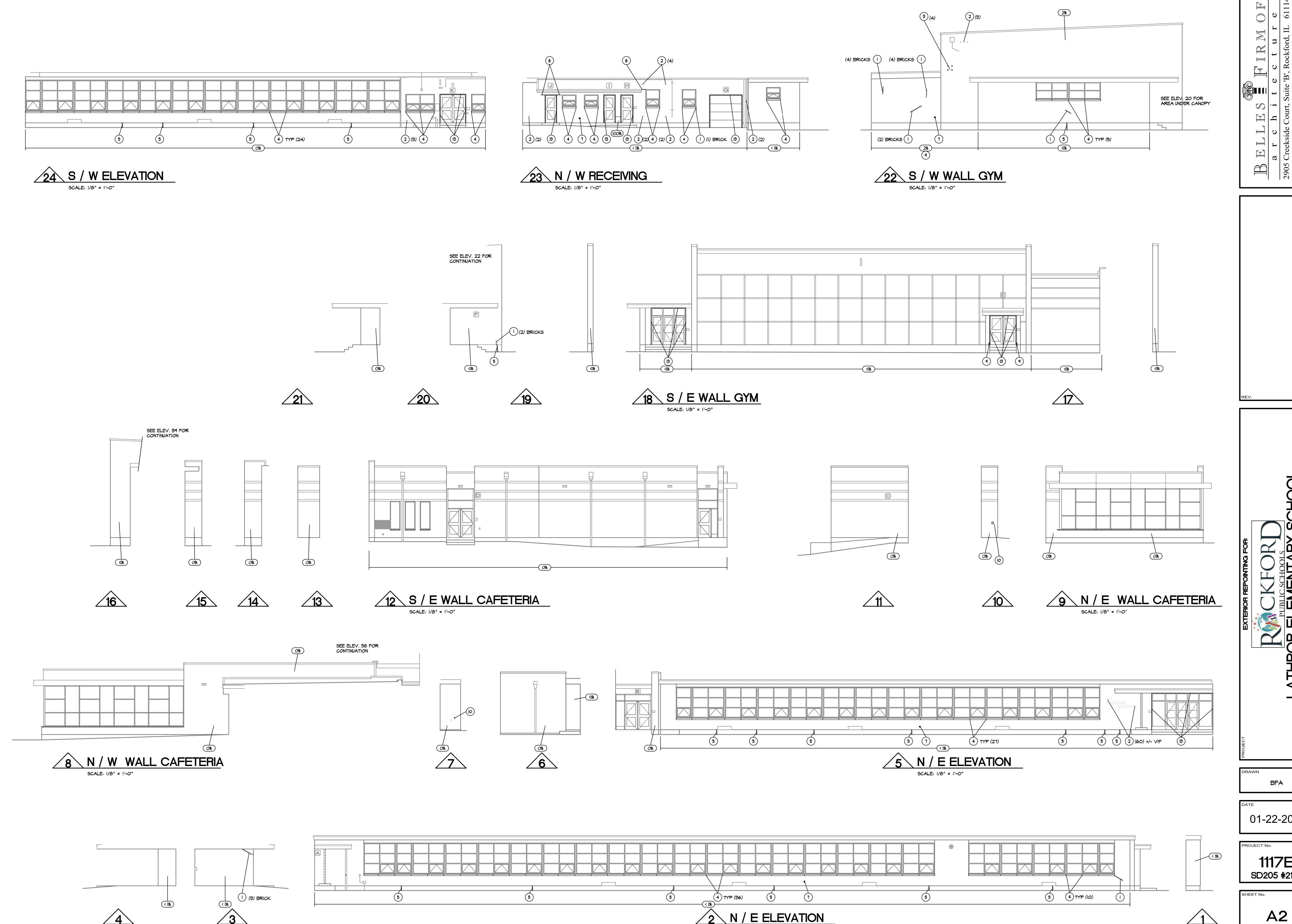
REV.



DRAWN BFA

01-22-2021

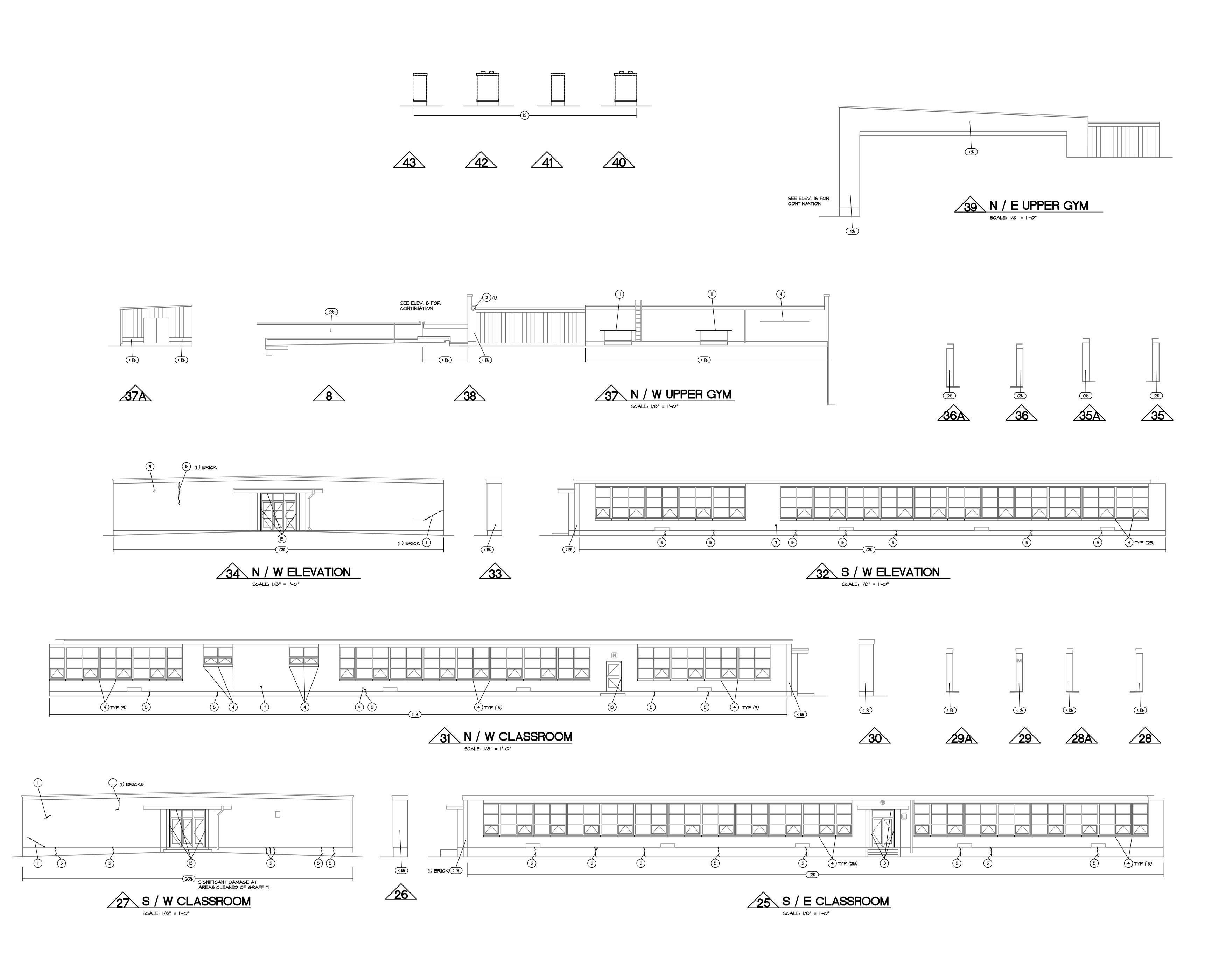
1117E SD205 #2105



SCALE: 1/8" = 1'-0"

01-22-2021

1117E SD205 #2105



BELLES FIRMOF a r c h i t e c t u r e 2905 Creekside Court, Suite 'B', Rockford, IL 61114 (815)-961-0504 BellesFirm@yahoo.com License No. 184-001868

REV.

LATHROP ELEMENTARY SCHOOL

2603 CLOVER AVENUE

PUBLIC SCHOOLS
PUBL

RAWN **BFA** 

01-22-2021

1117E SD205 #2105

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS:

REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS REMOVE AND REPLACE ALL CRACKED MASONRY UNITS

REMOVE AND REPLACE ALL SPALLED MASONRY UNITS

GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT REMOVE ALL UNUSED EMBEDMENTS

HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT.
HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.
THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN IMM NO WORK REQUIRED
GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING
GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

NOTE:
SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY.
CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT
QUANTITY OF WORK AREAS.

MORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT..

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK):

- CLEAN MASONRY:
WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN
ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS
NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE.
INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS
ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY:
AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING
WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL
EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES
OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND
DOOR FRAMES AND FREE STANDING WALLS.

APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

I EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4 AT WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND I/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5 WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6 REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL

7 SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8 NOT USED.

9 REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

IO NOT USED

II STRUCTURAL STEEL MEMBER EXTENDS THRU BRICK WALL. EXAMINE PENETRATION. REMOVE CRACKING MORTAR AND FRIABLE SEALANT. PROVIDE NEW SEALANT, CONTINUOUS BETWEEN STEEL AND MORTAR (COLOR OF NEW PAINTED STEEL), AND BACKER ROD AS REQUIRED. TOUCH UP DAMAGED PAINT. SEE RPS205 FOR COLOR.

12 REMOVE AND REPLACE SEALANT. PROVIDE BACKER ROD AS REQUIRED. MATCH COLOR OF ADJACENT CONCRETE.

IS STRUCTURAL STEEL RIBBED DECK PASSES OVER/THRU MASONRY WALL. EXAMINE PENETRATIONS. REMOVE CRACKING MORTAR AND FRIABLE SEALANT. PROVIDE NEW SEALANT, CONTINUOUS BETWEEN STEEL AND MORTAR (COLOR OF NEW PAITNED STEEL), AND BACKER ROD AS REQUIRED. TOUCH UP DAMAGED PAINT. SEE RPS205 FOR

14 METAL PLATE COVERING ABANDONED LIGHT FIXTURE. REMOVE SEALANT, WHERE PRESENT. PROVIDE NEW SEALANT BETWEEN PLATE AND BRICK FOR WATERTIGHT CONDITION. SEALANT COLOR OF PAINTED PLATE.

15 DETACH AND RESET EXISTING DOWNSPOUT TO ALLOW FOR CLEANING AND INSPECTION OF MASONRY BEHIND. GRIND AND POINT ALL JOINTS AS REQUIRED. AFTER SEALER, RE-ATTACH DOWNSPOUT.

I6 LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH LOUVER.

COLOR TO MATCH LOUVER.

17 REMOVE SPRAY FOAM, SEALANT, AND MORTAR BETWEEN TOP OF BRICK AND UNDERSIDE OF METAL PANEL ABOVE. PROVIDE NEW MORTAR TO FILL GAP LESS 3/8".

AT REMAINING 3/8" PROVIDE BACKER ROD AND SEALANT BETWEEN NEW MORTAR AND

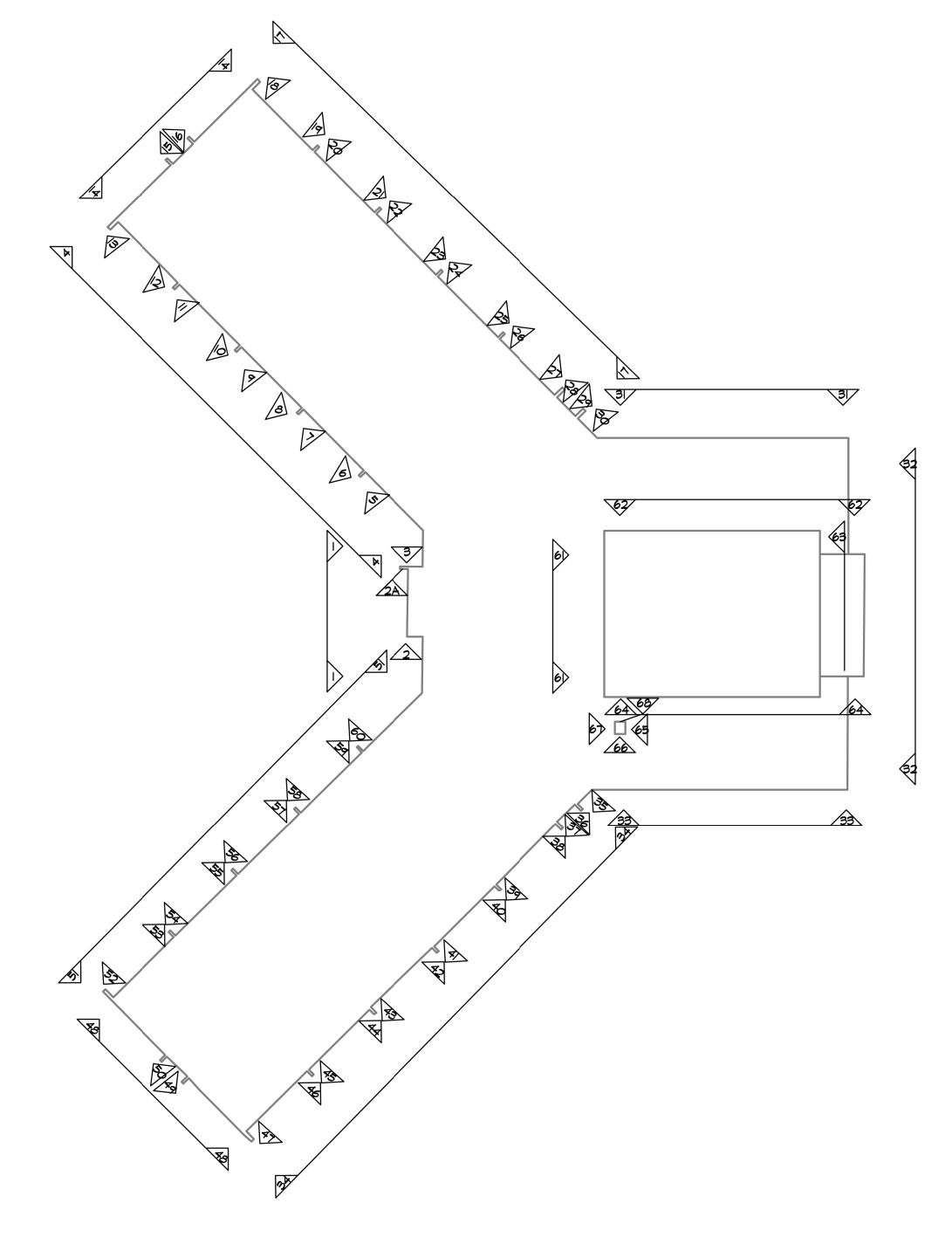
IS REMOVE AND DISPOSE OF EXISTING DOWNSPOUT. REMOVE EMBEDMENTS PER NOTE 2. PATCH HOLES PER NOTE 3. PROVIDE NEW OPEN FRONT, PREFINISHED METAL (COLOR TO MATCH EXISTING AND AS APPROVED BY RPS205), OPEN FACE DOWNSPOUT ATTACHED TO BUILDING.

19 CRACK IN CONCRETE SILL. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/2" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

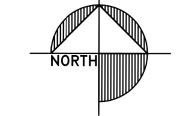
20 AT CHIMNEY: EXAMINE OUTSIDE FACE, TOP, AND INTERIOR FACE OF CONCRETE CAP AND REPORT

DAMAGE TO ARCHITECT AND RPS205 PROJECT MANAGER. BASE BID TO INCLUDE AN ALLOWANCE OF 6 HOURS FOR MISC. REPAIRS.

EXAMINE, TAKE PHOTOS, AND PROVIDE A REPORT ON THE VISUAL CONDITION OF THE INTERIOR OF CHIMNEY TO THE ARCHITECT AND RPS205 PROJECT MANAGER.







sside 11-0; No.

reeks -96 rse ]

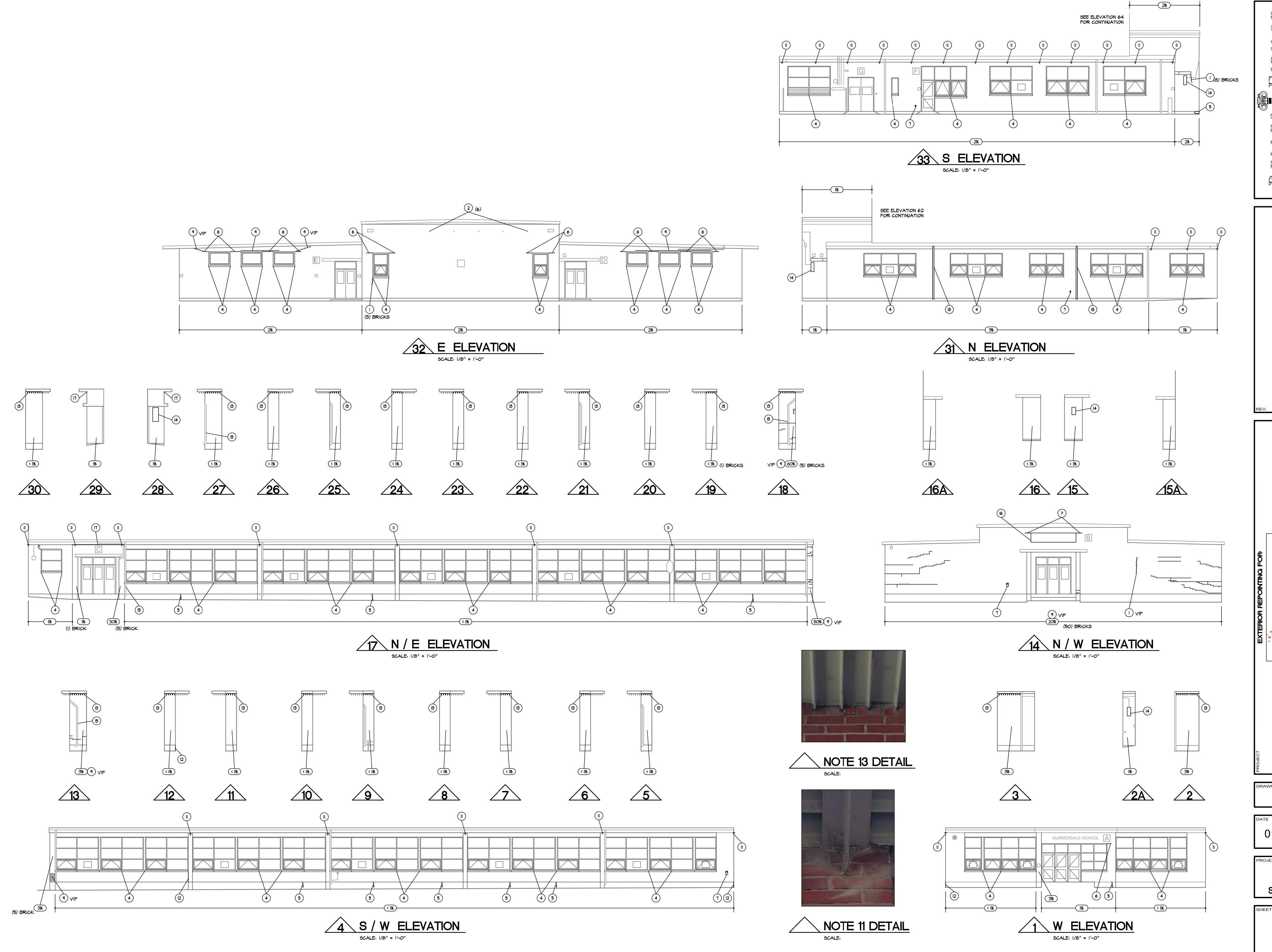
2905 Cr (815)-Licens

REV.



01-22-2021

1117J SD205 #2111



BELLES FIRM OF

a r c h i t e c t u r e

2905 Creekside Court, Suite 'B', Rockford, IL 61114
(815)-961-0504 BellesFirm@yahoo.com
License No. 184-001868

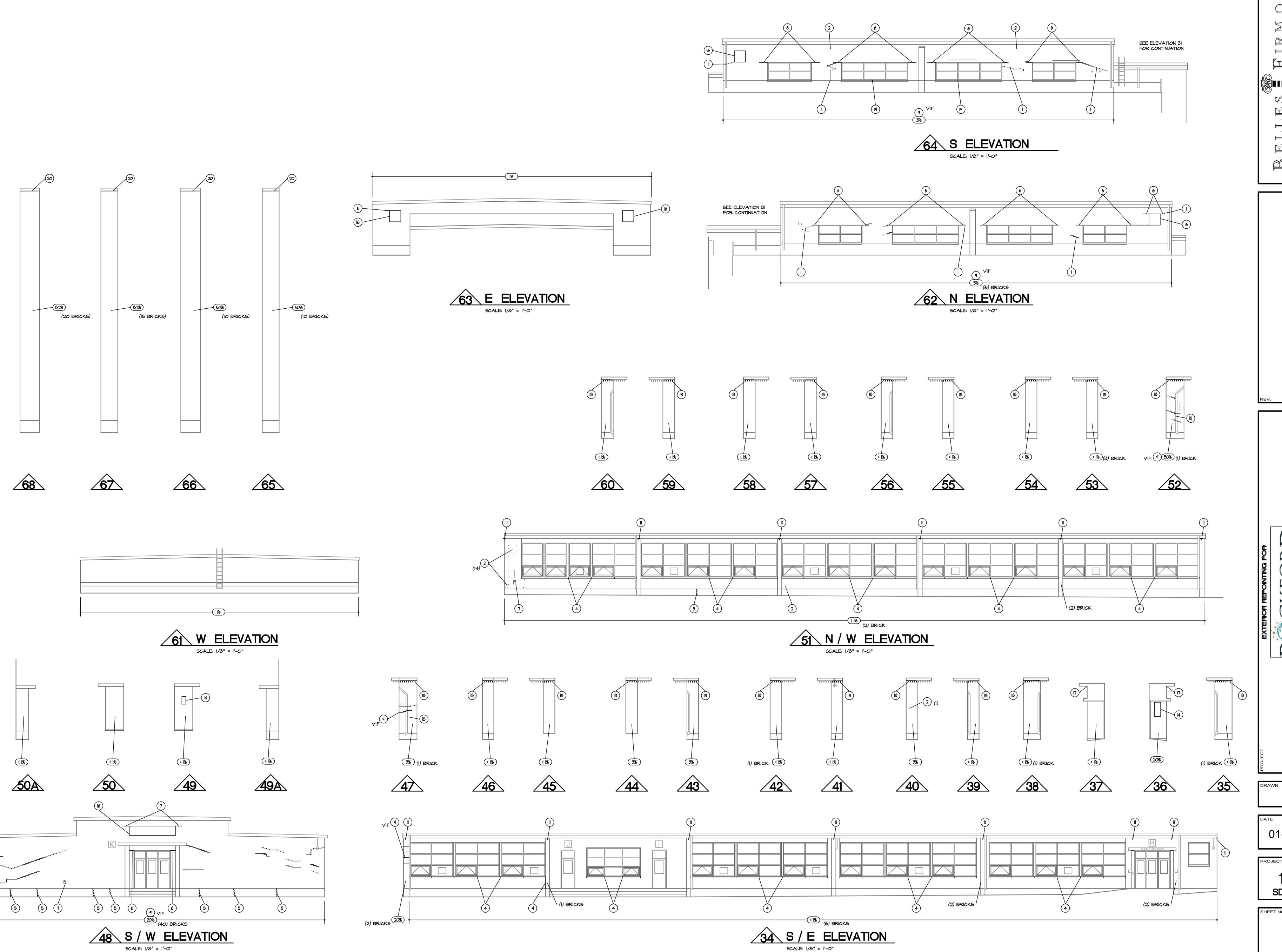
B E a 2905 Cre(815)-9

REARLY CHILDHOOD CENTER

AWN BFA

01-22-2021

1117J SD205 #2111



BELLERS FIRM OF
a r c h i t e c t u r e

905 Creekside Court, Suite 'B', Rockford, IL 61114
815)-961-0504 BellesFirm@yahoo.com
License No. 184-001868

RDALE EARLY CHILDHOOD CENTER

DRAWN
BFA

01-22-2021

1117J SD205 #2111

АЗ