



IFB No. 21-11
GROUP A

MASONRY RESTORATION NOTES

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS:

REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS

REMOVE AND REPLACE ALL SPALLED MASONRY UNITS

GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP

REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT

REMOVE ALL UNUSED EMBEDMENTS

HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT

HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN 1MM	NO WORK REQUIRED
GREATER THAN 1MM BUT LESS THAN 2 MM	REPAIR BY FACE GROUTING
GREATER THAN OR EQUAL TO 2MM	GRIND AND POINT

NOTE: SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

NOTE: WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

NOTE: ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE: ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK):

- CLEAN MASONRY: WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES T140, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.
- SEAL MASONRY: AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

8 APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

1. EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE) TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2. REMOVE EXISTING EMBEDMENT(S). SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3. PATCH/SEAL HOLES(S). SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4. AT EXISTING WINDOW SILLS. REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND 1/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5. WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6. REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL BEARING.

7. SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8. PREPARE SUBSTRATE FOR NEW JAMB REPAIR. CONTRACTOR TO VERIFY SIZE OF REPAIR DOES NOT REQUIRE ADDITIONAL PINS/ANCHORS, ELSE PROVIDE. CONTRACTOR TO VIF QUANTITY OF WORK.

9. DETACH AND RESET EXISTING CONDUIT TO ALLOW FOR PROPER POINTING AND REPAIR BEHIND.

10. PROVIDE NEW WEATHERPROOF COVER PLATE AT EXISTING JUNCTION BOX.

11. AT ADDITION WINDOW SILLS. REMOVE SEALANT BETWEEN STONES. SKY AND FRONT FACE. PROVIDE NEW SEALANT AND WHERE NECESSARY NEW BACKER ROD. INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

12. GRIND AND POINT ENTIRE VERTICAL JOINT IN CORNER.

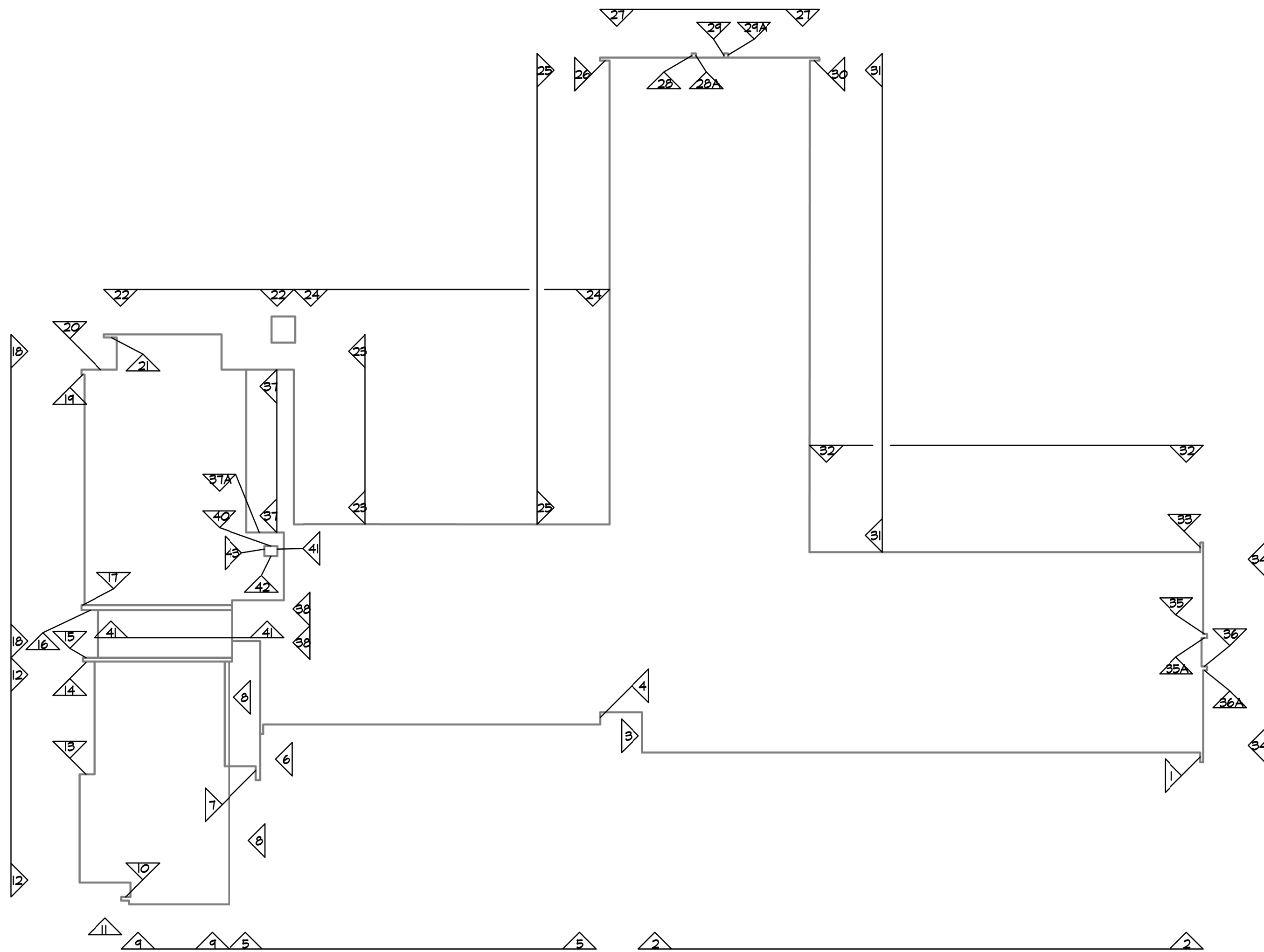
13. REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

14. REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

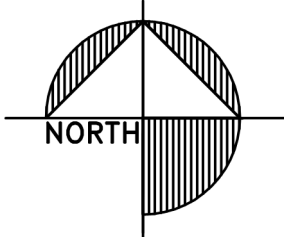
15. LOUVER. REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH LOUVER.

16. CAREFULLY REMOVE PLYWOOD COVERING EXISTING GLASS BLOCK TAKING CARE TO PRESERVE GLASS BLOCK. REPLACE ALL BROKEN/CRACKED BLOCKS, APPROX. 6 BLOCKS, CONTRACTOR TO VIF. GRIND AND POINT ALL EXTERIOR JOINTS. PROVIDE SEALANT OR GLAZING COMPOUND AT ENTIRE EXTERIOR PERIMETER WHERE BLOCK MEETS STEEL CHANNEL. NOTE: IT APPEARS THERE MAY BE A HOLE IN ONE PORTION OF THE WINDOW. SEE INTERIOR.

17. EXISTING ABANDONED CHIMNEY BASE BID. NO WORK. NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO POINTING. ALTERNATE A-1: REMOVE CHIMNEY CONSTRUCTION DOWN TO 4'-6" ABOVE EXISTING ROOF FLASHING. POINT REMAINING JOINTS. PROVIDE TREATED 2x NAILER SET INTO EXISTING MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF SUPPORTING 200# TOTAL LOAD. EDGE OF METAL COVER TO EXTEND, WITH DRIP EDGE, OVER TOP 2" OF EXISTING FLASHING FOR WATERTIGHT CONDITION. CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW ROOF LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION. TYPICAL AT 3 SCHOOLS.



1 KEYPLAN SCALE: 1/32" = 1'-0" KEYPLAN



EXTERIOR REPOINTING FOR:



CONKLIN ELEMENTARY SCHOOL ROCKFORD, ILLINOIS

3003 HALSTEAD ROAD

PROJECT

DRAWN BFA

DATE 01-22-2021

PROJECT No. 1117A SD205 #2101

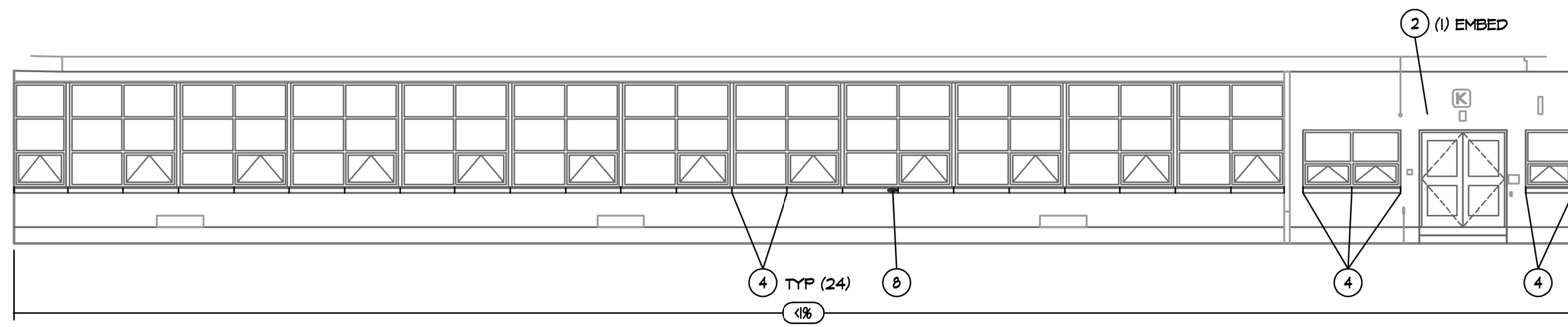
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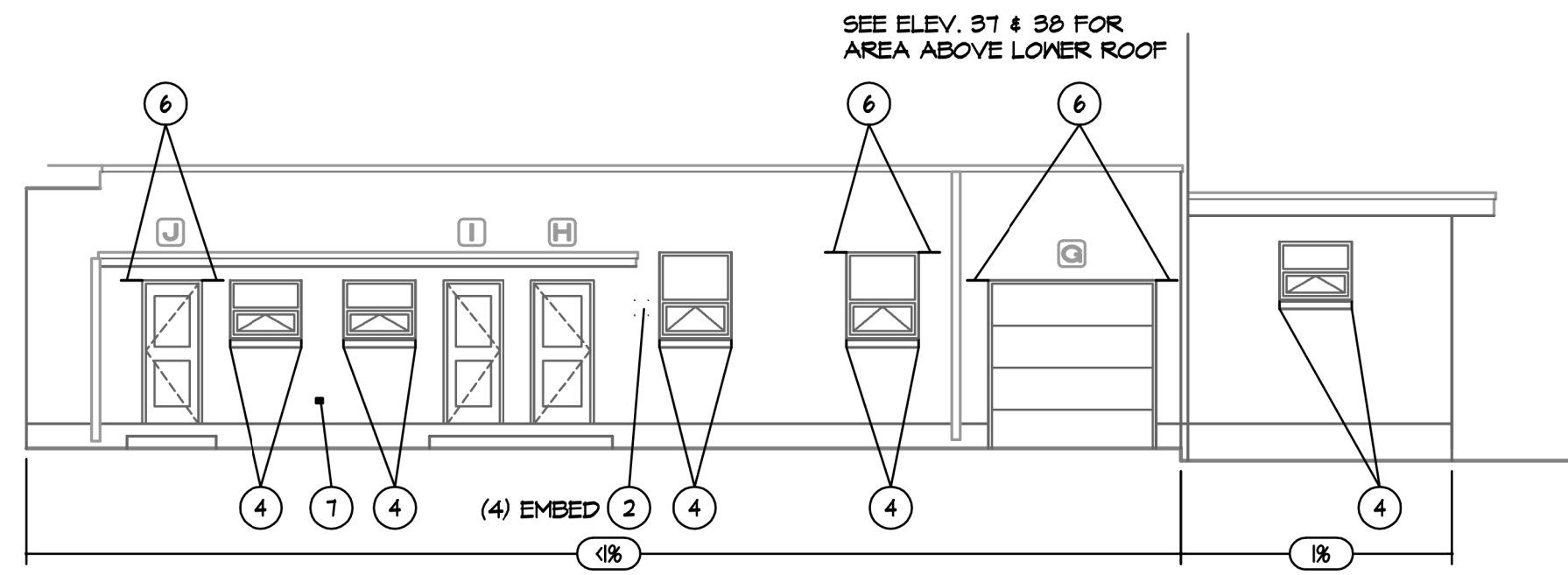
REV.

BELLES FIRM OF architecture

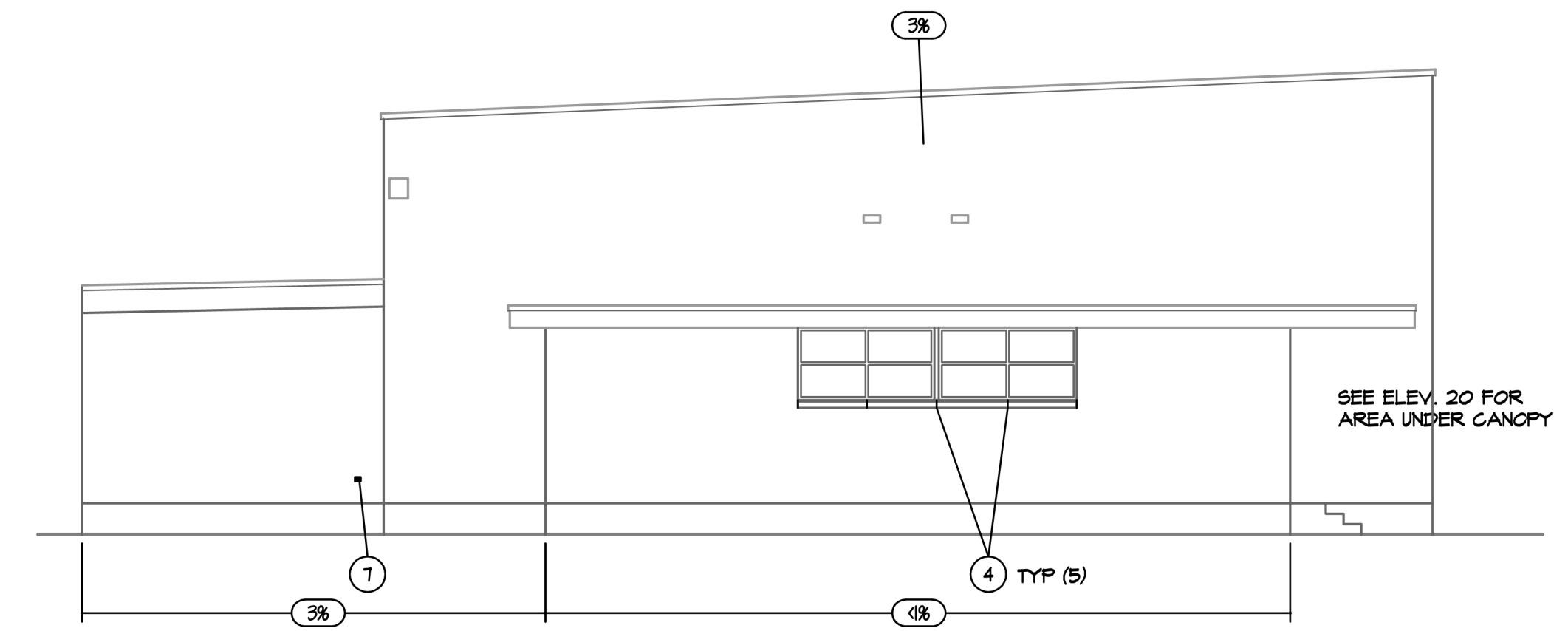
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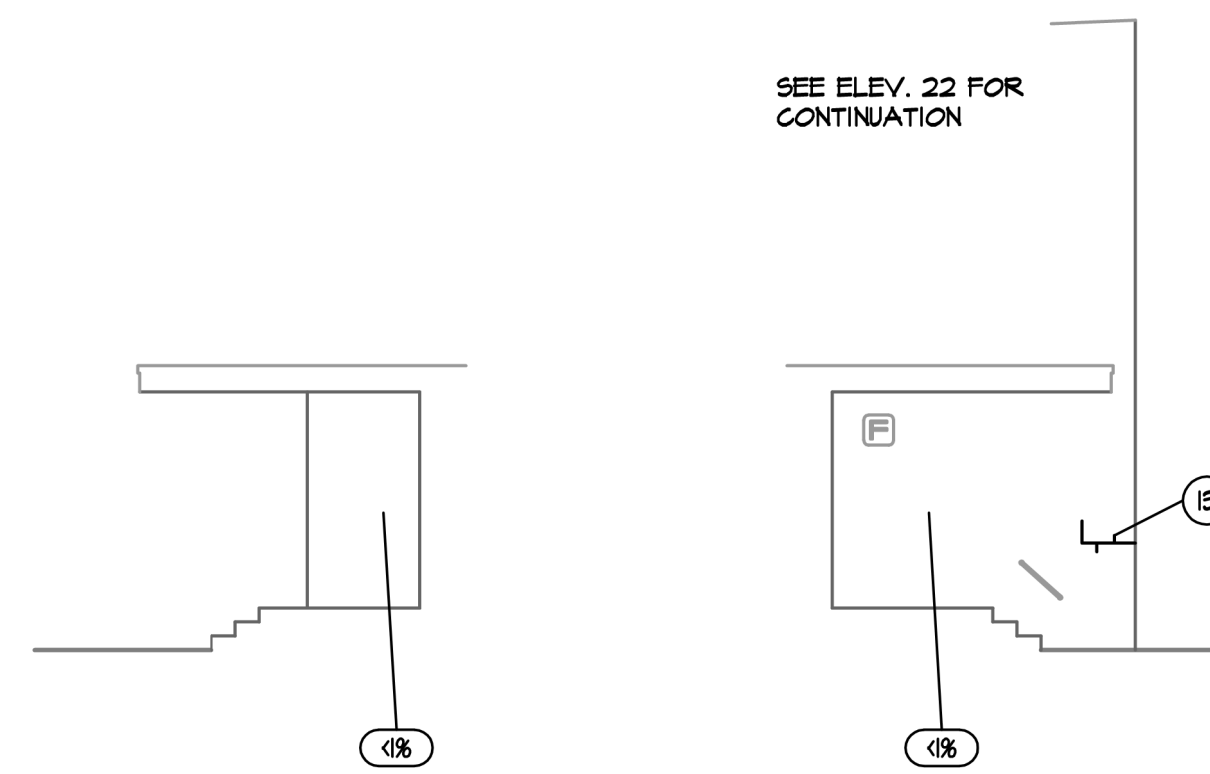
24 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



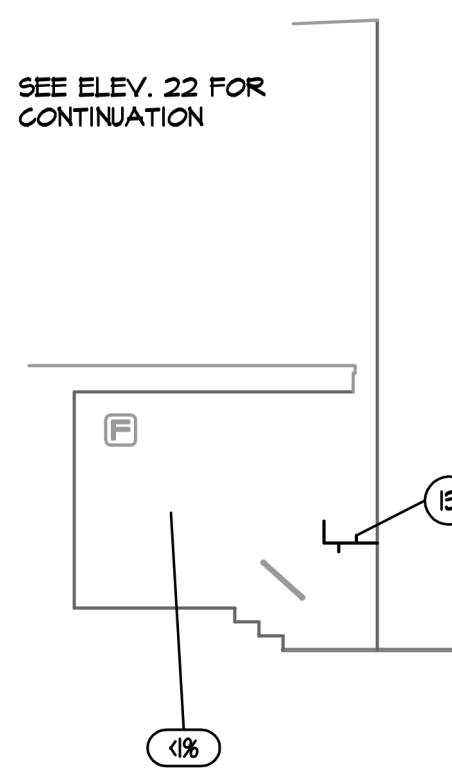
23 EAST RECEIVING
SCALE: 1/8" = 1'-0"



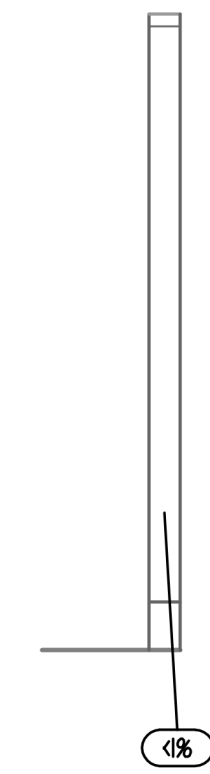
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SCALE: 1/8" = 1'-0"



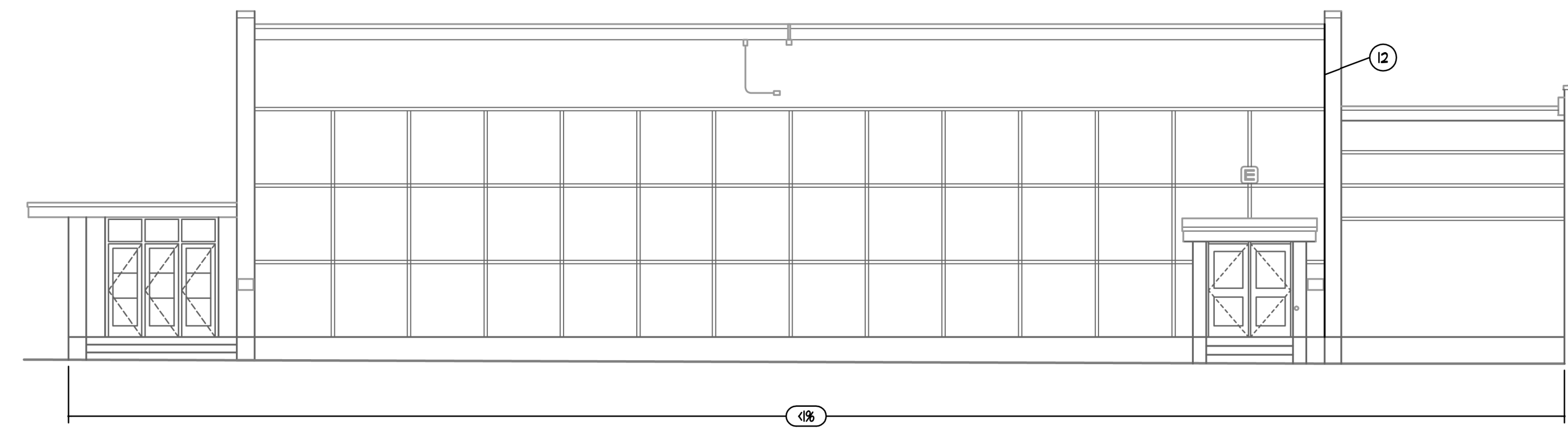
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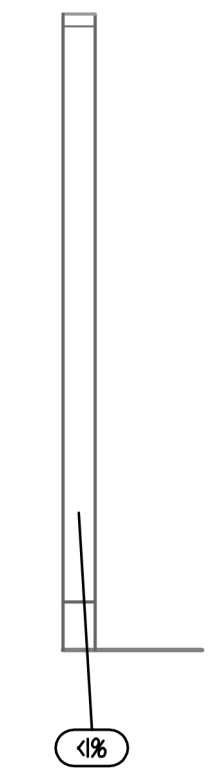
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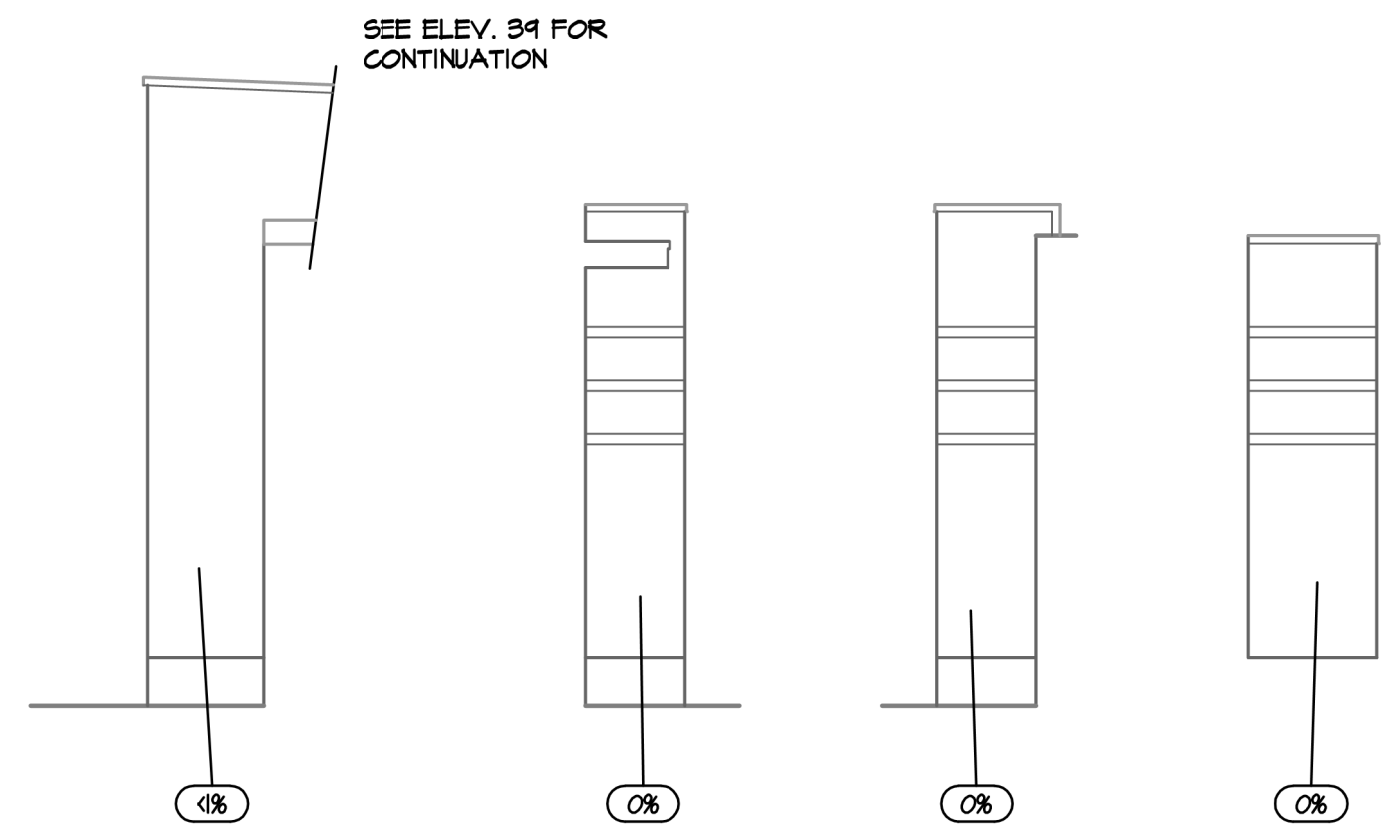
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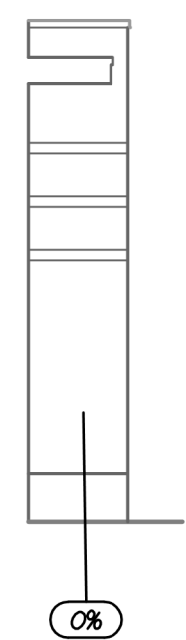
18 WEST WALL GYM
SCALE: 1/8" = 1'-0"



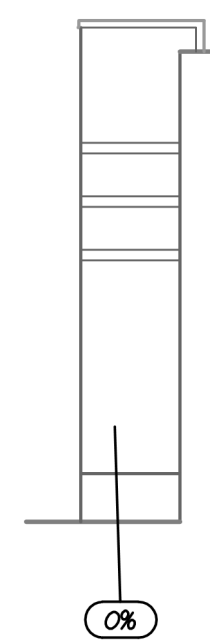
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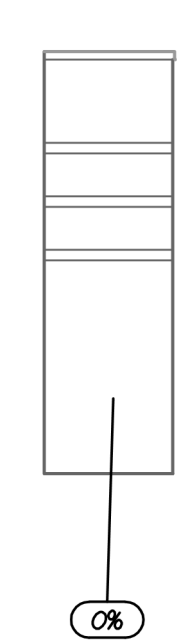
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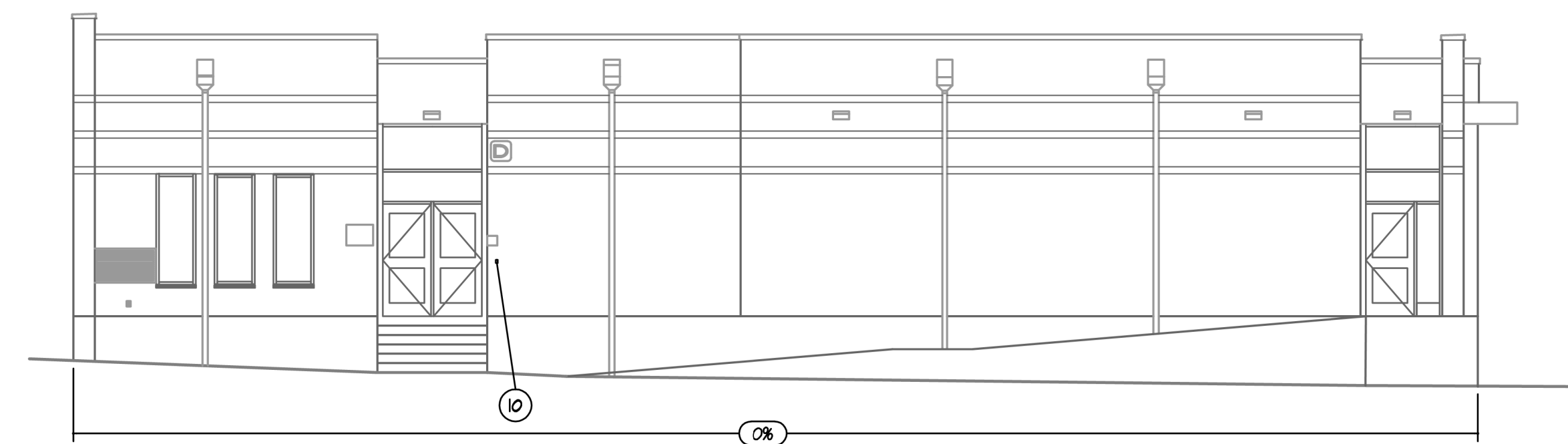
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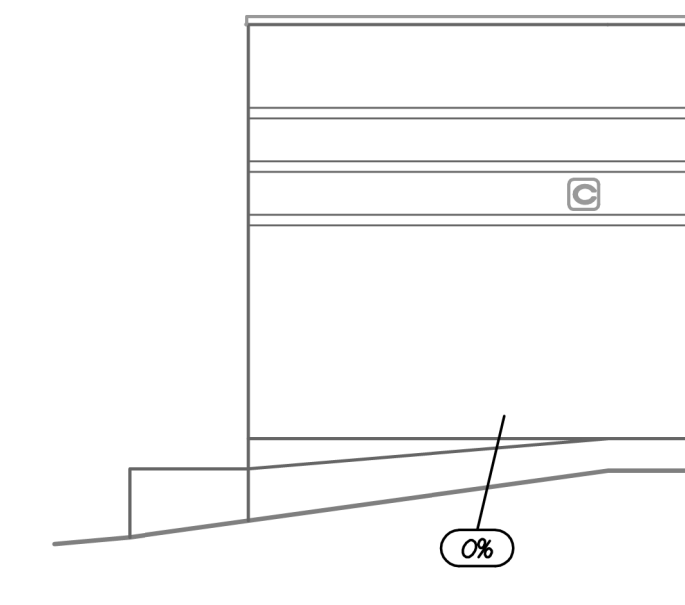
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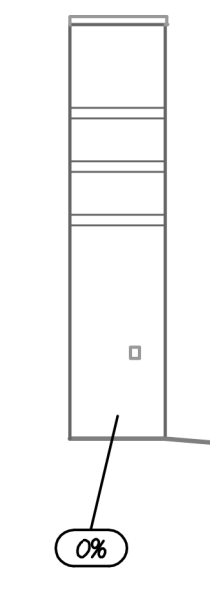
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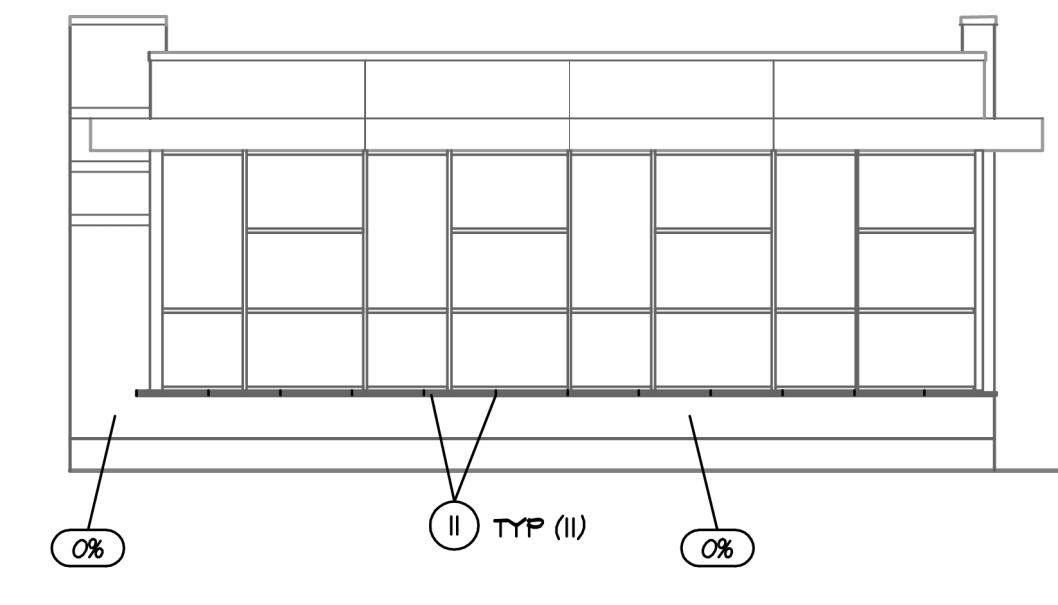
12 WEST WALL CAFETERIA
SCALE: 1/8" = 1'-0"



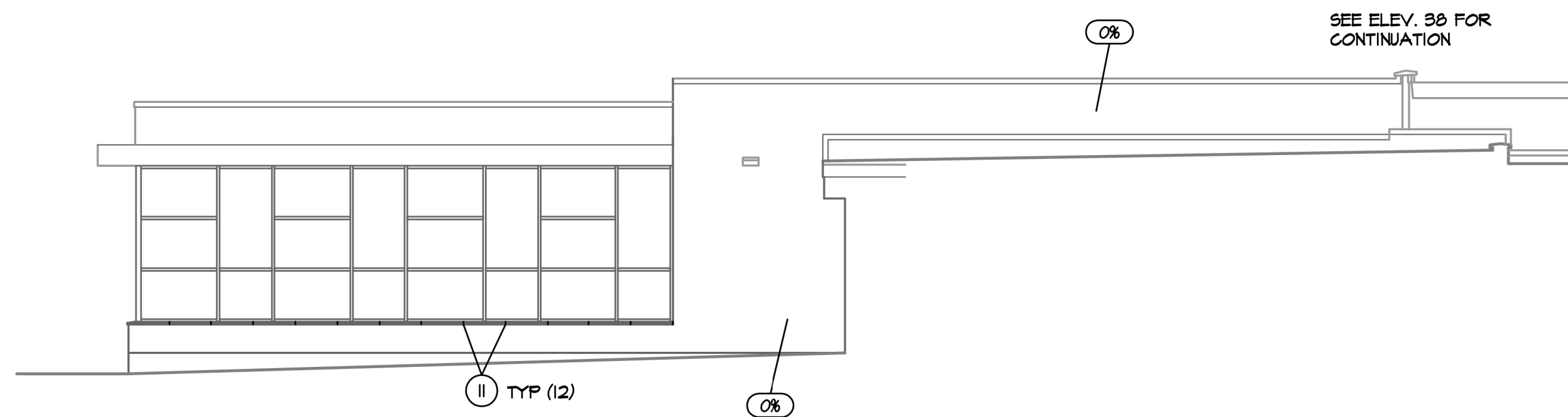
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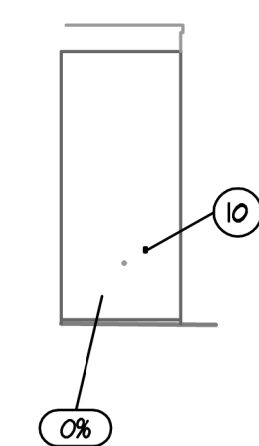
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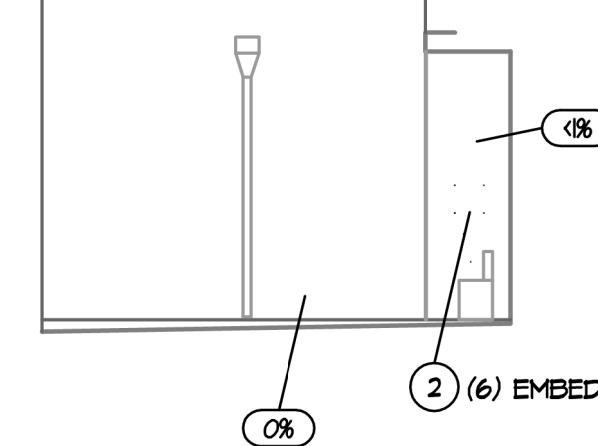
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SCALE: 1/8" = 1'-0"



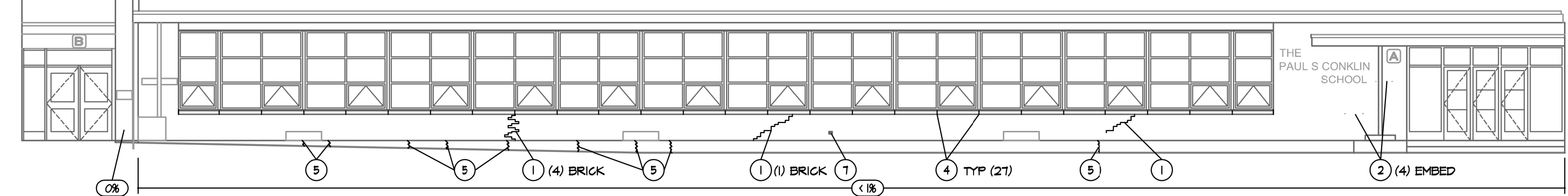
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SCALE: 1/8" = 1'-0"



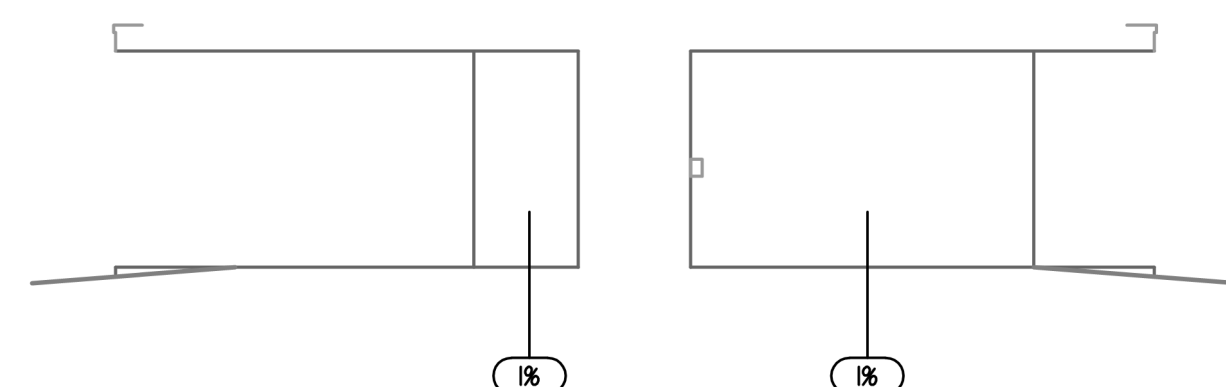
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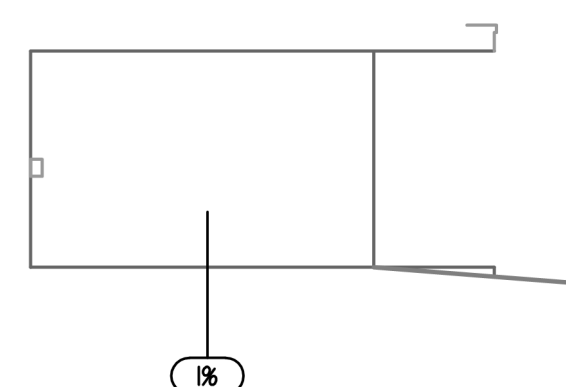
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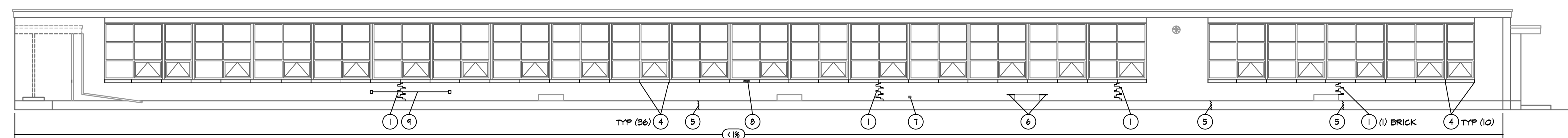
5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



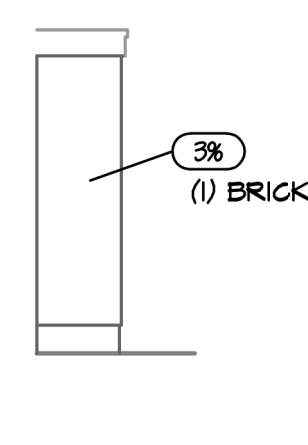
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3



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1

REV.

PROJECT
EXTERIOR REPORTING FOR:



CONKLIN ELEMENTARY SCHOOL
3003 HALSTEAD ROAD
ROCKFORD, ILLINOIS

DRAWN
BFA

DATE

01-22-2021

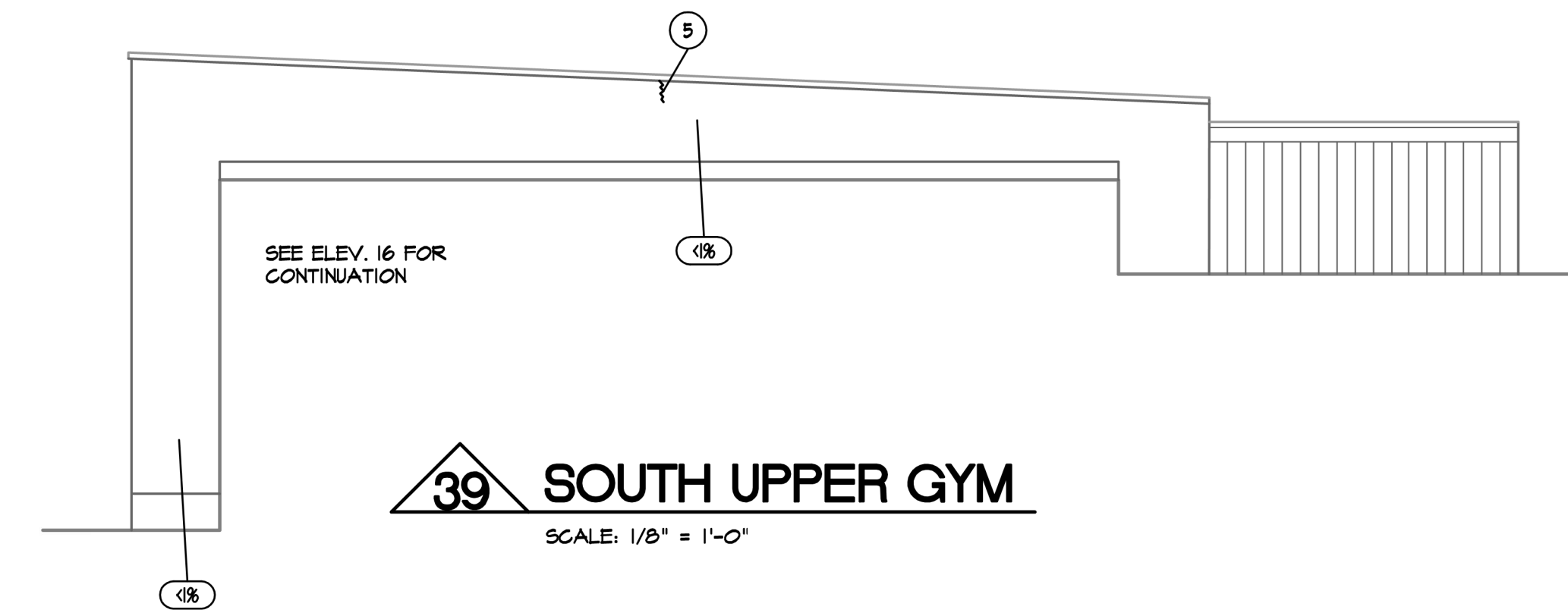
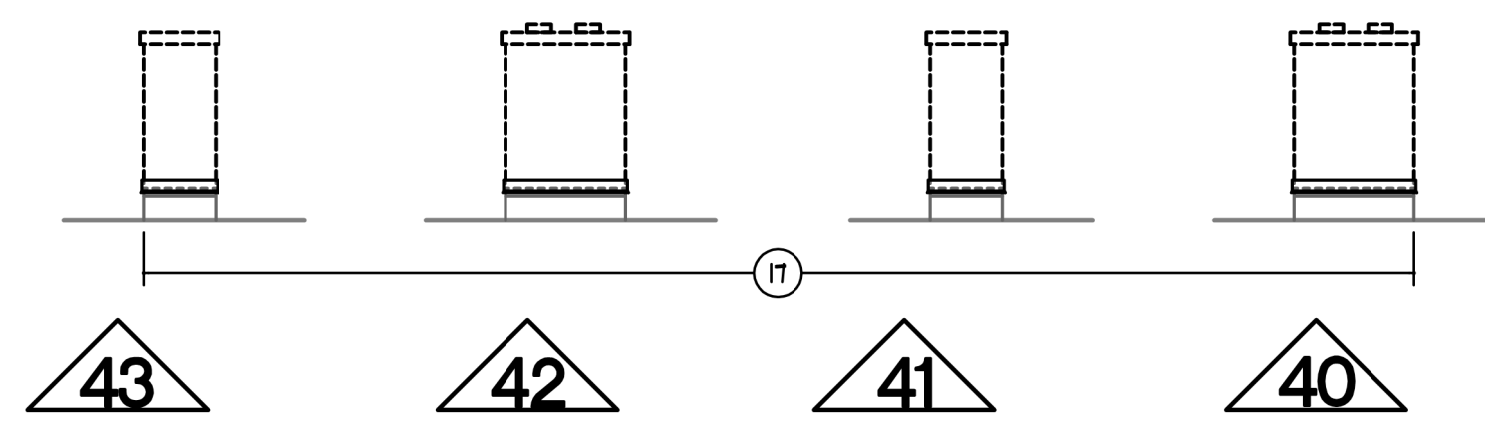
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SD205 #2101

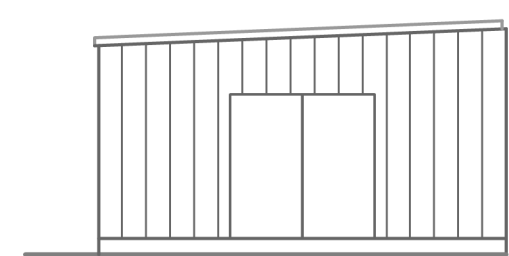
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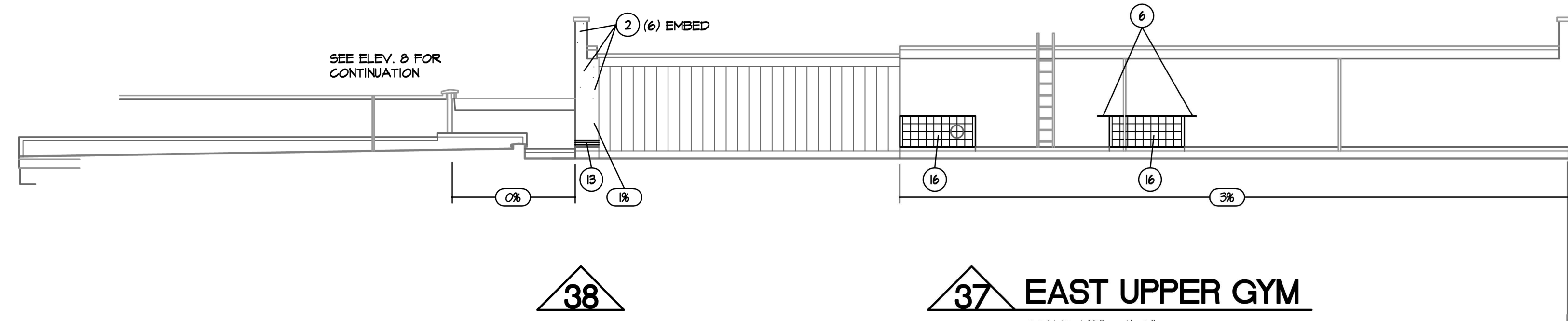
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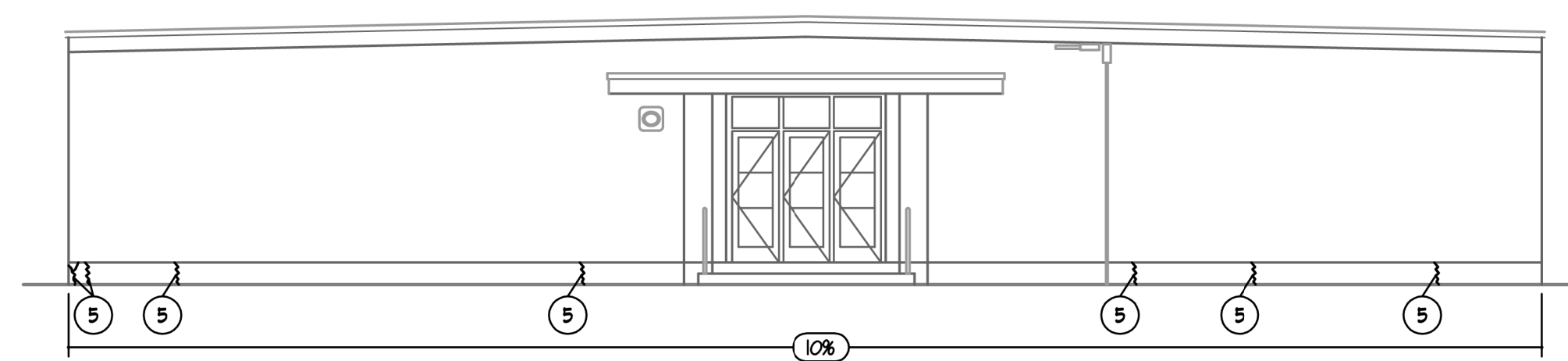
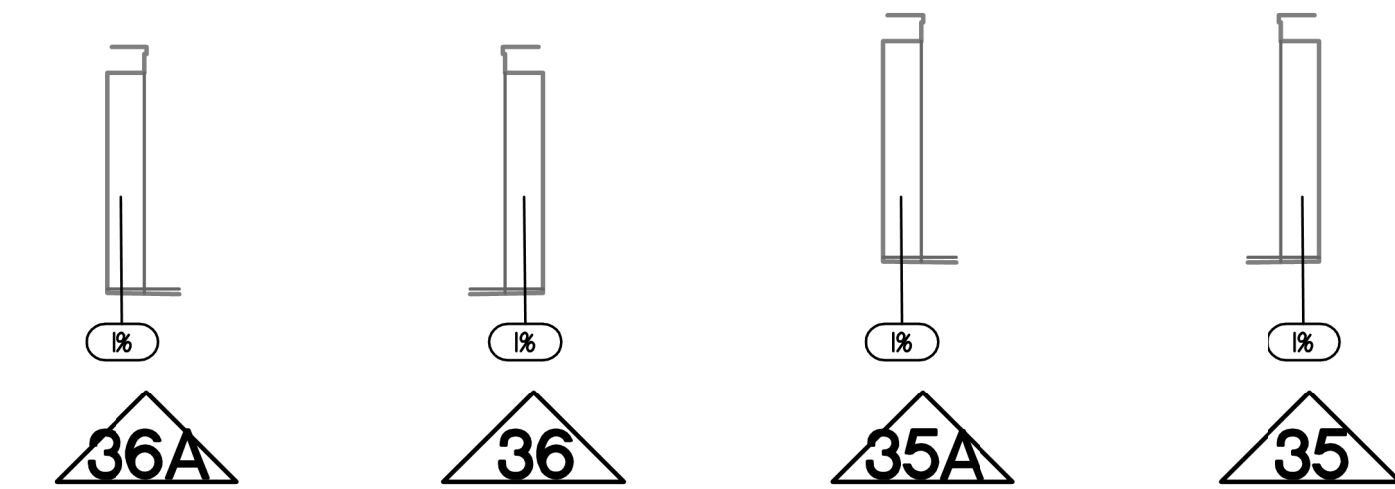
39 SOUTH UPPER GYM
SCALE: 1/8" = 1'-0"



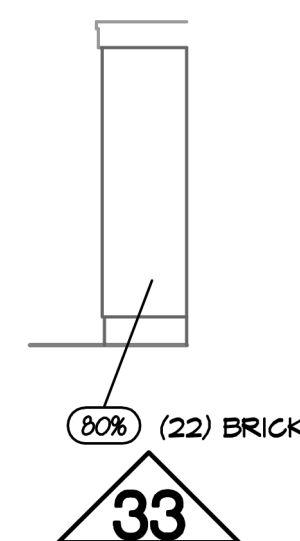
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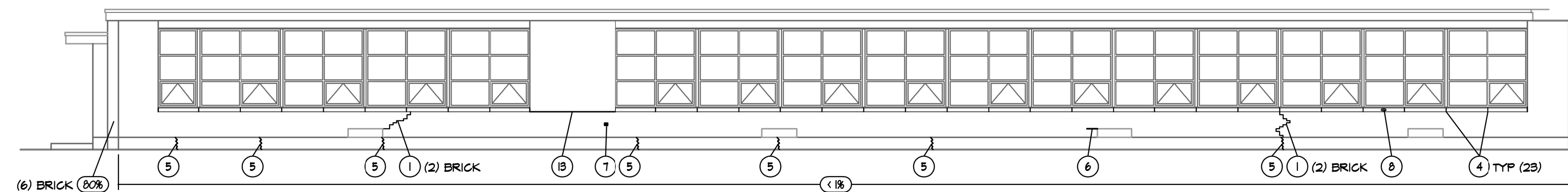
37 EAST UPPER GYM
SCALE: 1/8" = 1'-0"



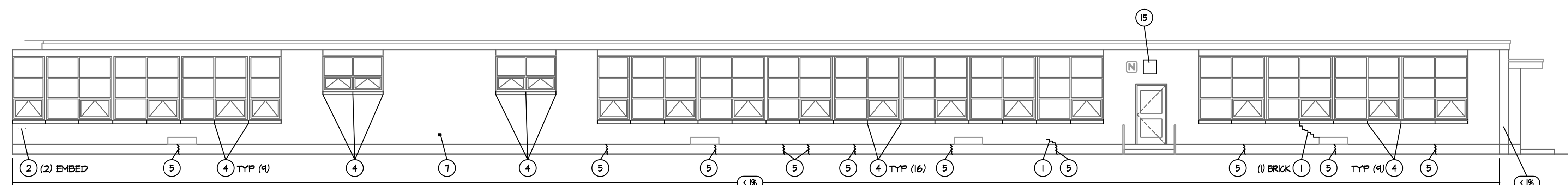
34 EAST ELEVATION
SCALE: 1/8" = 1'-0"



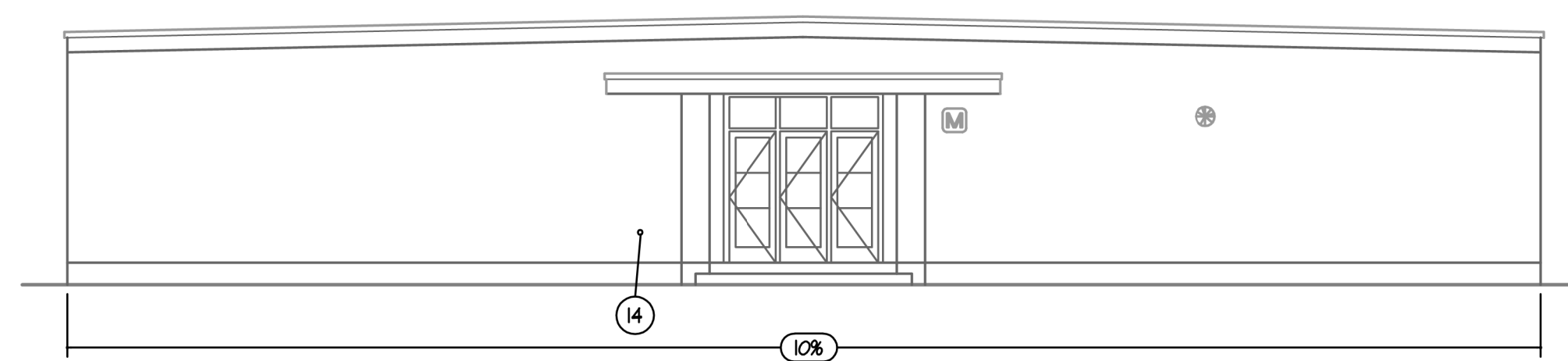
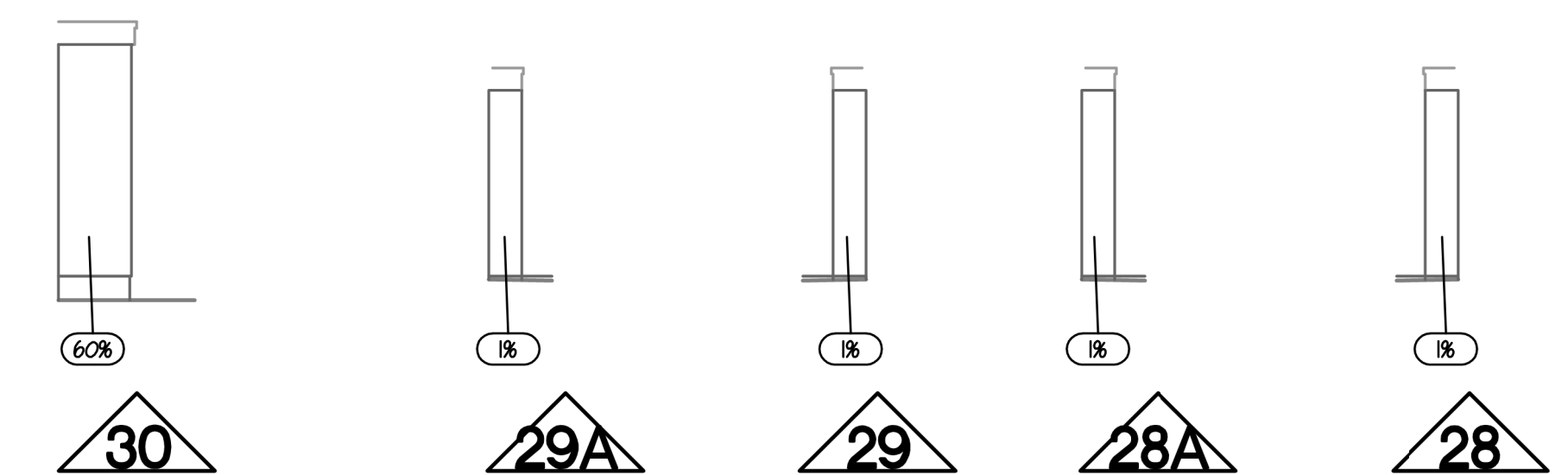
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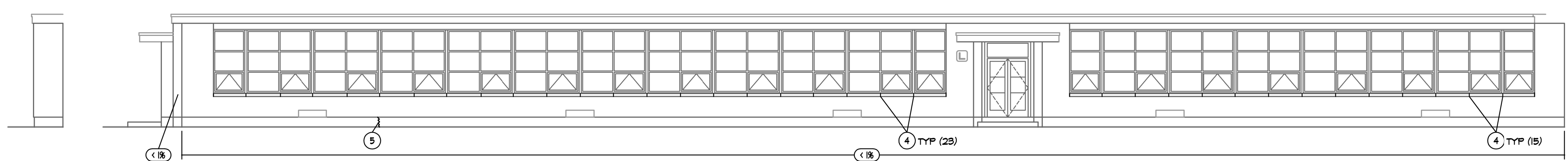
32 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



31 WEST CLASSROOM
SCALE: 1/8" = 1'-0"



27 NORTH CLASSROOM
SCALE: 1/8" = 1'-0"



25 EAST CLASSROOM
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26

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- REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS
- REMOVE AND REPLACE ALL CRACKED MASONRY UNITS
- REMOVE AND REPLACE ALL DAMAGED MASONRY UNITS
- GRIND AND REPOINT ALL JOINTS HEATHERED GREATER THAN 1/4" DEEP
- REPOINT ALL OPEN JOINTS
- REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT
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MASONRY REQUIRED REPAIR BY FACE GROUTING
GRIND AND POINT

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6 REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL BEARING.

7 SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8. PREPARE SUBSTRATE FOR NEW JAHN REPAIR. CONTRACTOR TO VERIFY SIZE OF REPAIR DOES NOT REQUIRE ADDITIONAL PINS/ANCHORS, ELSE PROVIDE. CONTRACTOR TO VIF QUANTITY OF WORK.

9 EXISTING 6" DIA +/- HOLE CUT THRU MASONRY WALL. REMOVE (5) CUT BRICKS AND REPLACE WITH NEW WHOLE BRICKS.

10 PROVIDE NEW WEATHEPROOF COVER PLATE AT EXISTING JUNCTION BOX

II AT ADDITION WINDOW SILLS: REMOVE SEALANT BETWEEN STONES. SKY AND FRONT FACE. PROVIDE NEW SEALANT AND WHERE NECESSARY NEW BACKER ROD. INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

12 MASONRY CONTRACTOR TO REMOVE UNREADABLE SIGN AND FILL HOLES. RPS
TO F#1 NEW SIGN IF DESIRED.

13 REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

14 REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

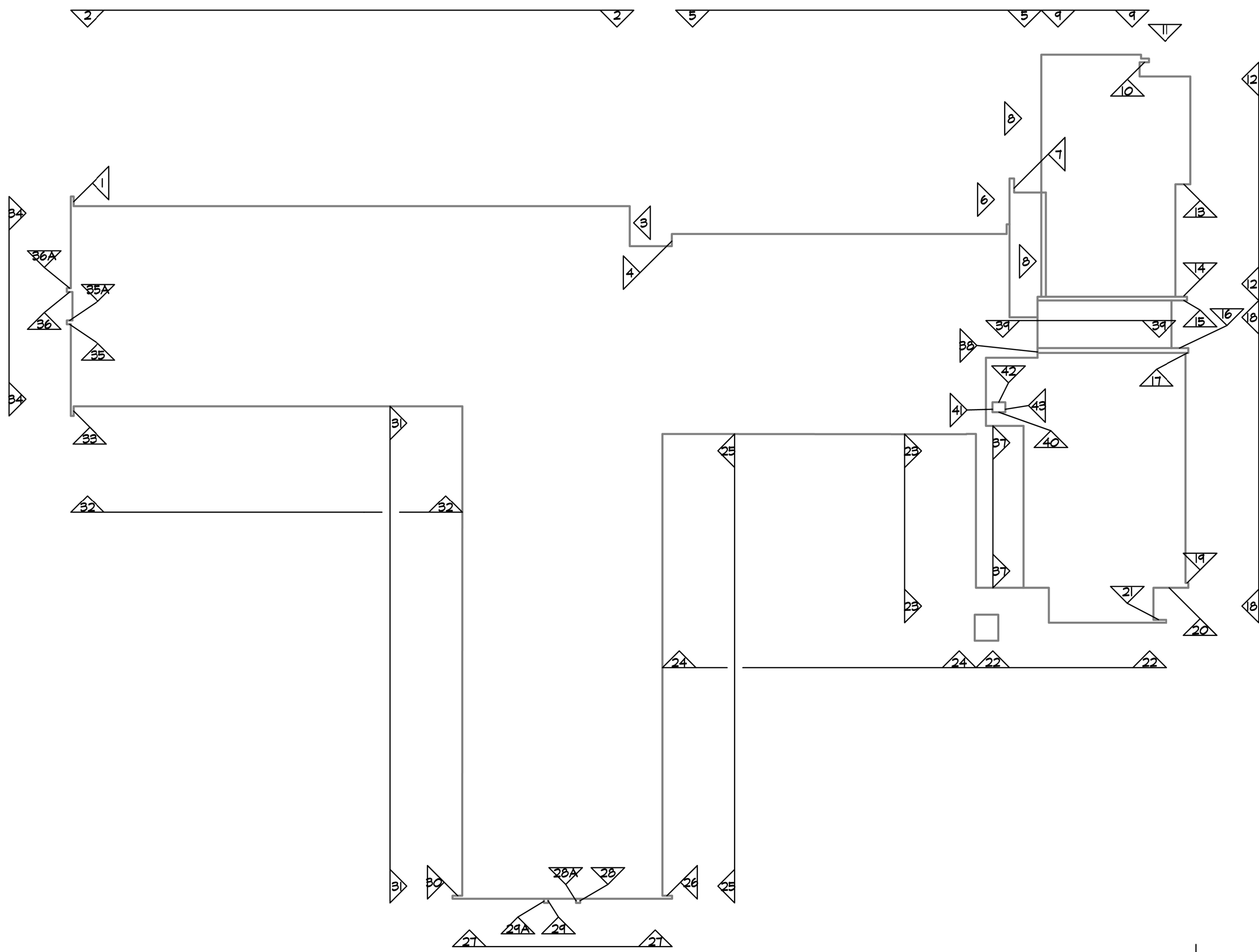
15 LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY
PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION
COLOR TO MATCH LOUVER.

16 REMOVE SEALANT. GRIND AND POINT JOINT BETWEEN BRICK AND CONCRETE.

17 EXISTING ABANDONED CHIMNEY
BASE BID: NO WORK, NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO
POINTING
ALTERNATE A-1 REMOVE CHIMNEY CONSTRUCTION DOWN TO 4'-4" ABOVE EXISTING
RAVINE BASIN. FOSTER REMAINING JOINTS. PROVIDE TREATED 2x4 NAILER SET INTO
EXISTING MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF
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CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW
ROOF LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION.
TYPICAL AT 3 SCHOOLS.

18 DETACH AND RESET EXISTING DOWNSPOUT TO ALLOW FOR REPAIR OF FOUNDATION CRACK. RE-ATTACH DOWNSPOUT.

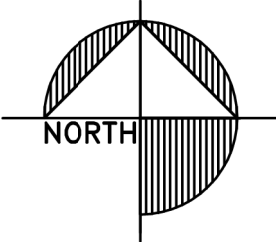
19 GRIND AND POINT JOINT BETWEEN GLASS BLOCKS AND STONE SILL BELOW.



1

KEYPLAN

SCALE: 1/32" = 1'-0"



EXTERIOR REPOINTING FOR:



JOHNSON ELEMENTARY SCHOOL
3805 RURAL STREET
ROCKFORD, ILLINOIS 61101

PROJECT

DRAWN

BFA

DATE _____

01-22-2021

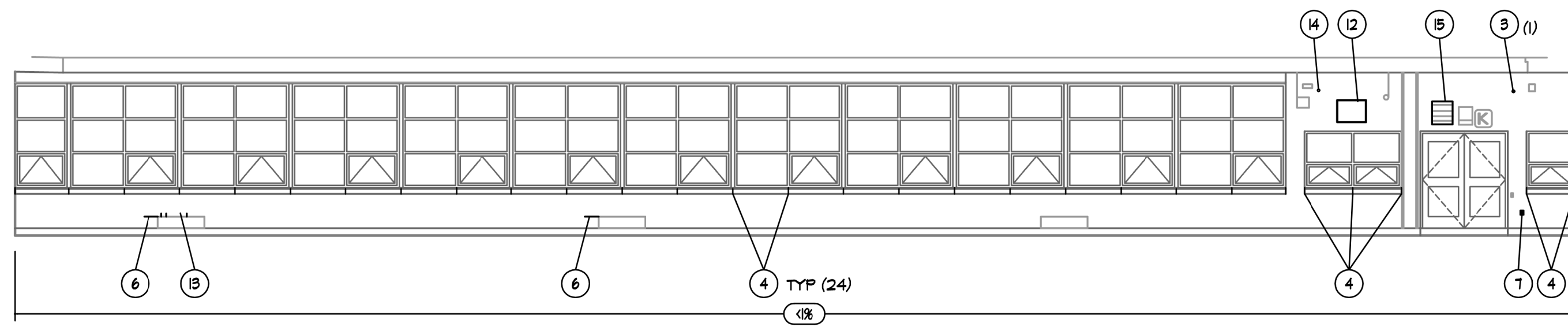
PROJECT No.

117D
SD205 #2104

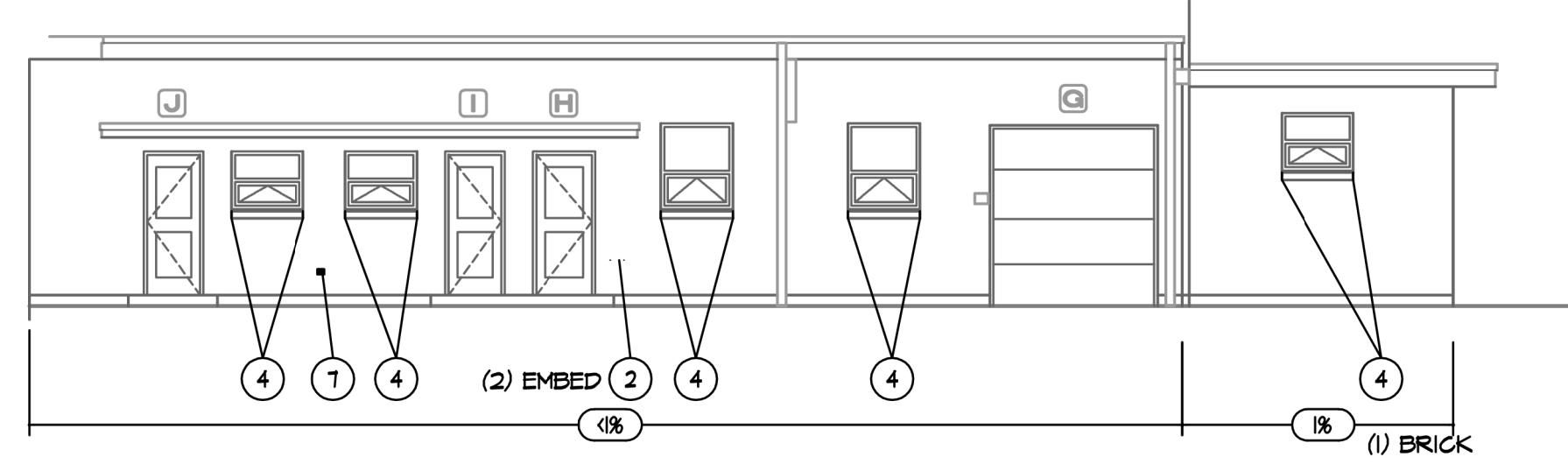
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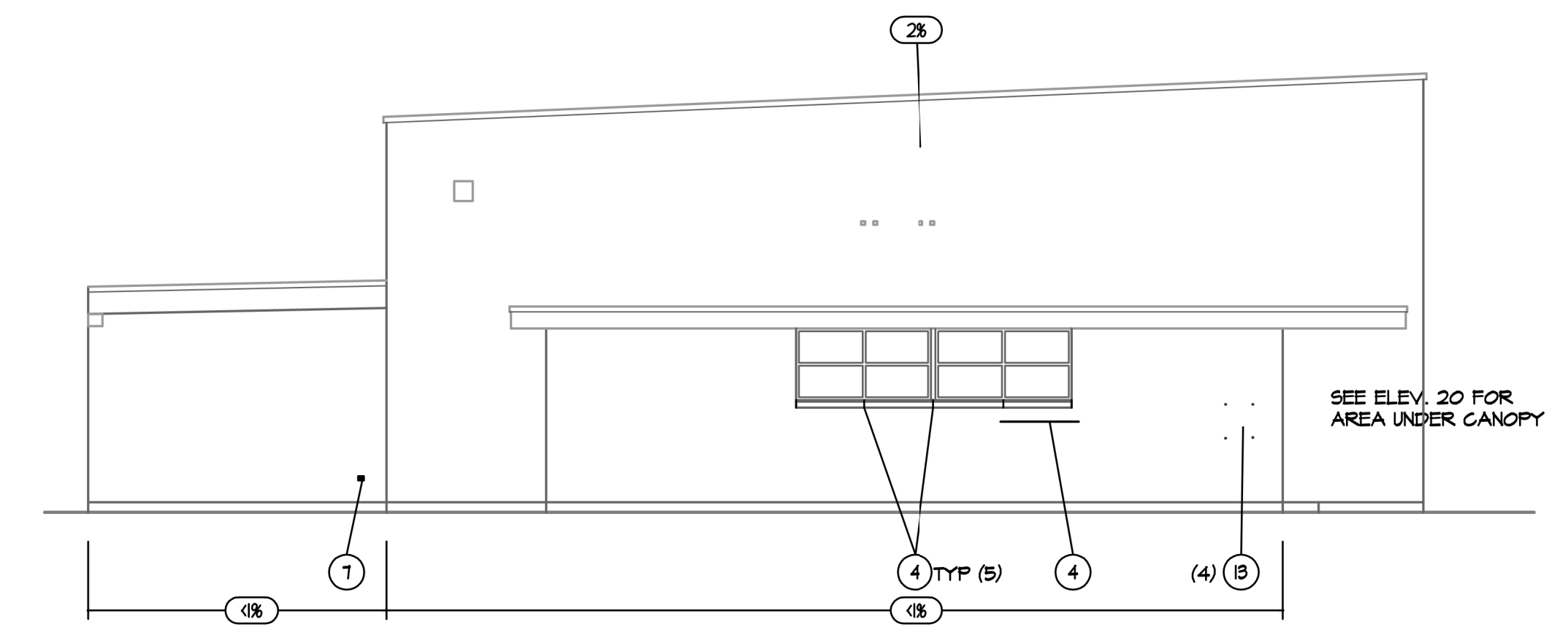
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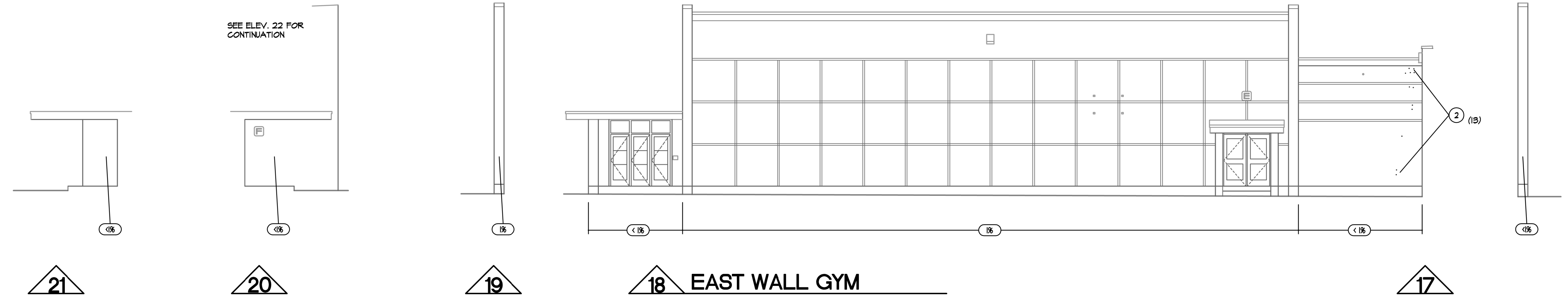
24 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



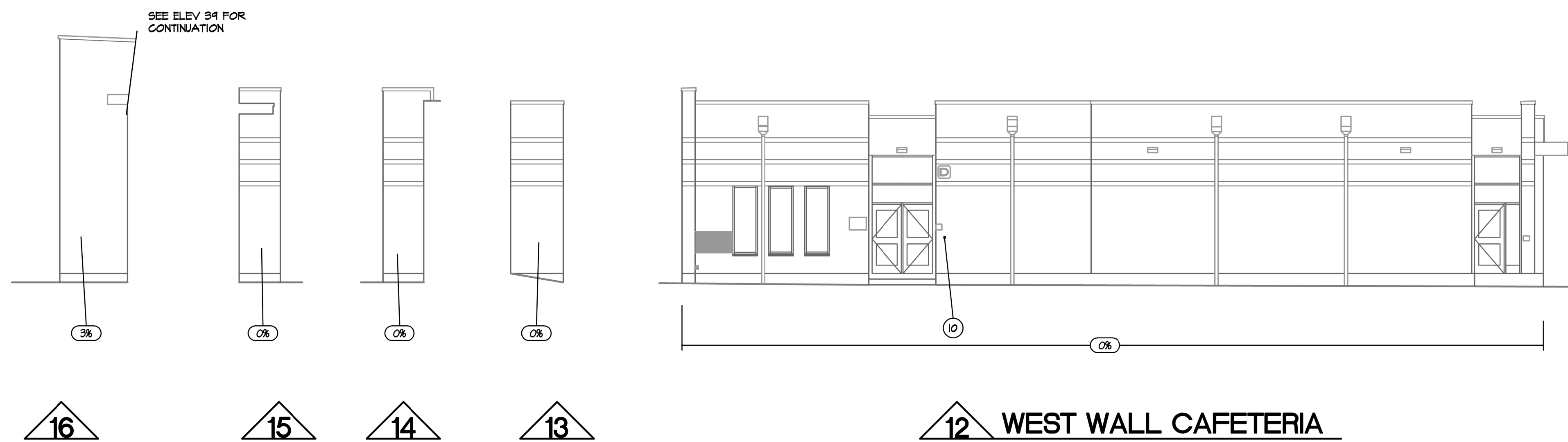
23 WEST RECEIVING
SCALE: 1/8" = 1'-0"



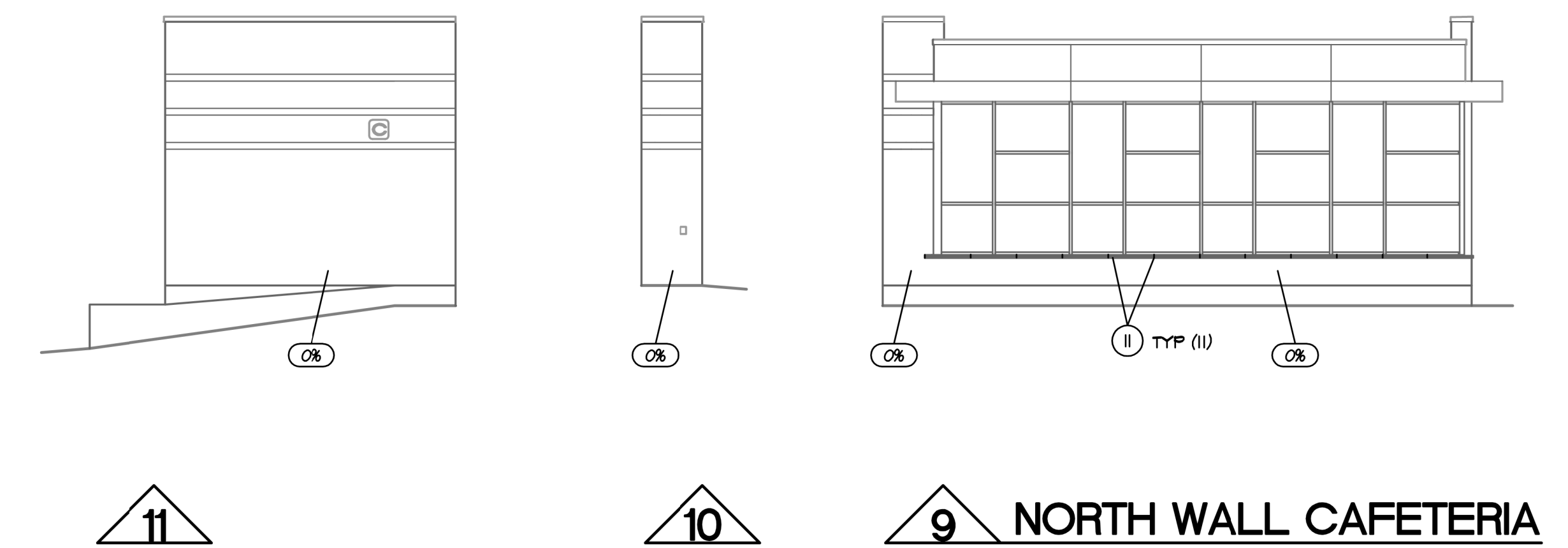
22 SOUTH WALL GYM
SCALE: 1/8" = 1'-0"



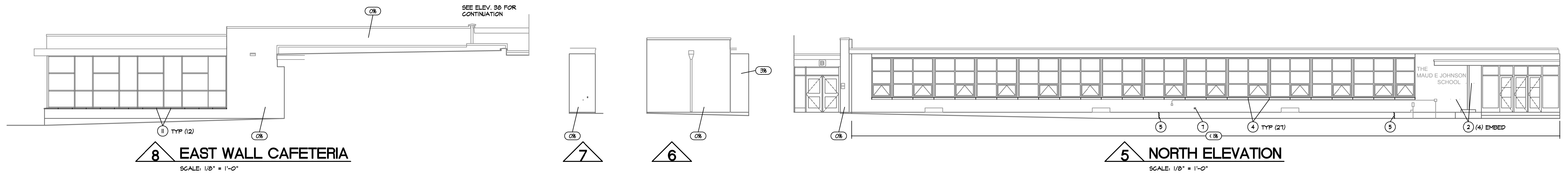
18 EAST WALL GYM
SCALE: 1/8" = 1'-0"



12 WEST WALL CAFETERIA
SCALE: 1/8" = 1'-0"

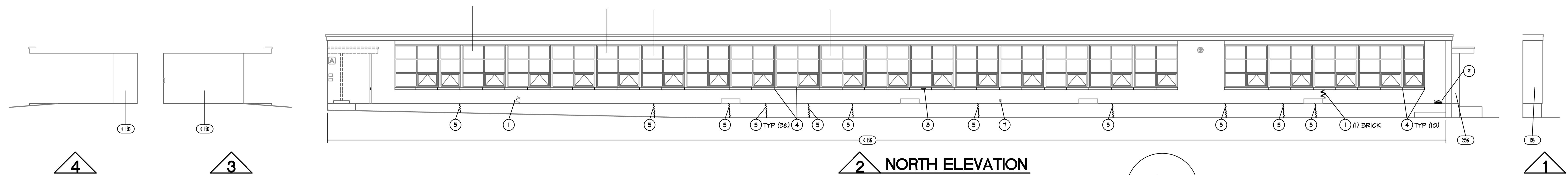


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SCALE: 1/8" = 1'-0"

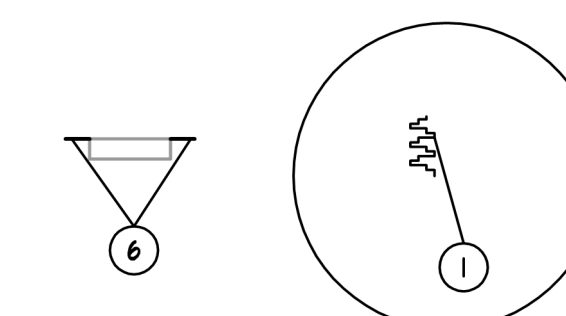


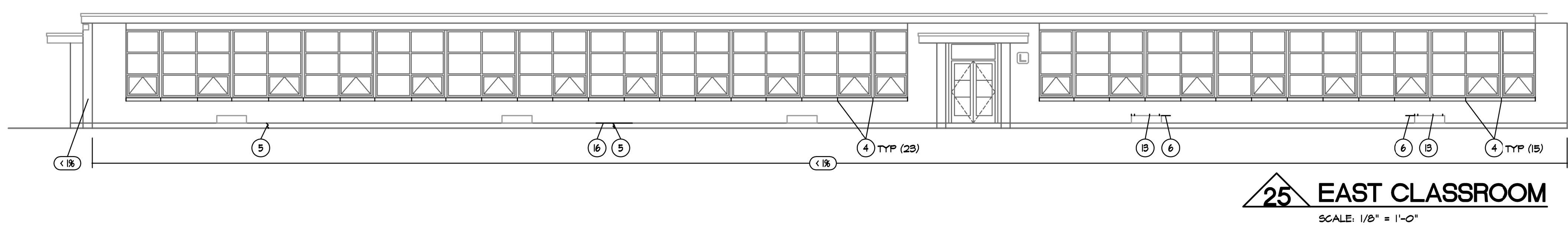
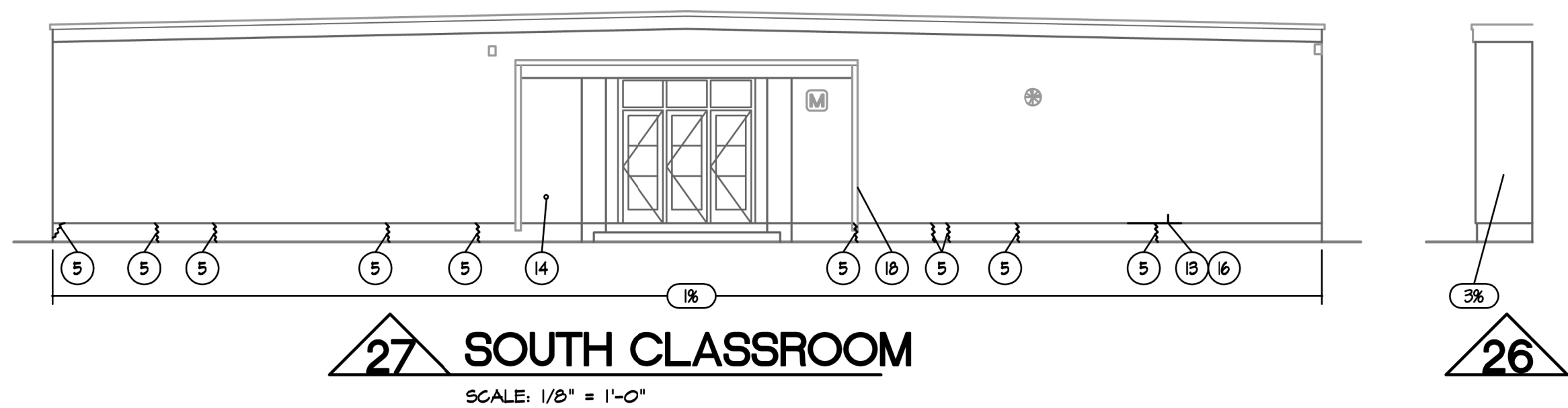
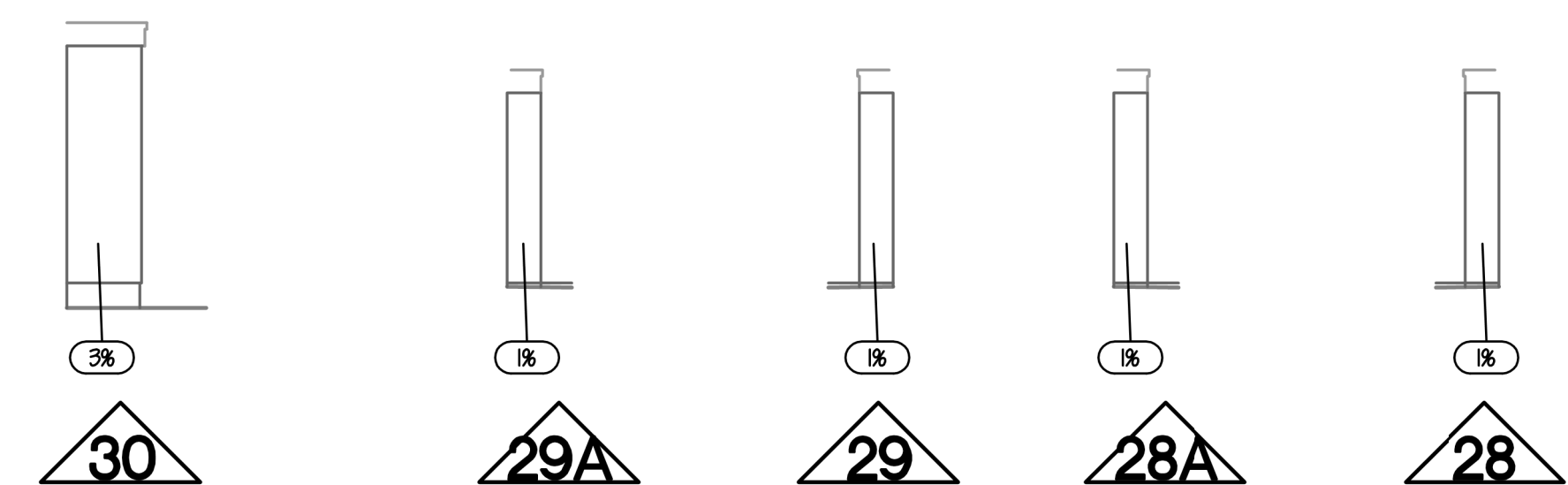
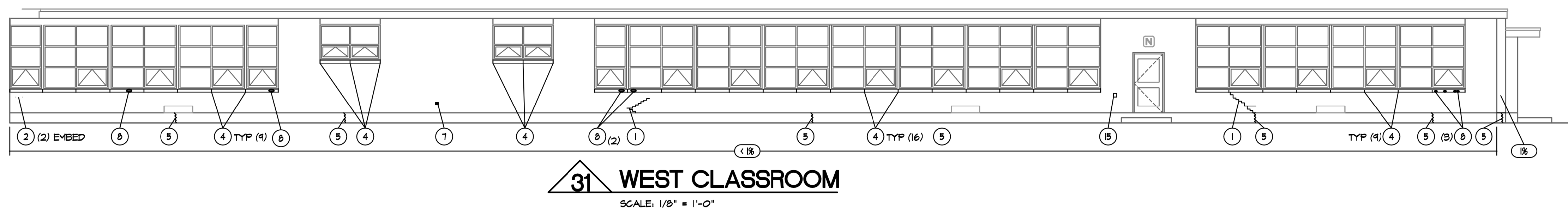
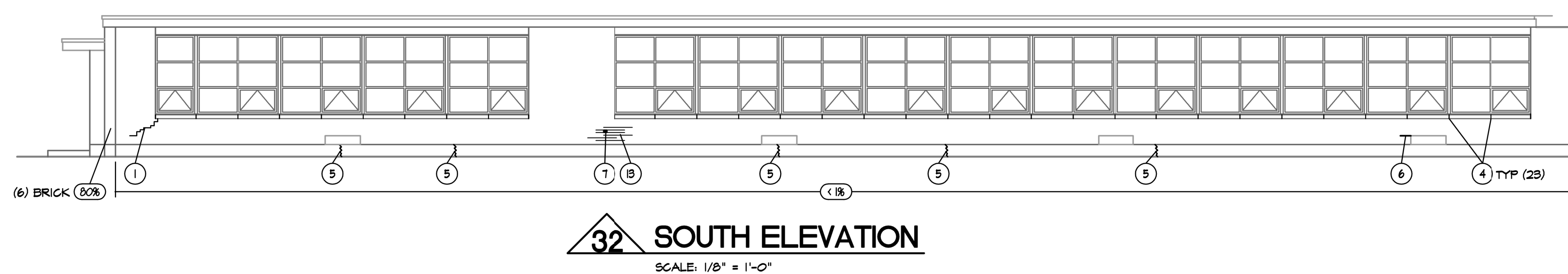
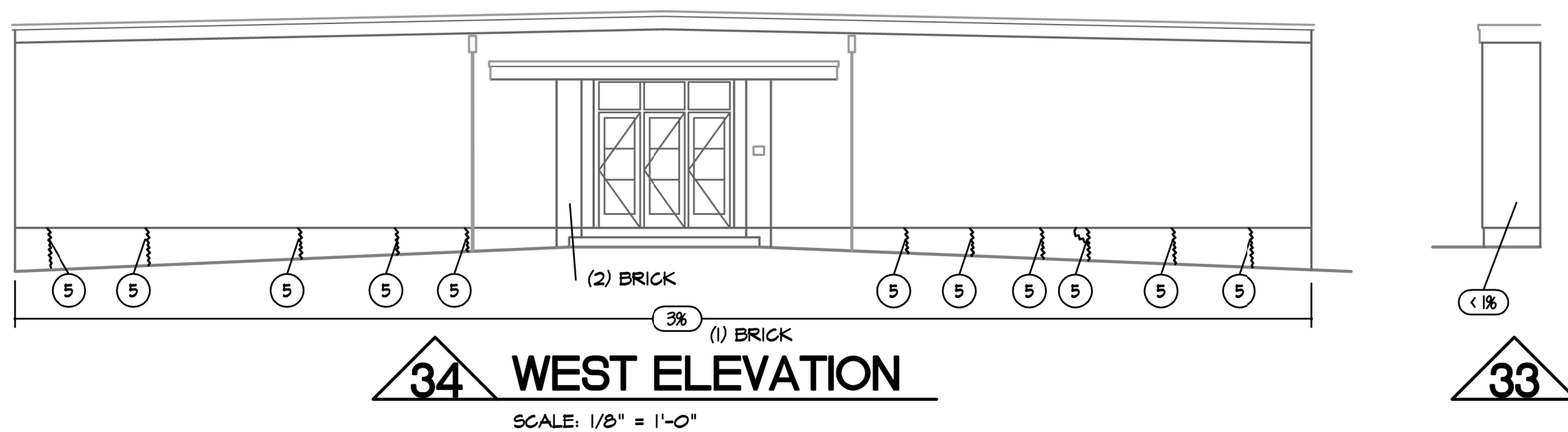
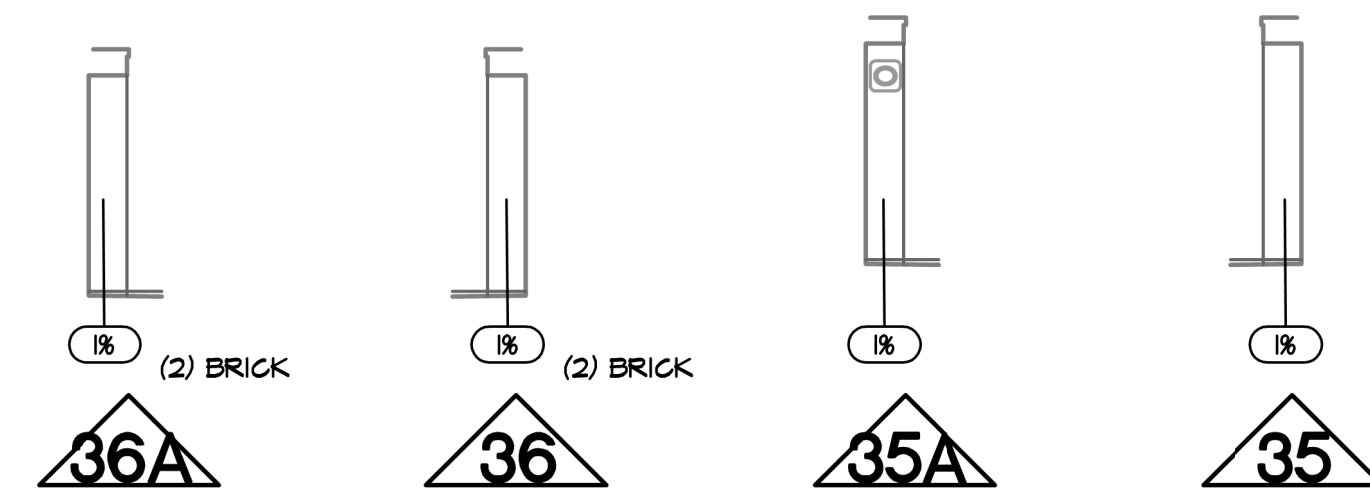
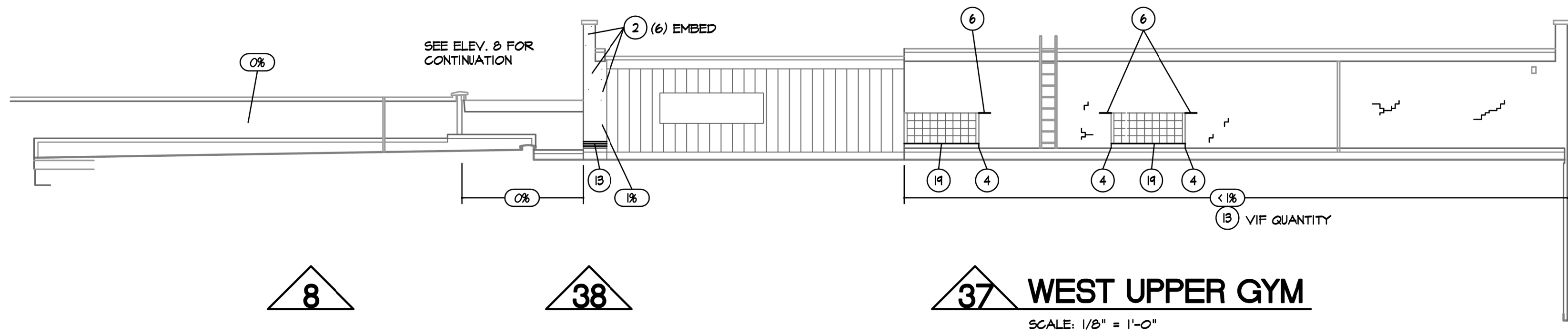
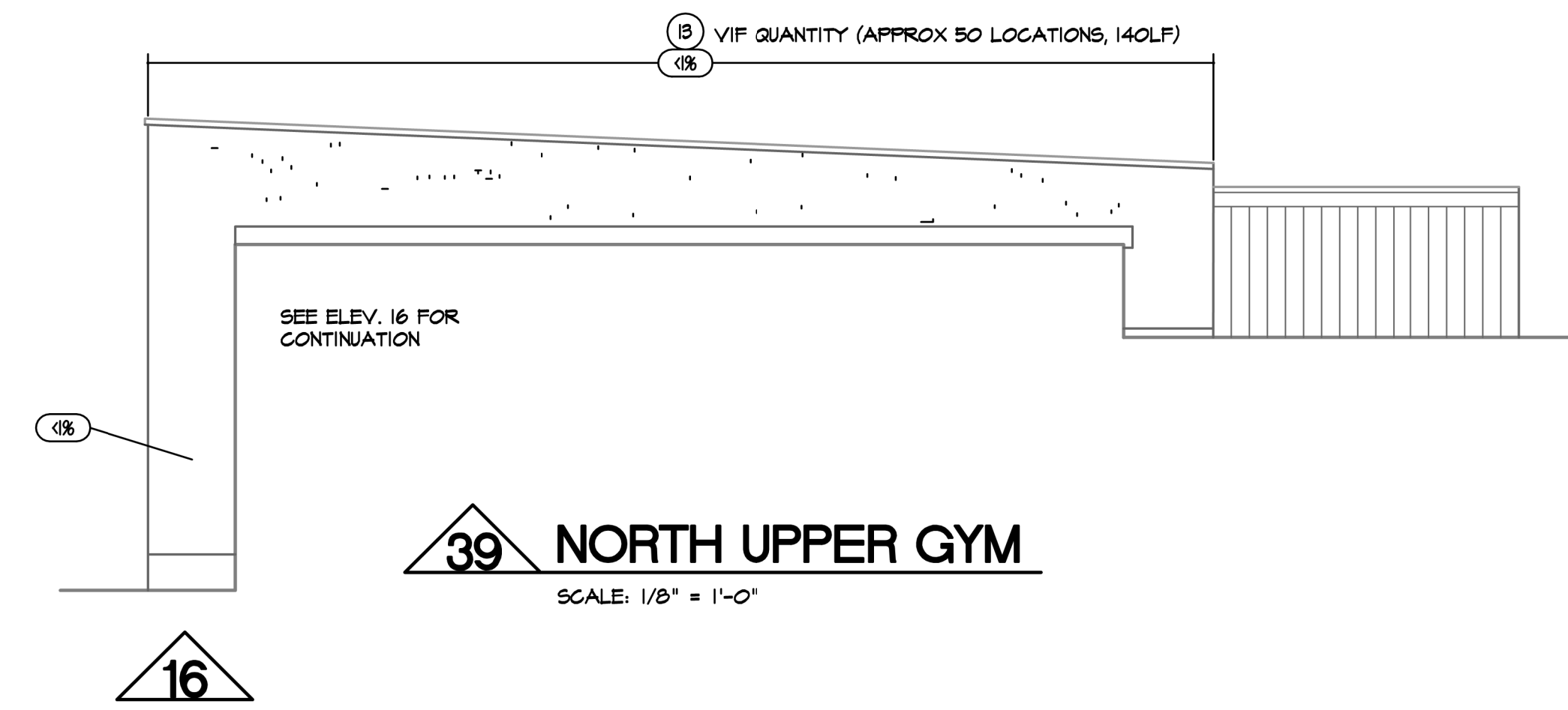
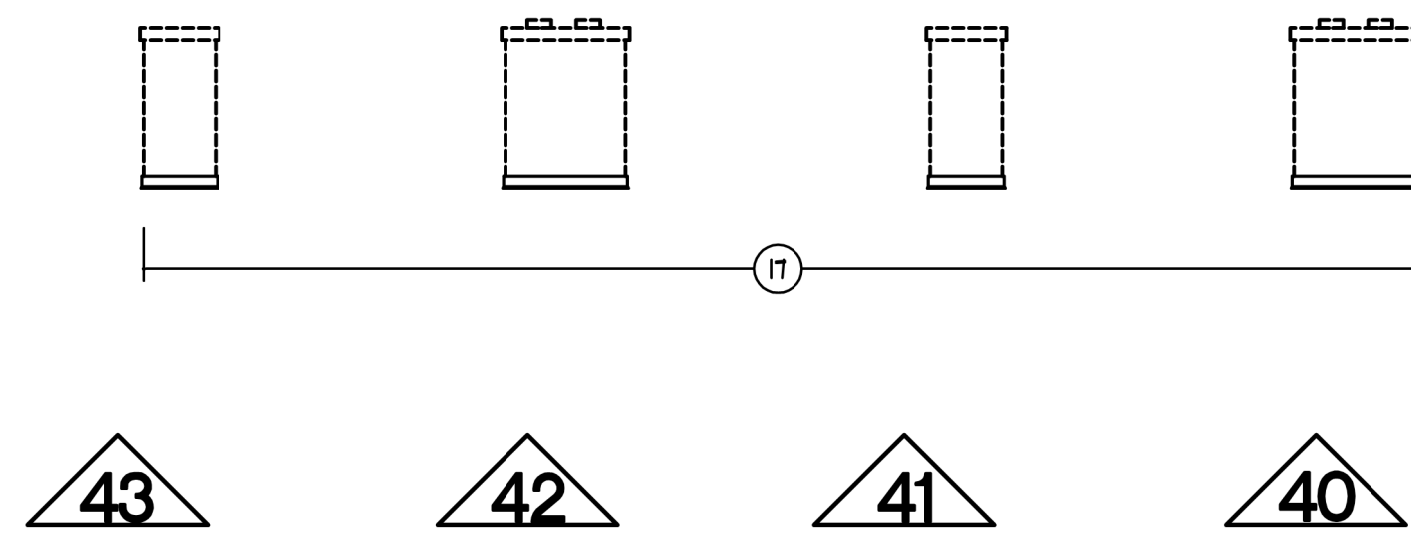
8 EAST WALL CAFETERIA
SCALE: 1/8" = 1'-0"

5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"





MASONRY RESTORATION NOTES

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS:
REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS
REMOVE AND REPLACE ALL CRACKED MASONRY UNITS
REMOVE AND REPLACE ALL SPALLED MASONRY UNITS
GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP
REPOINT ALL OPEN JOINTS
REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT
REMOVE ALL UNUSED EMBEDMENTS
HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT.
HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.
THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:
LESS THAN 1MM NO WORK REQUIRED
GREATER THAN 1MM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING
GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

NOTE:
SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY.
CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

NOTE:
WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

NOTE:
ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE:
ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT..

NOTE:
FOR ALL EXPOSED MASONRY (STONE / BRICK):
- CLEAN MASONRY.
WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TWO, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY.
AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

8 APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

1. EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2. REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3. PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4. AT WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE AND 1/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5. WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6. REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARINGS, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARINGS ONLY. POINT WITH MORTAR BEYOND LINTEL BEARING.

7. SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8. NOT USED.

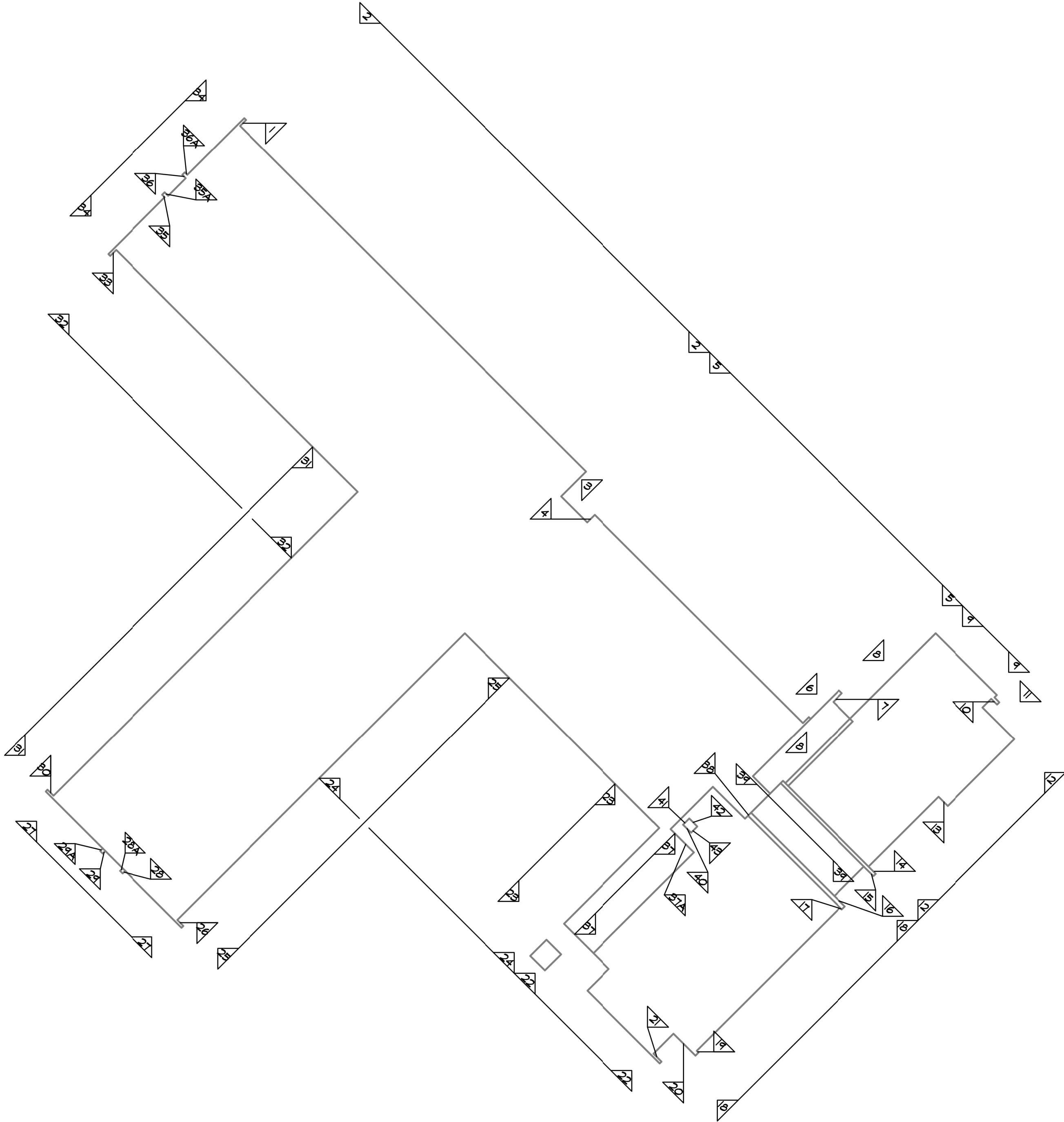
9. REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

10. PROVIDE NEW WEATHERPROOF COVER PLATE AT EXISTING JUNCTION BOX.

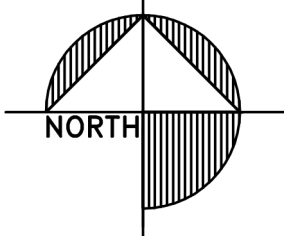
11. REMOVE SEALANT AT EXISTING LINTEL, FULL LENGTH. GRIND JOINT. INSPECT LINTEL FOR RUST, AND TREAT ACCORDINGLY WITH RUST INHIBITOR. POINT JOINT.

12. EXISTING ABANDONED CHIMNEY
BASE BID, NO WORK. NO CLEANING, NO SEALER, NO BRICK REPLACEMENT, NO POINTING
ALTERNATE A-1: REMOVE CHIMNEY CONSTRUCTION DOWN TO 4'-0" ABOVE EXISTING ROOF FLASHING. POINT REMAINING JOINTS. PROVIDE TREATED 2x NAILER SET INTO EXISTING MASONRY TO REMAIN. PROVIDE NEW METAL TOP CAP CAPABLE OF SUPPORTING 200# TOTAL LOAD. EDGE OF METAL COVER TO EXTEND WITH DRIP EDGE, OVER TOP 2' OF EXISTING FLASHING FOR WATERTIGHT CONDITION. CONTRACTOR MAY SECURE OPENINGS IN CHIMNEY BELOW, AND FILL CHIMNEY, BELOW ROOF LINE, TO REMAIN WITH RUBBLE FROM DEMOLITION. TYPICAL AT 8 SCHOOLS.

13. ALTERNATE A-2 FOR ALL HOLLOW METAL DOORS/FRAMES AND FOR ALL OVERHEAD DOORS, ALL SEALANT TO BE REMOVED BY ASBESTOS CONTRACTOR UNDER SEPARATE CONTRACT.
THIS CONTRACTOR TO PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH FRAME.
AT JAMBS: BETWEEN FRAME/TRIM AND BRICK.
AT HEAD: BETWEEN FRAME AND LINTEL ABOVE.
AT LINTEL: GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE. CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER.
PAINT ALL EXPOSED METAL SURFACES, COLOR TO MATCH EXISTING FRAMES.



1 KEYPLAN
SCALE: 1/32" = 1'-0"



EXTERIOR REPOINTING FOR:



LATHROP ELEMENTARY SCHOOL
2603 CLOVER AVENUE
ROCKFORD, ILLINOIS

DRAWN

BFA

DATE

01-22-2021

PROJECT No.

1117E
SD205 #2105

SHEET No.

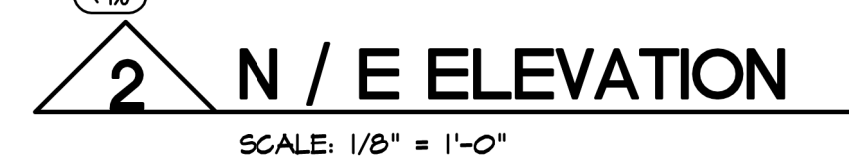
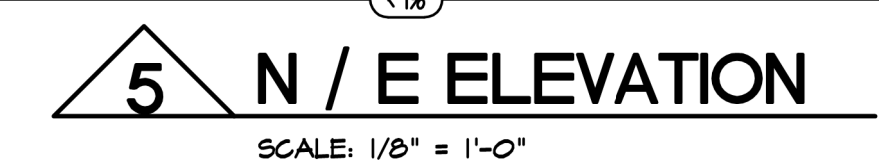
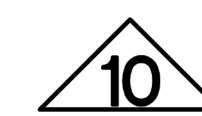
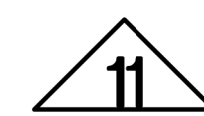
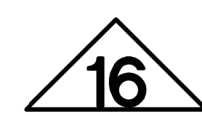
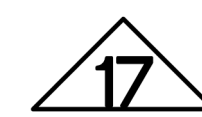
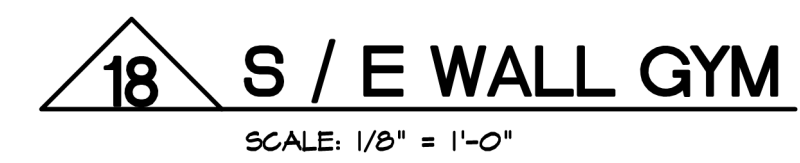
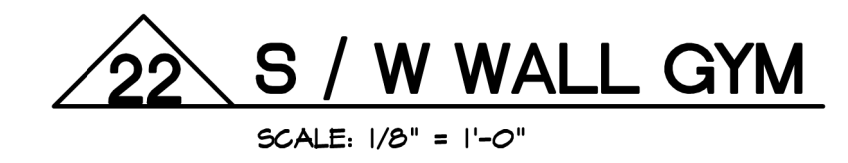
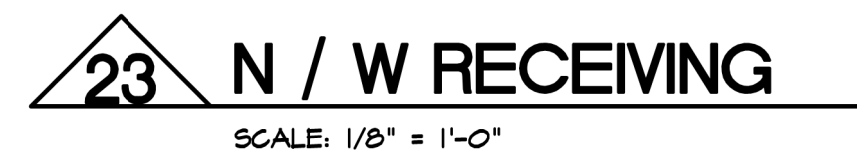
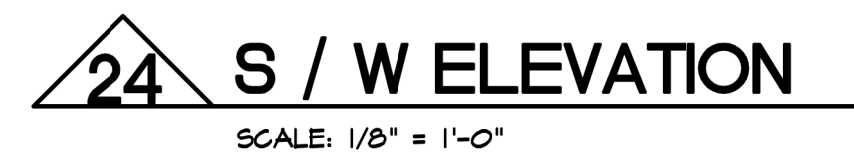
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DWG FILE: A1

REV.

BELLES FIRM OF
architecture

2905 Creekside Court, Suite 'B', Rockford, IL 61114
(815)-961-0504 BellesFirm@yahoo.com
License No. 184-001868



REV.

EXTERIOR REPORTING FOR:



LATHROP ELEMENTARY SCHOOL
ROCKFORD, ILLINOIS
2603 CLOVER AVENUE

PROJECT

DRAWN

BFA

DATE

01-22-2021

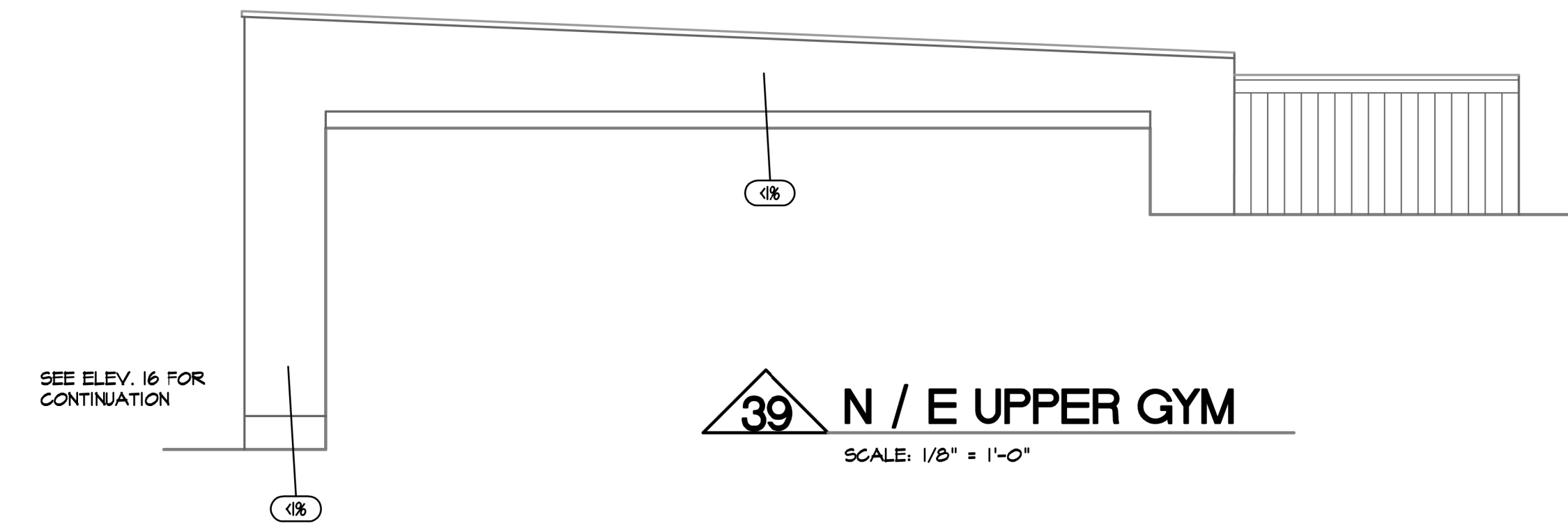
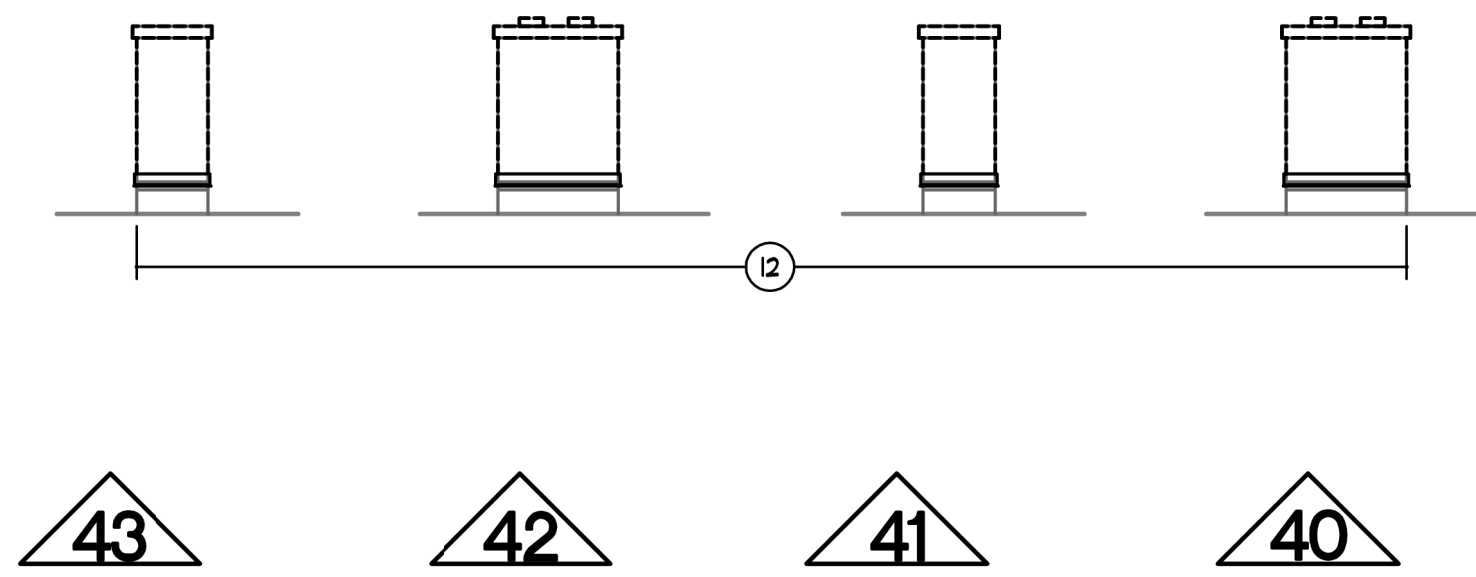
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SD205 #2105

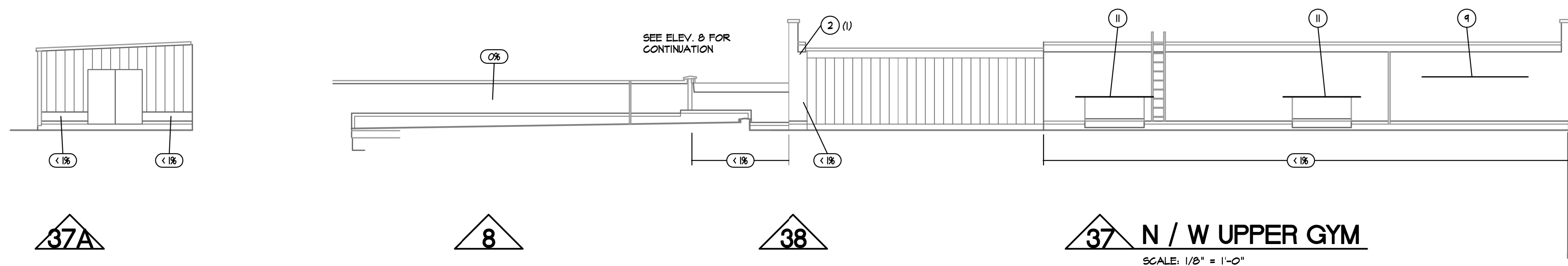
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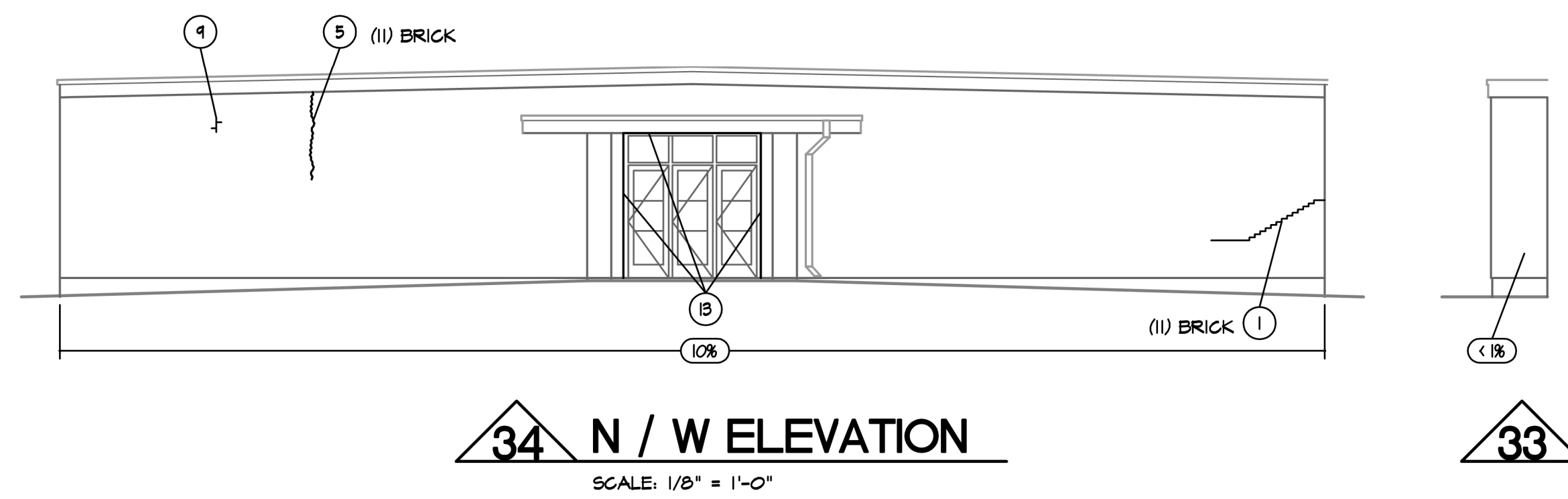
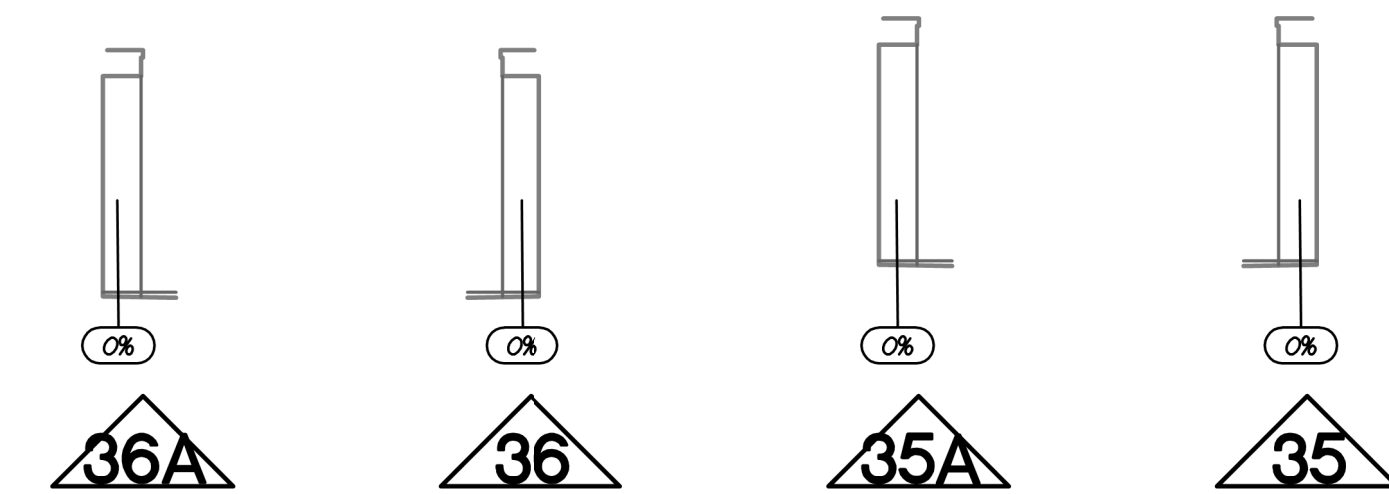
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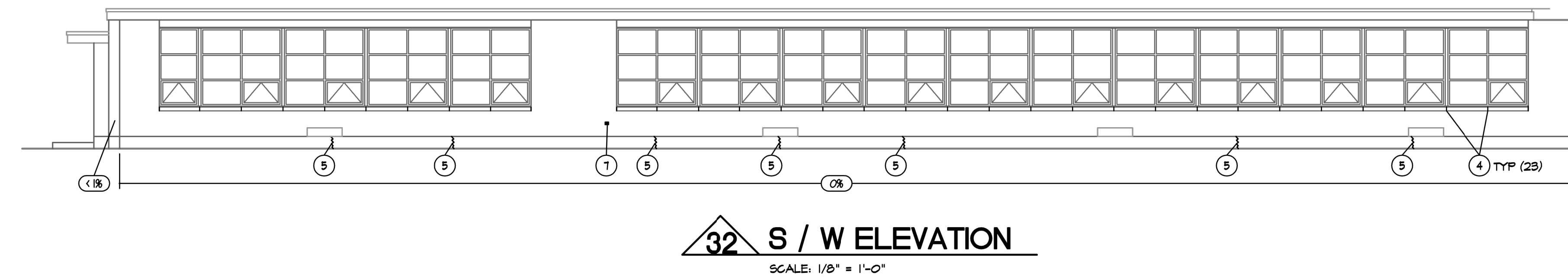
39 N / E UPPER GYM
SCALE: 1/8" = 1'-0"



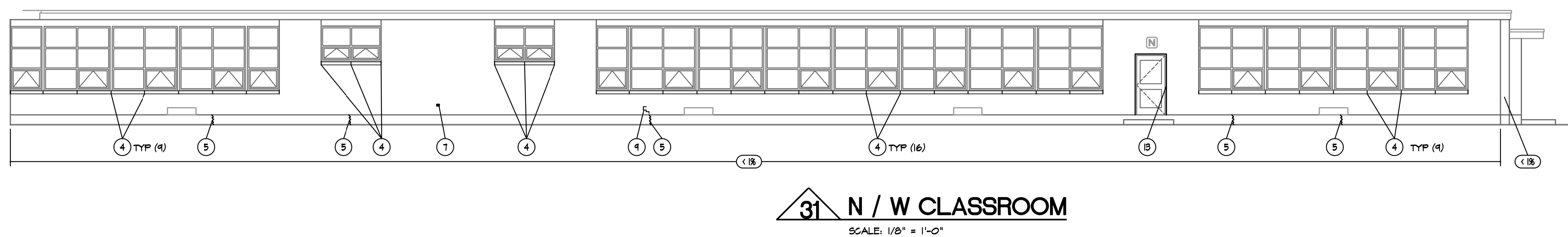
37 N / W UPPER GYM
SCALE: 1/8" = 1'-0"



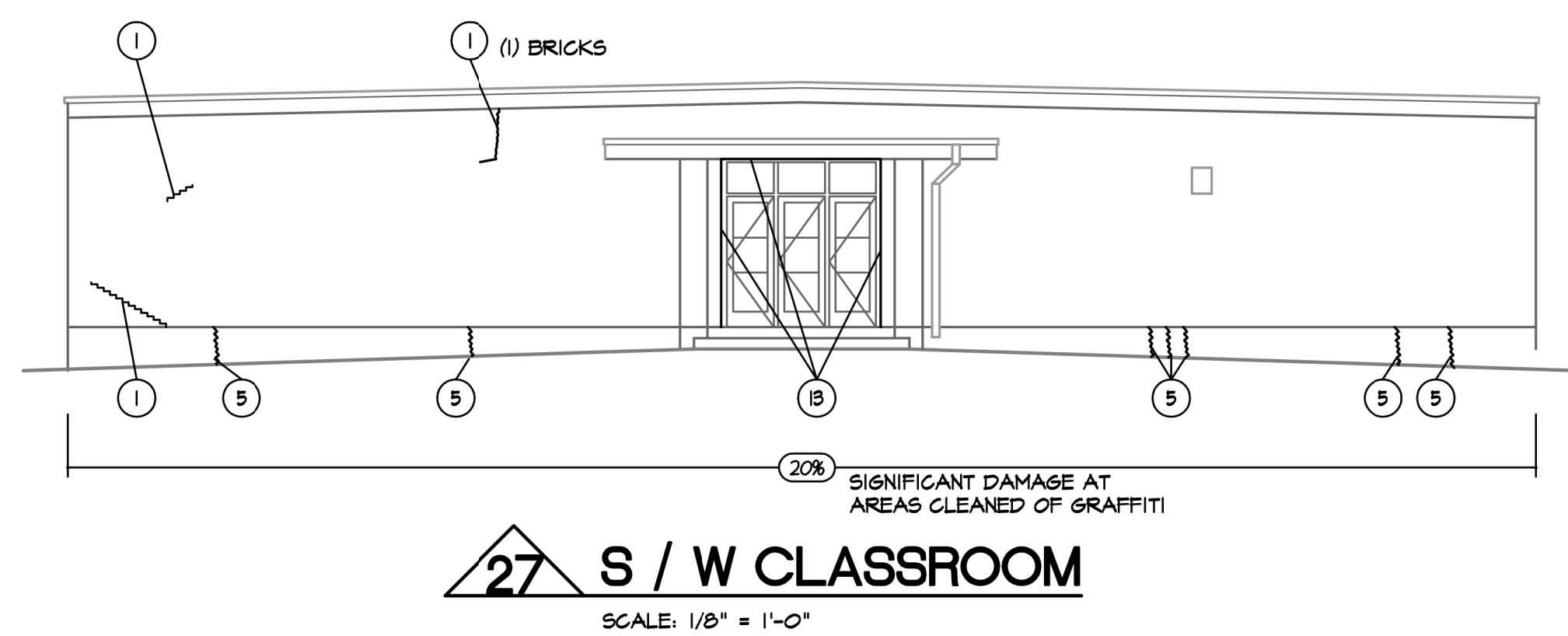
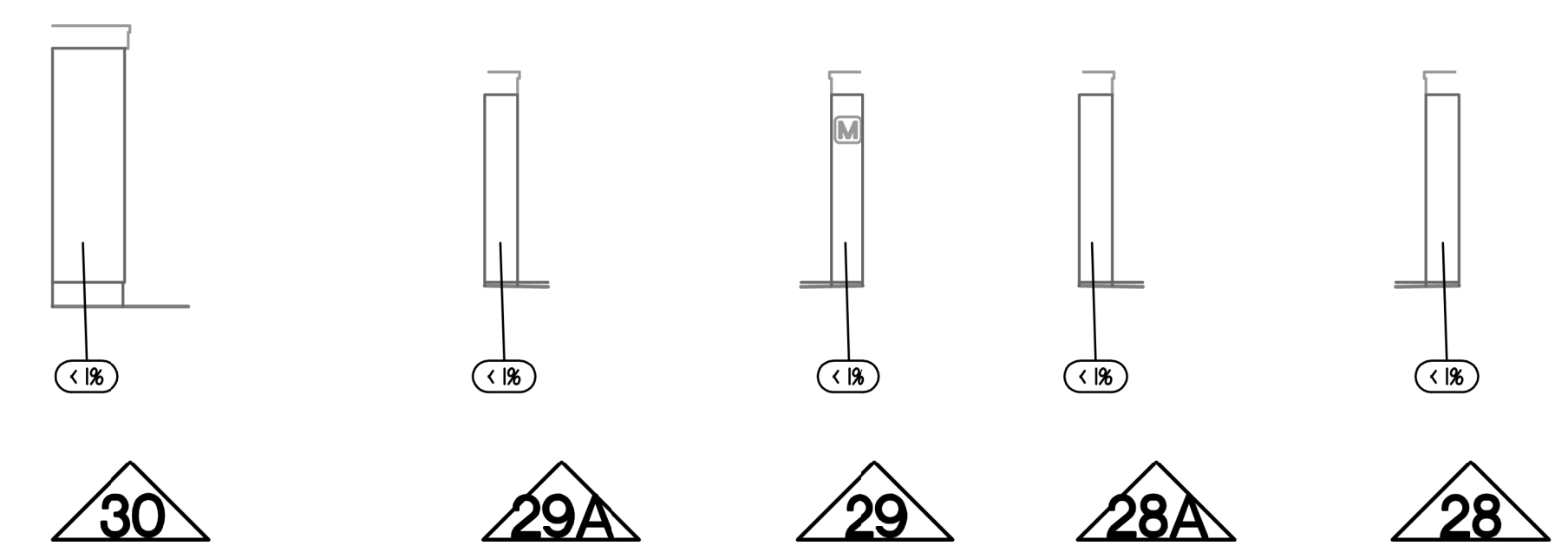
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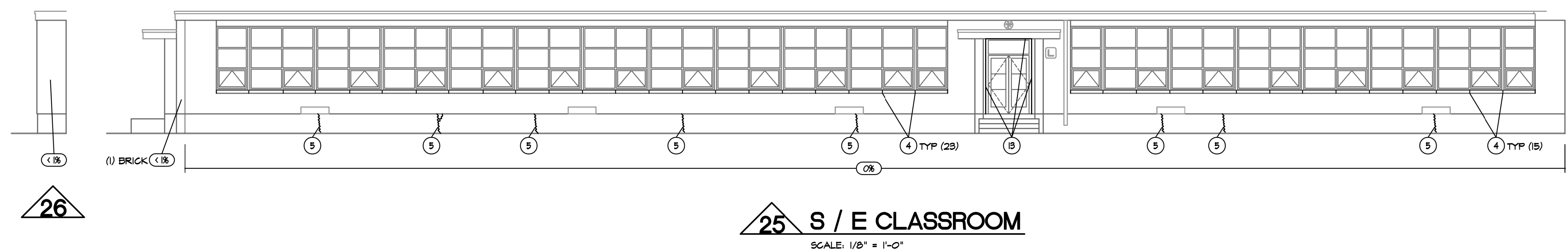
32 S / W ELEVATION
SCALE: 1/8" = 1'-0"



31 N / W CLASSROOM
SCALE: 1/8" = 1'-0"



27 S / W CLASSROOM
SCALE: 1/8" = 1'-0"



25 S / E CLASSROOM
SCALE: 1/8" = 1'-0"

26

MASONRY RESTORATION NOTES

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS:

REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS

REMOVE AND REPLACE ALL SPALLED MASONRY UNITS

GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP

REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT

REMOVE ALL UNSEED EMBEDMENTS

HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT.

HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN 1MM NO WORK REQUIRED

GREATER THAN 1MM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING

GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

NOTE:

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

NOTE:

WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO CORNINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

NOTE:

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT.

NOTE:

ALL JUNCTION BOXES (RECEPTACLES, BOXES, SWITCHES, DEVICES, ETC.) TO BE SEALED WATERTIGHT TO MASONRY, INDICATED, OR NOT..

NOTE:

FOR ALL EXPOSED MASONRY (STONE / BRICK):

- CLEAN MASONRY.
- WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TWO, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY.

AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

⑤ APPROXIMATE AREA OF WALL THAT WILL REQUIRE GRINDING AND REPOINTING TO BE INCLUDED IN BASE BID.

1. EXISTING STRESS CRACK. REMOVE SEALANT AND/OR MORTAR. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE) TO ELIMINATE ALL CRACKS IN MORTAR. POINT WITH MORTAR.

2. REMOVE EXISTING EMBEDMENTS(S). SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

3. PATCH/SEAL HOLE(S). SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

4. AT WINDOW SILLS: REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND 1/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

5. WHERE PRESENT, REMOVE SEALANT AT CRACK IN CONCRETE. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/4" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

6. REMOVE SEALANT AT MORTAR CRACK AT LINTEL BEARING, AND GRIND JOINT. PROVIDE NEW SEALANT AT BEARING ONLY. POINT WITH MORTAR BEYOND LINTEL BEARING.

7. SEAL SILLCOCKS/HOSE BIBS WATERTIGHT TO MASONRY

8. NOT USED.

9. REMOVE SEALANT IN MORTAR JOINTS. GRIND AND POINT. VIF QUANTITY THIS AREA.

10. NOT USED

11. STRUCTURAL STEEL MEMBER EXTENDS THRU BRICK WALL. EXAMINE PENETRATION. REMOVE CRACKING MORTAR AND FRIABLE SEALANT. PROVIDE NEW SEALANT, CONTINUOUS BETWEEN STEEL AND MORTAR (COLOR OF NEW PAINTED STEEL), AND BACKER ROD AS REQUIRED. TOUCH UP DAMAGED PAINT. SEE RPS205 FOR COLOR.

12. REMOVE AND REPLACE SEALANT. PROVIDE BACKER ROD AS REQUIRED. MATCH COLOR OF ADJACENT CONCRETE.

13. STRUCTURAL STEEL RIBBED DECK PASSES OVER/THRU MASONRY WALL. EXAMINE PENETRATIONS. REMOVE CRACKING MORTAR AND FRIABLE SEALANT. PROVIDE NEW SEALANT, CONTINUOUS BETWEEN STEEL AND MORTAR (COLOR OF NEW PAINTED STEEL), AND BACKER ROD AS REQUIRED. TOUCH UP DAMAGED PAINT. SEE RPS205 FOR COLOR.

14. METAL PLATE COVERING ABANDONED LIGHT FIXTURE. REMOVE SEALANT, WHERE PRESENT. PROVIDE NEW SEALANT BETWEEN PLATE AND BRICK FOR WATERTIGHT CONDITION. SEALANT COLOR OF PAINTED PLATE.

15. DETACH AND RESET EXISTING DOWNSPOUT TO ALLOW FOR CLEANING AND INSPECTION OF MASONRY BEHIND. GRIND AND POINT ALL JOINTS AS REQUIRED. AFTER SEALER, RE-ATTACH DOWNSPOUT.

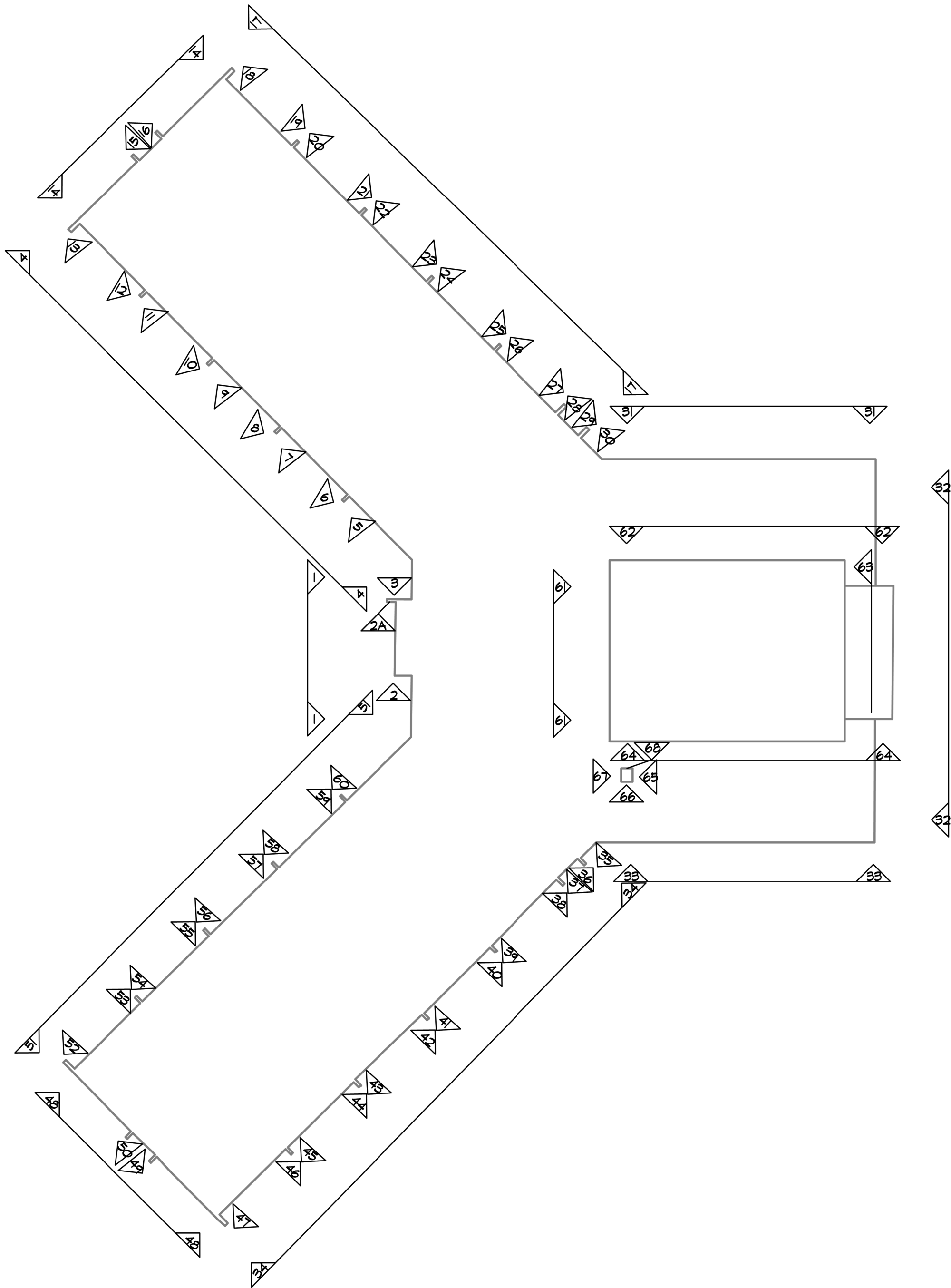
16. LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH LOUVER.

17. REMOVE SPRAY FOAM, SEALANT, AND MORTAR BETWEEN TOP OF BRICK AND UNDERSIDE OF METAL PANEL ABOVE. PROVIDE NEW MORTAR TO FILL GAP LESS 3/8". AT REMAINING 3/8" PROVIDE BACKER ROD AND SEALANT BETWEEN NEW MORTAR AND METAL PANEL.

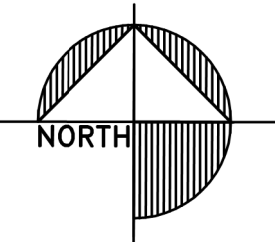
18. REMOVE AND DISPOSE OF EXISTING DOWNSPOUT. REMOVE EMBEDMENTS PER NOTE 2. PATCH HOLES PER NOTE 3. PROVIDE NEW OPEN FRONT, PREFINISHED METAL (COLOR TO MATCH EXISTING AND AS APPROVED BY RPS205), OPEN FACE DOWNSPOUT ATTACHED TO BUILDING.

19. CRACK IN CONCRETE SILL. GRIND/CHISEL AS APPROPRIATE. WIDEN THE CRACK TO A MINIMUM OF 1/2" AND BREAK AWAY ANY DETERIORATING CONCRETE (THE EDGES OF THE CRACK SHOULD BE VERTICAL OR BEVELED IN AN INVERTED "V") TO CREATE A CRACK OF APPROPRIATE WIDTH/DEPTH FOR PATCHING. FOR CRACKS GREATER THAN 1/4" PROVIDE BACKER ROD. PROVIDE PRIMER/BONDING ADHESIVE AS RECOMMENDED BY MANUFACTURER FOR PRODUCT USED. INSTALL EPOXY RESIN SEALER FOR STRUCTURALLY WATER-TIGHT CONDITION.

20. AT CHIMNEY: EXAMINE OUTSIDE FACE, TOP, AND INTERIOR FACE OF CONCRETE GAP AND REPORT DAMAGE TO ARCHITECT AND RPS205 PROJECT MANAGER. BASE BID TO INCLUDE AN ALLOWANCE OF 6 HOURS FOR MISC. REPAIRS. EXAMINE, TAKE PHOTOS, AND PROVIDE A REPORT ON THE VISUAL CONDITION OF THE INTERIOR OF CHIMNEY TO THE ARCHITECT AND RPS205 PROJECT MANAGER.



1 KEYPLAN
SCALE: 1/32" = 1'-0"



EXTERIOR REPOINTING FOR:



SUMMERDALE EARLY CHILDHOOD CENTER
3320 GLENWOOD AVENUE
ROCKFORD, ILLINOIS

DRAWN
BFA

DATE
01-22-2021

PROJECT No.
1117J
SD205 #2111

SHEET No.
A1

DWG FILE: A1

REV.

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REV.

EXTERIOR REPORTING FOR:
ROCKFORD PUBLIC SCHOOLS
SUMMERDALE EARLY CHILDHOOD CENTER
3320 GLENWOOD AVENUE
ROCKFORD, ILLINOIS

DRAWN

BFA

DATE

01-22-2021

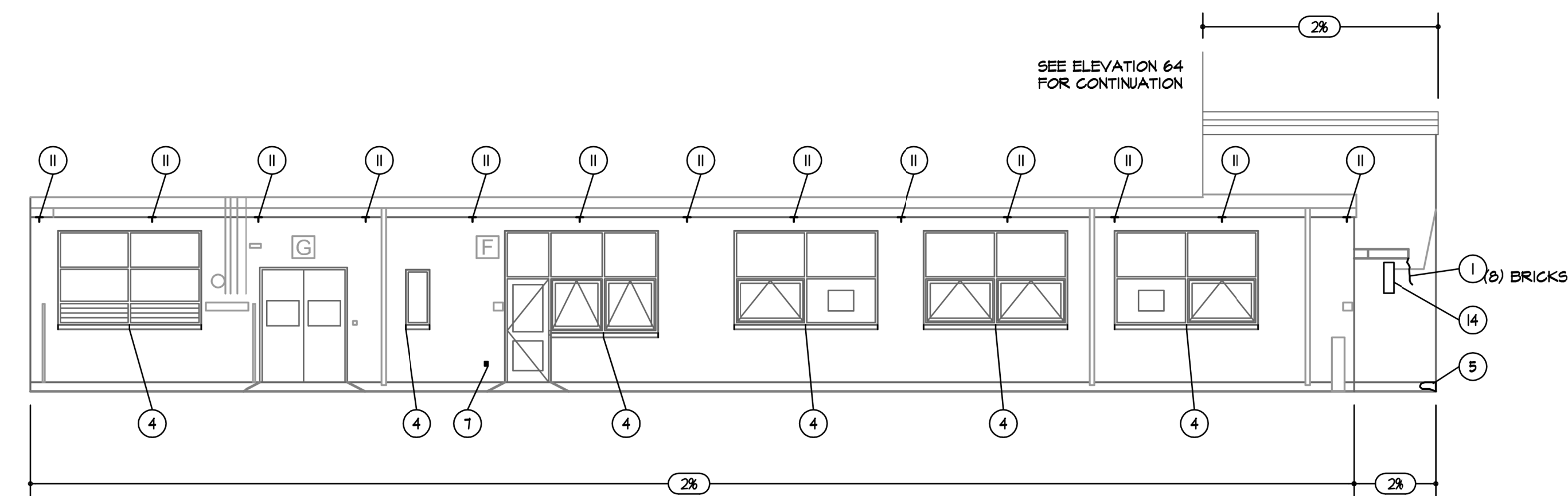
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1117J
SD205 #2111

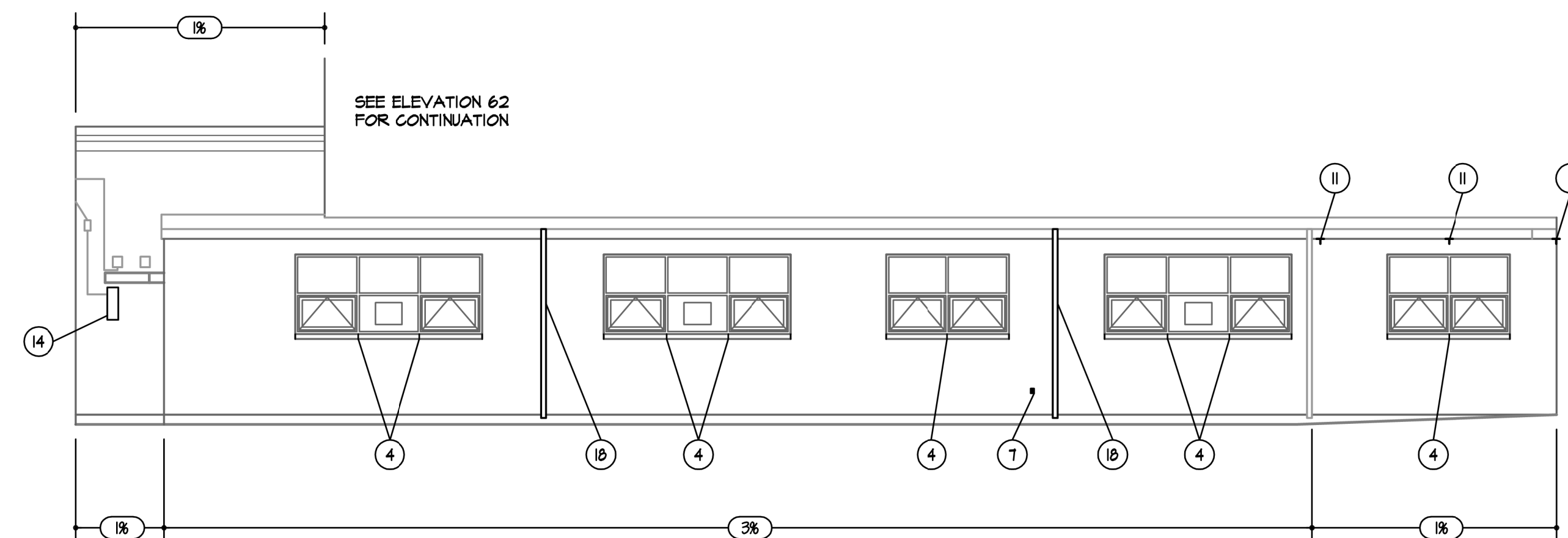
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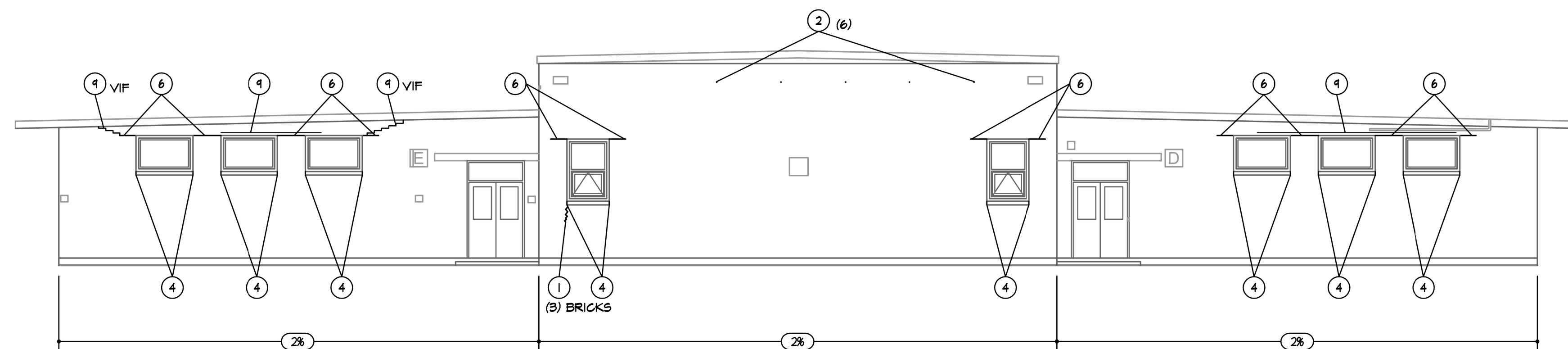
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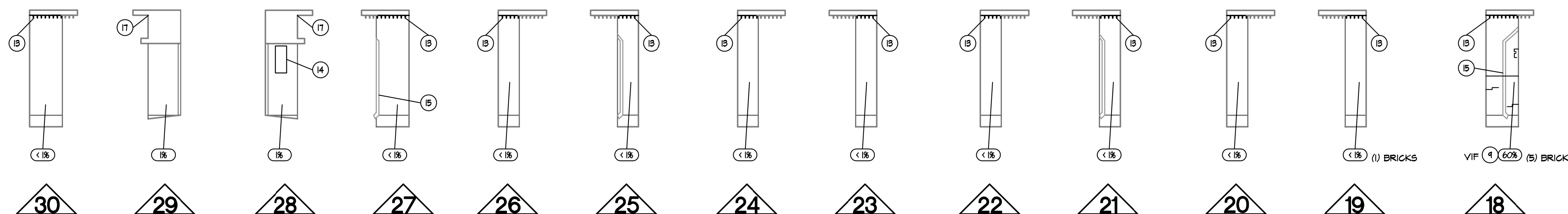
33 S ELEVATION
SCALE: 1/8" = 1'-0"



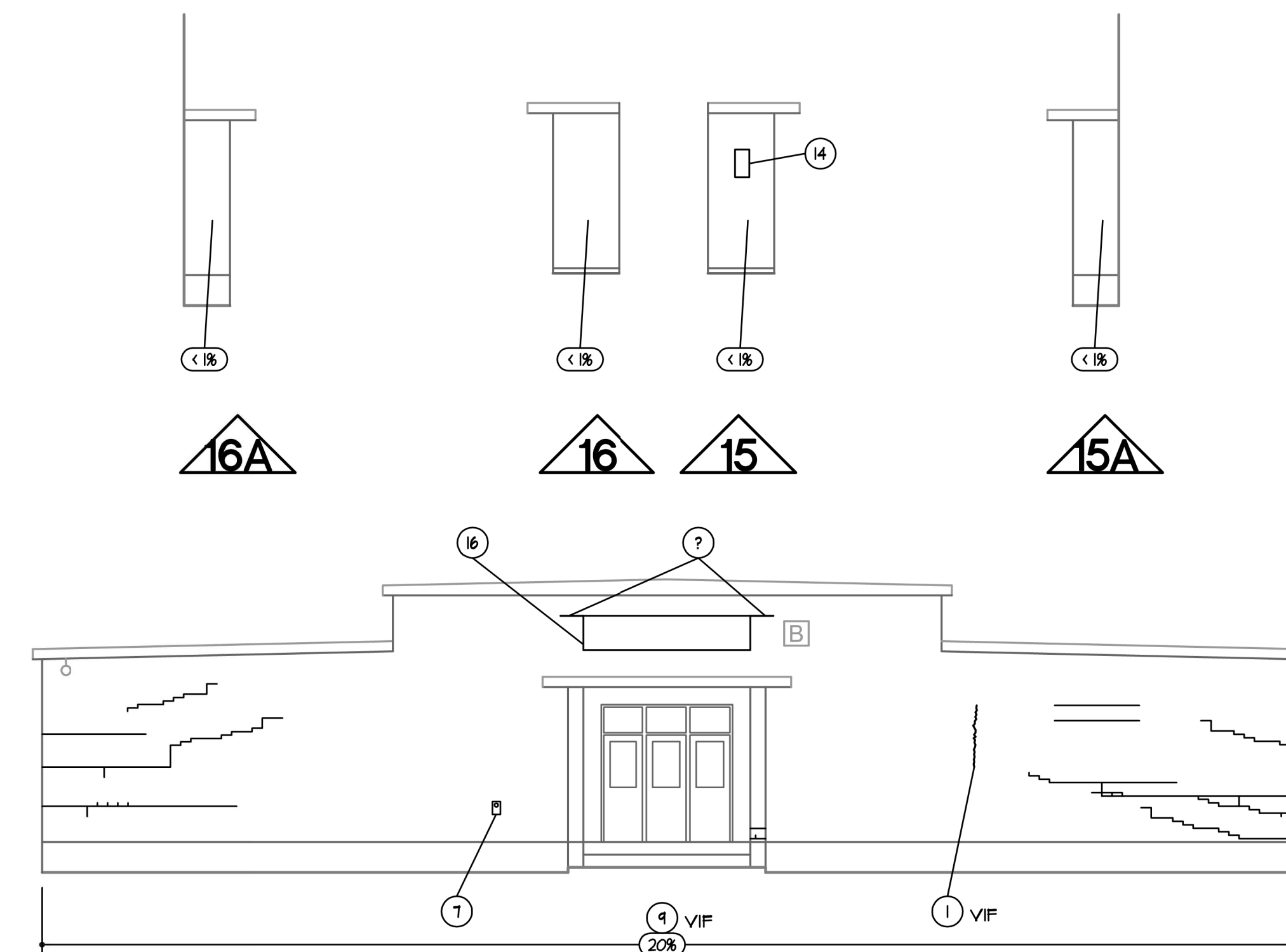
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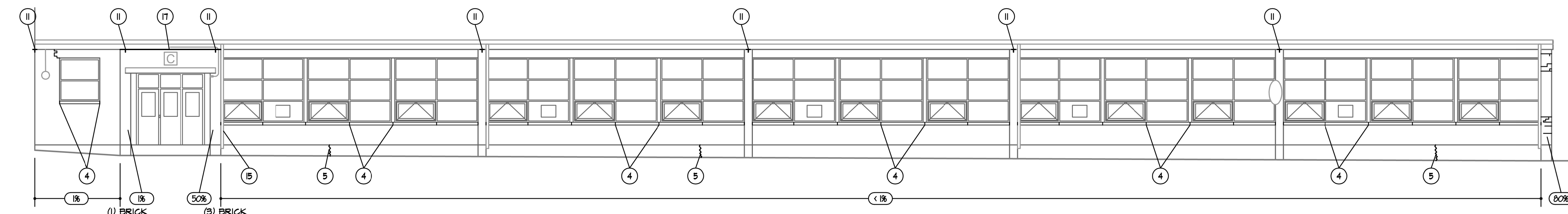
32 E ELEVATION
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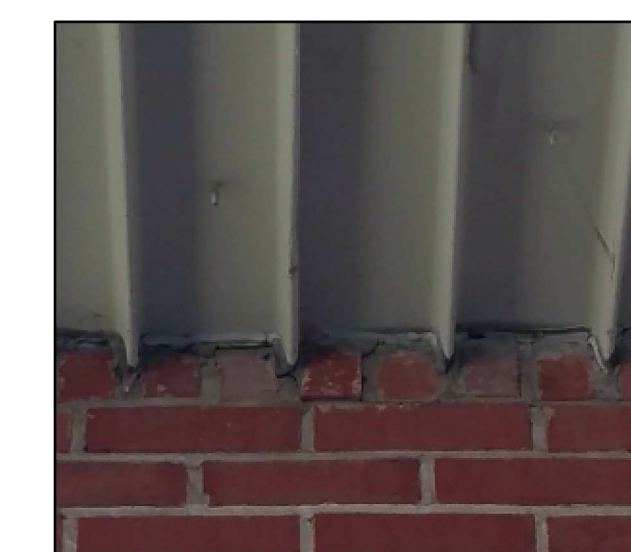
17 N / E ELEVATION
SCALE: 1/8" = 1'-0"



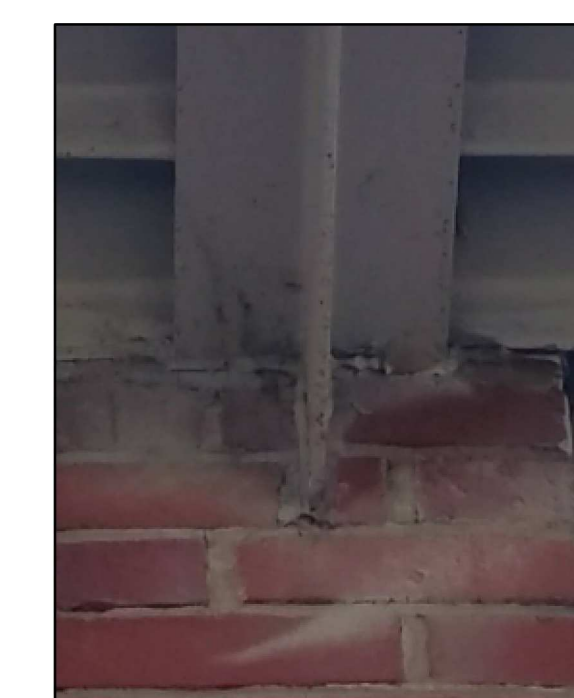
14 N / W ELEVATION
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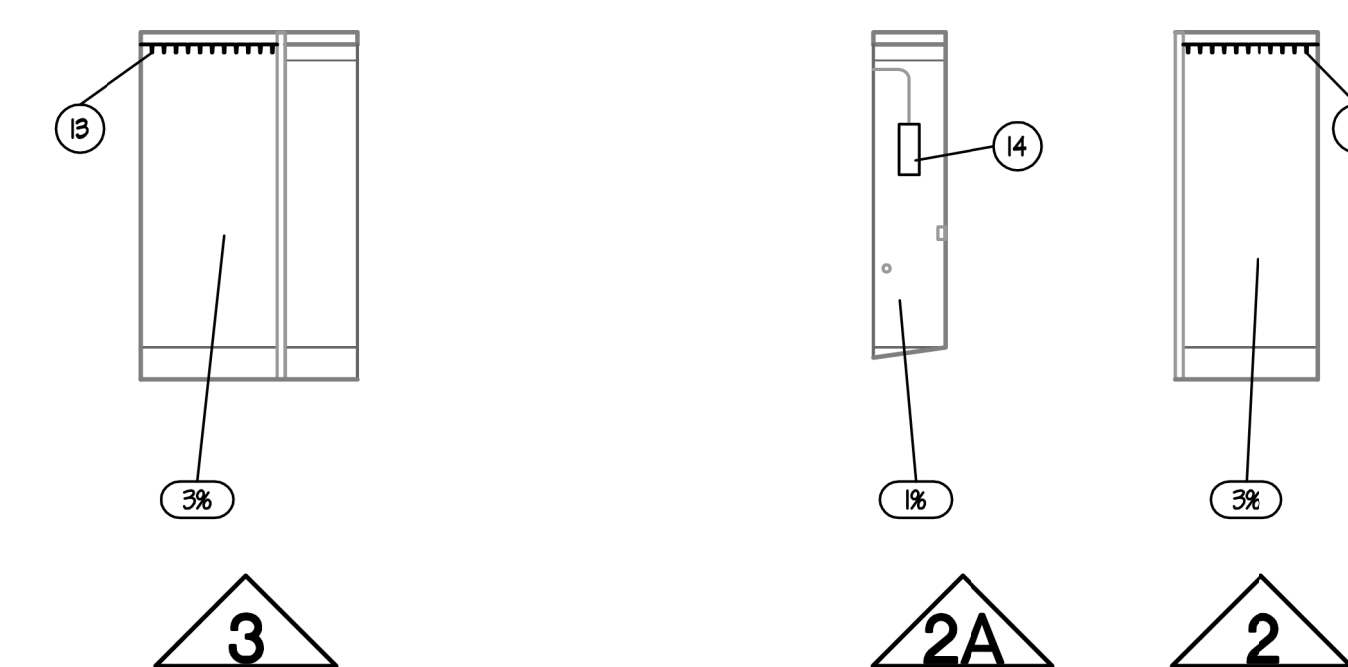
4 S / W ELEVATION
SCALE: 1/8" = 1'-0"



NOTE 13 DETAIL
SCALE:



NOTE 11 DETAIL
SCALE:



1 W ELEVATION
SCALE: 1/8" = 1'-0"

