

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. LARGE SCALE DRAWINGS AND DETAILS TAKE

ALL LABOR, MATERIALS, AND CONSTRUCTION SHALL COMPLY AND CONFORM WITH ALL RULES, REGULATIONS.

THE CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL WORK SHOWN OR

CODES AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE

WORK, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND THE AMERICAN WITH DISABILITIES

THE CONTRACTOR WARRANTS THAT HE IS FAMILIAR WITH THE CODES AND REGULATIONS APPLICABLE TO THE

THE CONTRACTOR SHALL SUPPLY ALL LABOR, TRANSPORTATION, APPARATUS, SCAFFOLDING, AND TOLLS FOR

COMPLETE WORK AND EVERYTHING PROPERLY INCIDENTAL THERETO AS STATED IN THE CONTRACT DOCUMENTS

OR REASONABLY IMPLIED THEREFROM. IT IS NOT THE INTENT OF THE CONTRACT DOCUMENTS TO SET FORTH IN DETAIL VERY ITEM NECESSARY TO PROVIDE FOR THE EXECUTION OF THIS PROJECT. CONTRACTOR MUST BE

QUALIFIED FOR THIS WORK AND MUST, WITHOUT DIRECTION, FURNISH AND INSTALL EVERYTHING NECESSARY TO

PROVIDE COMPLETE CONSTRUCTION AND ACCEPTABLE ORDER, READY FOR USE WITHOUT ADDITIONAL WORK.

THE COMPLETION OF THE WORK, MAINTAIN AND REMOVE ANY TEMPORARY EQUIPMENT, AND CONSTRUCT THE

WORK AND THAT HE HAS THE SKILL, KNOWLEDGE, COMPETENCE, ORGANIZATION AND PLANT TO EXECUTE THE

PRECEDENCE OVER SMALL SCALE DRAWINGS.

WORK PROMPTLY AND IN COMPLIANCE.

SPECIFIED, INCLUDING TEMPORARY FACILITIES, EXCEPT AS NOTED.

REPOINTING FOR Rockford School District #205 501 7th Street ROCKFORD, ILLINOIS



Eisenhower Middle School 5620 Spring Creek Road Rockford, IL 61107

RPS # 2005 IFB No. 19-21

THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT HE HAS INDIVISIBLE, INDELEGABLE, AND

BEEN EXECUTED ACCORDING TO THE CONTRACT DOCUMENTS.

THAT COULD AFFECT THE BID.

INTRANSFEREABLE AND CONTRACTUAL OBLIGATION TO THE OWNER TO MAKE HIS OWN INSPECTIONS ON HIS OWN WORK AT THE STAGES OF CONSTRUCTION AND SHALL SUPERVISE AND SUPERINTEND PERFORMANCE OF WORK IN

ALL CONTRACTORS AND SUB-CONTRACTORS, EACH AS HIS OWN TRADE APPLIES, SHALL BE RESPONSIBLE FOR

COMPLYING WITH THESE STANDARDS AS THEY APPLY TO WORK UNDER CONTRACT. ALL SUB-CONTRACTORS, EACH AS HIS OWN TRADE APPLIES, SHALL BE RESPONSIBLE FOR RECONCILIATION OF CONTRADICTIONS OR

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE.

PRIOR TO SUBMITTING A BID THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL

CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION

ACCESSIBILITY CODE, AND THE FEDERAL AMERICANS WITH DISABILITIES ACT, AND SHALL BE RESPONSIBLE FOR

INCOMPLETE INFORMATION PERTAINING TO THE ABOVE REFERENCED STANDARDS WHETHER SHOWN ON PLANS OR

ACQUAINTING HIMSELF WITH THE ANSI AII7.I, THE STATE OF ILLINOIS CAPITAL DEVELOPMENT BOARD

SUCH MANNER AS TO ENABLE HIM TO CONFIRM, CERTIFY, AND CORROBORATE AT ALL TIMES THAT ALL WORK HAS

Guilford High School 5620 Spring Creek Road Rockford, IL 61114

LAMINATED BEAM

VAPOR BARRIER

RIGID INSULATION

J] T STRUCTURAL STEEL

LOOSE OR BATT INSULATION

PLASTER OR DRYWALL

RPS # 1904 IFB No. 19-21 Jefferson High School 4145 Samuelson Road Rockford, IL 61109

RPS # 2004 IFB No. 19-21

ELEVATION MARK

DOOR NUMBER

WALL TYPE

Α

NAME #

#

HEIGHT

INTERIOR ELEVATION

ROOM NAME/NUMBER

ROOM NUMBER/CEILING HEIGHT

SHEET INDEX IFB NO. 19-21 SEALS **ABBREVIATIONS** SHEET DESCRIPTION SHEET DESCRIPTION JEFFERSON HIGH SCHOOL RPS205 2004 - BFA 1063A ROUGH OPENING LINEAR FOOT ADJACENT EQUIPMENT SOLID CORE EXIST (EX) ABOVE FINISH FLOOR LEFT HAND EISENHOWER MIDDLE SCHOOL - RPS205 2005 - BFA 1063C JEFFERSON KEY PLAN AND MASONRY NOTES SQUARE FOOT ELECTRIC WATER COOLER LONG LEG HORIZONTAL (SUBFLOOR OR SLAB) EISENHOWER KEY PLAN AND MASONRY NOTES JEFFERSON ELEVATIONS LONG LEG VERTICAL AUTHORITIES HAVING JURISDICTION EXTERIOR ALUM ALT. FLOOR DRAIN MAS MECH. STAINLESS STEEL EISENHOWER ELEVATIONS JEFFERSON ELEVATIONS FIRE EXTING., BRACKET MOUNTED ALTERNATE MECHANICAL MDF MFGR (MFR) MEDIUM DENSITY FIBERBOARD MANUFACTURER ACOUSTIC PANEL EISENHOWER ELEVATIONS JEFFERSON ELEVATIONS FIRE EQUIPMENT CABINET STRUCTURAL FIXTURE MIN M.O. MTD MTL (MET) EISENHOWER ELEVATIONS JEFFERSON ELEVATIONS BUILDING SUSPENDED BLKG MASONRY OPENING BLOCKING FOUNDATION 5 CONC SEALED CONCRETE EISENHOWER ELEVATIONS JEFFERSON ELEVATIONS F.O.M. FACE OF WALL MOUNTED B.O. BOT. BRD (BD) FIBERGLASS REINFORCED BY OWNER TOP OF MFGR(MFR) MANUFACTURER T & G TONGUE & GROOVE BOARD FOOTING BEARING Rob C. Belles N.I.C. NOT IN CONTRACT TERRAZZO GUILFORD HIGH SCHOOL RPS205 1904 - BFA 1033A CARPET CONTROL JOINT NTS 01-23-2019 GYPSUM BASE BOARD 0.C. 0.D. 0H THROUGH ON CENTER GUILFORD KEY PLAN AND MASONRY NOTES GL GYP BD (GWE 11-30-2020 CENTER LINE OUTSIDE DIMENSION TYPICAL GYPSUM WALL BOARD CLEP CMP COL CONT CT CEILING GUILFORD ELEVATIONS UNDERGROUND HDR HDW HM HORIZ HEADER CORRUGATED METAL PIPE CONCRETE MASONRY UNIT OPNG OPP HND PROFESSIONAL DESIGN FIRM ARCHITECT CORPORATION 184-001868 UNDERWRITER'S LABORITORIES HARDWARE GUILFORD ELEVATIONS OPPOSITE HAND U.N.O. UNLESS NOTED OTHERWISE HOLLOW METAL P (PNT) (PT PART PAINT(ED) GUILFORD ELEVATIONS HORIZONTAL CONCRETE VERTICAL CONTINUOUS GUILFORD ELEVATIONS PLUS OR MINUS HEIGHT CERAMIC TILE VENEER PLASTER REMOVE THIS ITEM DIA (4) INTERIOR DIMENSION DIAMETER GUILFORD ELEVATIONS VENT THRU ROOF PLYWOOD DIM(S) DIMENSION(S) INCLUDING VINYL WALL COVERING INSULATION INTERIOR RISERS DRAWING WATER CLOSET REQUIRED RIGHT HAND EXPANSION JOINT LAVATORY architecture ELECTRIC(AL) GYPSUM WALL BOARD 2905 Creekside Court, Suite 'B', Rockford, IL 61114 (815)-961-0504 BellesFirm@yahoo.com **NOTES** MATERIAL INDICATIONS GRAPHIC SYMBOLS BUILDING CODES THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL AND RUBBISH DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR PROPER COMPLETION OF THE WORK 2015 ICC [IBC] INTERNATIONAL BUILDING CODE SUITABLE FOR THE INTENDED USE OF THE OWNER. ANYTHING NOT EXPRESSLY SET FORTH BUT WHICH IS AND AT THE COMPLETION OF THE WORK, SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS AND REASONABLE IMPLIED OR NECESSARY FOR PROPER PERFORMANCE OF THE PROJECT SHALL BE INCLUDED. SURPLUS MATERIALS AND LEAVE THE BUILDING BROOM - CLEAN. 2018 CDB [IAC] ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN ROUGH WOOD WORK NOT INDICATED IN ANY PART OF THESE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT THE USER OF THESE DRAWINGS AGREES TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY JOBSITE SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED. 2015 ICC [IECC] INTERNATIONAL ENERGY CONSERVATION CODE SAFETY PRECAUTIONS AND PROGRAMS. FURTHER THE USER OF THESE DRAWINGS SHALL HOLD THE ARCHITECT 2015 ICC [IFC] INTERNATIONAL FIRE CODE GRAVEL OR SAND FILL FINISH WOOD HARMLESS FOR COST AND PROBLEMS ARISING FROM NEGLIGENCE OF CONTRACTOR, SUBCONTRACTOR, NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WEATHER REPEATED OR NOT 2014 NFPA 70 [NEC] NATIONAL ELECTRICAL CODE TRADESMEN, OR WORKMEN. THE USE OF THESE DRAWINGS ALSO IMPLIES THAT THE ARCHITECT SHALL TAKE NO RESPONSIBILITY FOR THE PLANNED USER'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE CONCRETE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS, OR INSUFFICIENT INFORMATION PLYWOOD OR SHALL SUBMIT DETAILS TO THE ARCHITECT PRIOR TO CONSTRUCTION. WHERE CONTRADICTIONS OCCUR (FOR THE CONTRACTOR ALONE IS RESPONSIBLE FOR THE SAFETY AND ADEQUACY OF HIS PLANT, APPLIANCES, BIDDING PURPOSES) THE ITEM REQUIRING THE GREATER LABOR OR MATERIAL SHALL GOVERN. METHODS AND MEANS, AND FOR DAMAGE WHICH MAY RESULT FROM THEIR IMPROPER REMOVAL, CONSTRUCTION LIGHT WEIGHT CONCRETE 1AINTENANCE, OR OPERATION. HE SHALL ERECT AND PROPERLY MAINTAIN AT ALL TIMES, AS ROUIRED BY THE EACH CONTRACTOR SHALL REVIEW THE DRAWINGS OF OTHER TRADES TO VERIFY SPACES IN WHICH THEIR WORK CONDITIONS AND PROGRESS OF THE WORK, PROPER SAFEGUARDS FOR THE PROTECTION OF WORKERS, OWNER, WILL BE INSTALLED WILL BE CLEAR OF OBSTRUCTIONS. WHERE THERE IS EVIDENCE THAT WORK WILL INTERFER AND OWNER'S PROPERTY, AND SHALL POST WARNINGS AGAINST HAZARDS CREATED BY CONSTRUCTION BRICK MASONRY WITH OTHER CONTRACTORS, EACH SHALL ASSIST IN WORKING OUT SPACE CONDITIONS FOR SATISFACTORY ACOUSTICAL TILE

REINFORCING BARS (END)

REINFORCING BARS (SIDE)

STUD WALL OR PARTITION

CONCRETE BLOCK

CUT STONE

STEEL OR IRON

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS: REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS

I NO WORK.

2 GRIND AND POINT APPROXIMATELY 1% OF THE JOINTS.

3 GRIND AND POINT APPROXIMATELY 3% OF THE JOINTS.

4 GRIND AND POINT APPROXIMATELY 5% OF THE JOINTS.

5 GRIND AND POINT APPROXIMATELY 10% OF THE JOINTS.

6 GRIND AND POINT APPROXIMATELY 20% OF THE JOINTS.

7 GRIND AND POINT APPROXIMATELY 30% OF THE JOINTS.

8 GRIND AND POINT APPROXIMATELY 50% OF THE JOINTS.

9 GRIND AND POINT APPROXIMATELY 90% OF THE JOINTS.

CONDITION, COLOR TO MATCH BRICK.

MORTAR JOINTS TO BE FILLED WITH MORTAR.

FOR QUANTITY.

COLOR TO MATCH LOUVER.

MOVEMENT JOINT IN FRONT OF LINTEL.

REPLACEMENT VERSUS CUTTING.

IO EXISTING MOVEMENT JOINT. REMOVE EXISTING SEALANT. REPOINT WHERE

II GRIND JOINT/REMOVE SEALANT/MORTAR BETWEEN LINTEL AND BRICK ABOVE

CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED

CREATE NEW MOVEMENT JOINT AT BEARING ON SIDES, IN FRONT OF LINTEL.

REQUIRED. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT

LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED

BEYOND. PROVIDE NEW SEALANT AND BACKER ROD, COLOR TO MATCH MORTAR, TO

METAL SURFACES, COLOR TO MATCH WINDOW FRAMES. POINT JOINT, WITH MORTAR,

BETWEEN LINTEL AND BRICK. GRIND MORTAR, AT HEAD, FULL DISTANCE OF LINTEL

12 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL

13 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF

MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN

14 REMOVE AND REPLACE BROKEN/CRACKED/SPALLED BRICK(S), SEE DRAWING

15 DETACH AND RESET SIGNAGE TO CLEAN, POINT, AND SEAL MASONRY BEHIND.

16 REMOVE AND DISPOSE OF SIGNAGE. REMOVE EMBEDMENTS/FASTENERS AND

MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION,

18 GRIND MORTAR AT HEAD FOR FULL DISTANCE OF LINTEL BEYOND. PROVIDE NEW

19 EXISTING STRESS CRACK. REMOVE SEALANT. CUT NEW 1/2" MOVEMENT JOINT, FULL DEPTH OF UNITS TO REMAIN. REPLACE BRICKS WHERE CUT DOES NOT

DIRECTLY ALIGN WITH JOINT BELOW. PROVIDE NEW BACKER ROD AND SEALANT,

PATCH HOLES. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH

17 LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY

SEALANT AND BACKER ROD, COLOR TO MATCH MORTAR, TO CREATE NEW

COLOR TO MATCH BRICK. VIF QUANTITY OF BRICKS THAT WILL REQUIRE

HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH

MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS REMOVE AND REPLACE ALL SPALLED MASONRY UNITS GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP

REPOINT ALL OPEN JOINTS REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT REMOVE ALL UNUSED EMBEDMENTS

HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR. THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN IMM GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY.

ALL JUNCTION BOXES (RECEPTACLES, BOXES, SMITCHES, DEVICES, ETC.) TO BE

SEALED WATERTIGHT TO MASONRY.

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK): - CLEAN MASONRY:

WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY: AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS. AT "GROUND LEVEL" MASONRY ie: FROM GROUND TO APPROX 7' - 8'aff (WINDOW/DOOR HEIGHT) IN LIEU OF WATER REPELLENT, PROVIDE A CLEAR, SOLVENT-BASED, SILICONE ELASTOMER SEALER TO PROTECT SELECT MASONRY SURFACES FROM GRAFFITI.

ALTERNATE I - FOR ALL FLUSH HOLLOW METAL SERVICE DOORS/FRAMES AND FOR ALL OVERHEAD DOORS. REMOVE AND REPLACE SEALANT AT SERVICE AND OVERHEAD DOORS:

AT JAMBS, REMOVE AND REPLACE SEALANT BETWEEN FRAME/TRIM AND BRICK. AT HEAD, REMOVE SEALANT BETWEEN FRAME AND LINTEL ABOVE. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO

AT LINTEL, IF NOT ALREADY COVERED IN BASE BID BY NOTE II, REMOVE SEALANT AND MORTAR GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES. POINT JOINT BETWEEN LINTEL AND BLOCK.

ALTERNATE 2 - FOR ALL FLUSH HOLLOW METAL SERVICE DOORS/FRAMES.

PROVIDE NEW PAINT AT SERVICE DOORS: PREP DOOR, FRAME AND HARDWARE. PROVIDE (1) COAT PRIMER AS NECESSARY. PAINT DOOR, FRAME, AND LINTEL AS APPLICABLE. COLOR TO MATCH EXISTING, AND AS APPROVED BY OWNER.

ALTERNATE 3 - STAIN AREAS DAMAGED BY PRIOR GRAFFITI REMOVAL. AT ELEVATIONS WHERE NOTED, AND WHERE PRESENT, STAIN BRICK THAT HAS BEEN EXCESSIVELY DAMAGED/DISCOLORED BY IMPROPER GRAFFITI REMOVAL. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES. AREAS, WHERE INDICATED ARE FOR REFERENCE ONLY, AND MAY NOT INDICATE ALL AREAS THAT REQUIRE TREATMENT ON THE FACADE.

MASONRY RESTORATION NOTES

20 EXISTING STRESS CRACK. REMOVE SEALANT. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN

> 21 REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

22 RPS205 TO REMOVE PLANTING AREA AND/OR DIRT AND/OR MULCH PILED AGAINST BUILDING ABOVE THE CONCRETE FOUNDATION. THE PLANTING AREA FILL IS BLOCKING WEEPS FROM FUNCTIONING AS INTENDED.

23 REMOVE MORTAR/SEALANT BETWEEN STONES. SKY, FRONT FACE, AND UNDERSIDE (AS APPLICABLE). PROVIDE NEW SEALANT AT SKY FACE, AND 1/2" DOWN FRONT FACE WITH BACKER ROD AS NECESSARY. REPOINT FRONT FACE AND UNDERSIDE (AS APPLICABLE). INCLUDE JOINTS BETWEEN STONES, AND JOINTS AT END WHERE STONE MEETS BRICK.

24 CHECK MORTAR WASH ON TOP OF PIER. REMOVE AND REPLACE WHERE CRACKED/BROKEN AND NOT WATER TIGHT. AT LEAST TWO WERE VISIBLY IN NEED OF REPLACEMENT. EXAMINE AND REPLACE ALL AS PART OF BASE BID.

25 EXAMINE CHIMNEY CAP FOR WATER TIGHTNESS. EXAMINE WASH, CLAY LINER, AND METAL CAP. REPAIR AND/OR REPLACE ALL COMPONENTS, AS PART OF BASE BID, FOR WATER TIGHT CONDITION.

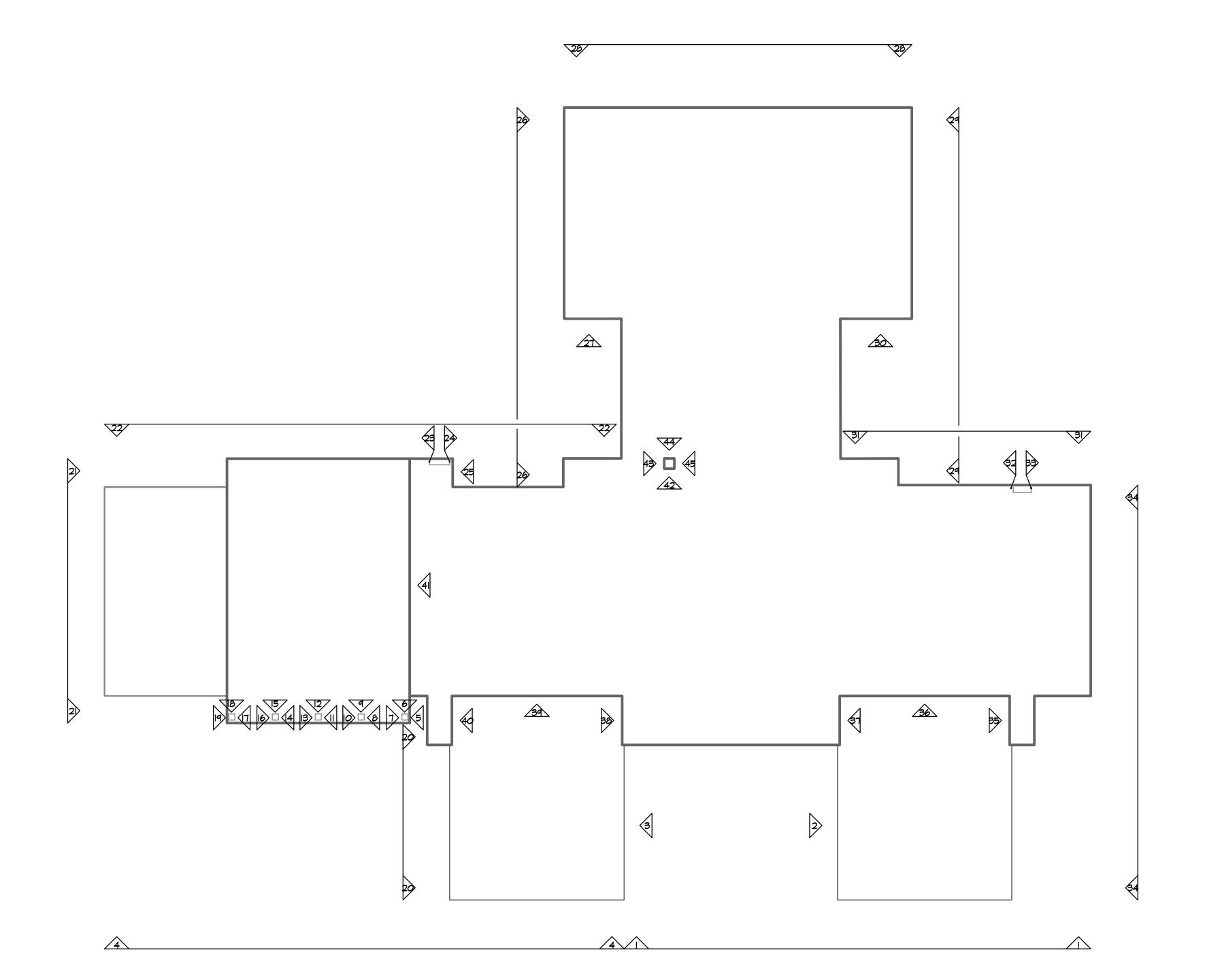
27 PROVIDE NEW COVER PLATE AT EXISTING EXPOSED JUNCTION BOX. SEAL WATERTIGHT TO MASONRY.

28 DETACH AND RESET EXISTING COVER/GUARD TO ALLOW ACCESS TO SEAL LOUVER BEHIND. NOTIFY RPS205 WHEN COVER IS REMOVED FOR POTENTIAL REPLACEMENT OF LOUVER.

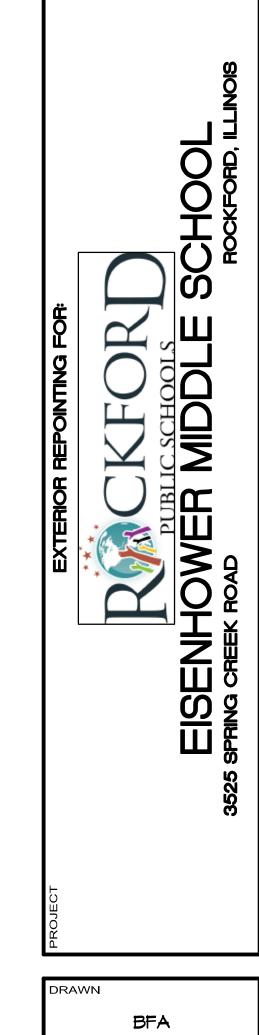
29 REMOVE CEMENT PATCH AND PROVIDE NEW BRICKS TO INFILL EXISTING HOLE PROPERLY.

30 EXISTING ROOFING TERMINATION. REMOVE SEALANT AT TOP OF METAL TERMINATION BAR. EXAMINE METAL FOR TERMINATION TYPE. - AT LOCATIONS WHERE TERMINATION BAR IS MADE WATERTIGHT WITH SEALANT TO MASONRY, PROVIDE NEW SEALANT, COLOR TO MATCH MORTAR. - AT LOCATIONS WHERE TERMINATION BAR IS MADE WATERTIGHT WITH EMBEDED FLASHING/COUNTER-FLASHING, CLEAN AND POINT JOINT - DO NOT APPLY SEALANT TO ALLOW FOR TRAPPED WATER TO ESCAPE. - UN-PLUG / REMOVE SEALANT FROM ALL WEEPS ALONG EDGE OF THRU WALL FLASHING. DO NOT SEAL SHUT!

31 AT TWO VENTS/LOUVERS. REMOVE EXTERIOR LOUVER/BONNET AND FRAME. INTERIOR MAY REMAIN. INFILL OPENING WITH NEW BRICK TO MATCH EXISTING. TIE INFILL BRICK TO SIDES WITH WIRE/ROD REINFORCING AS APPROPRIATE.



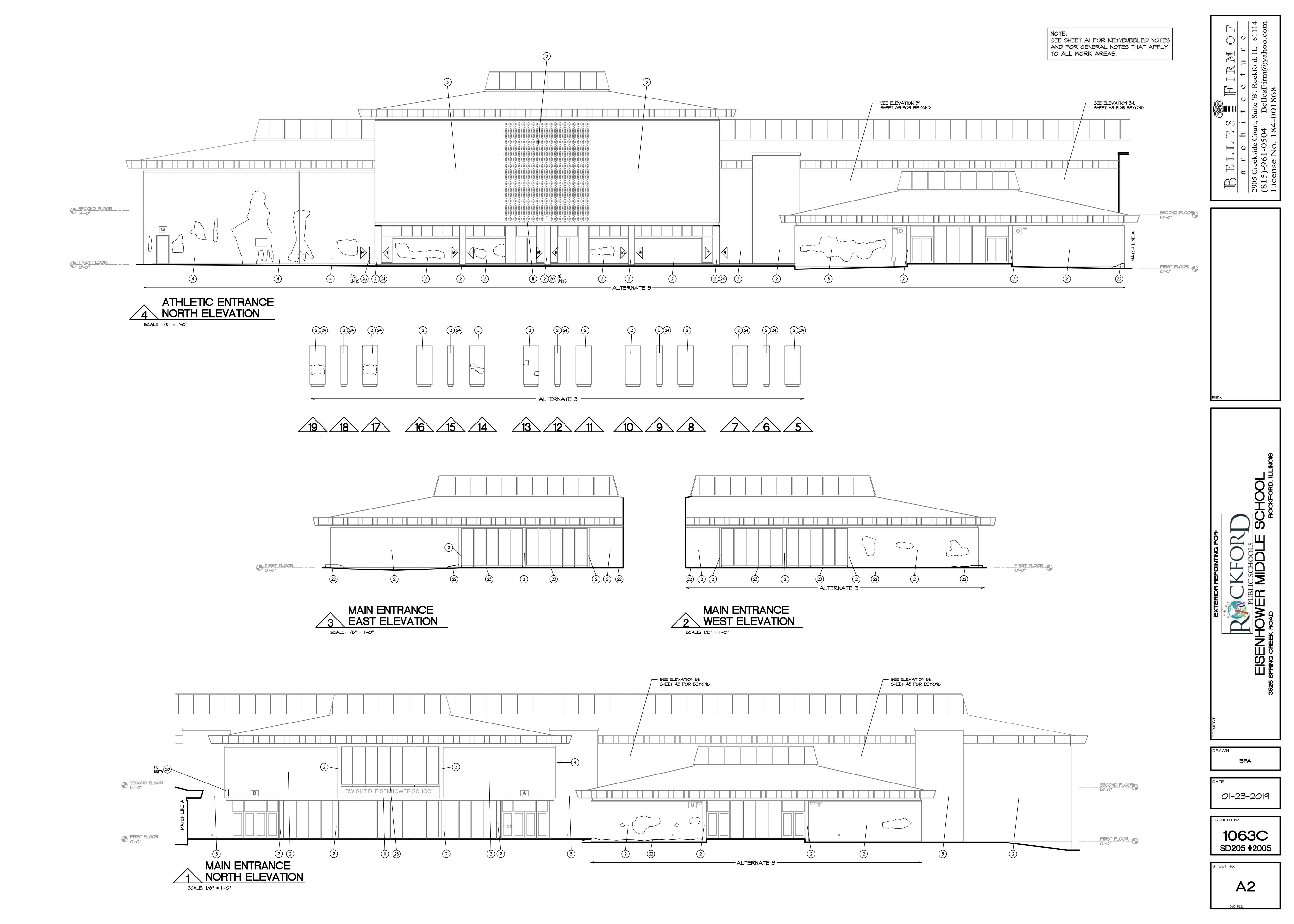
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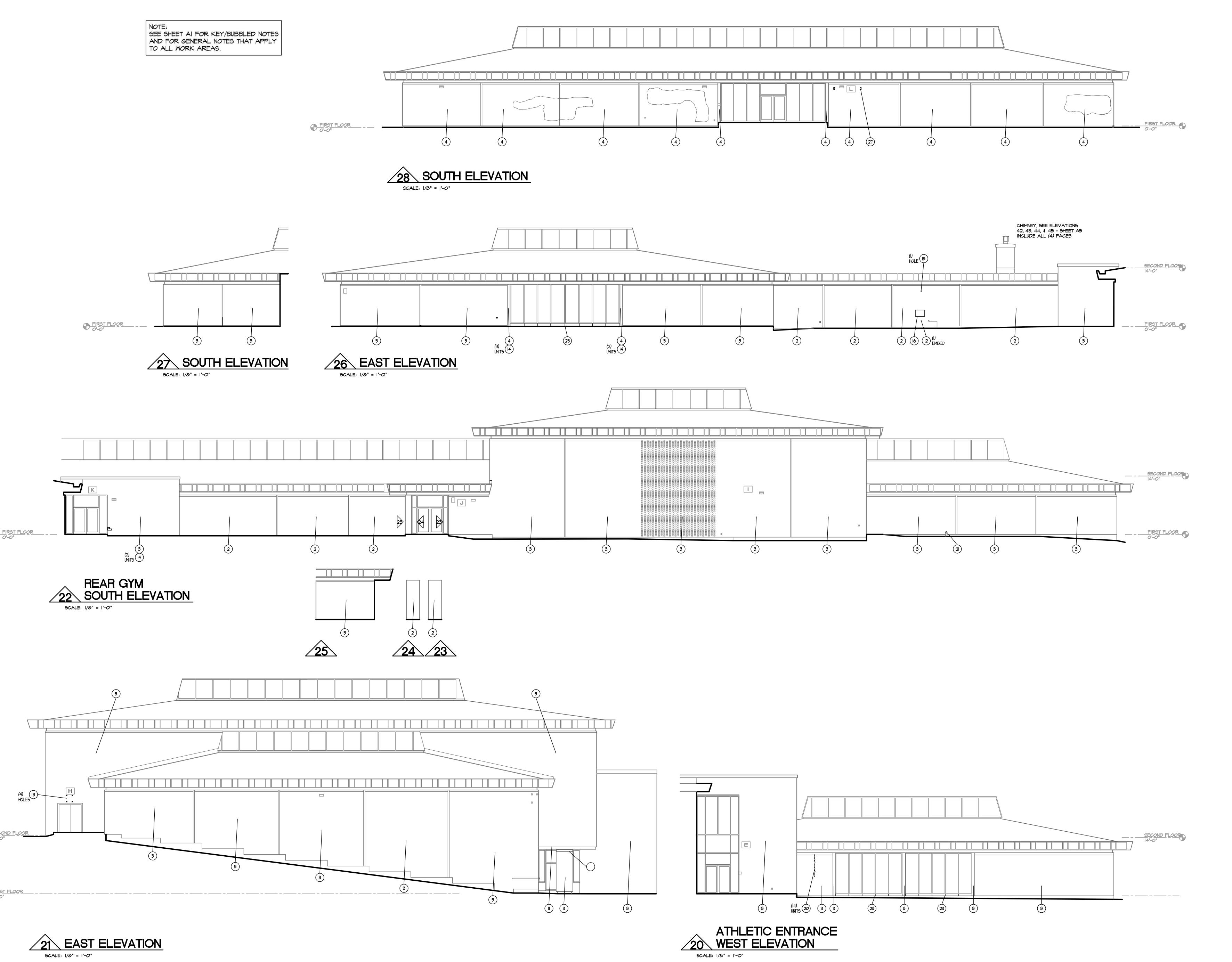


01-23-2019

1063C SD205 #2005

KEY PLANSCALE: 1/32" = 1'-0"





BELLES FIRM OF a r c h i t e c t u r e

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(815)-961-0504 BellesFirm@yahoo.com
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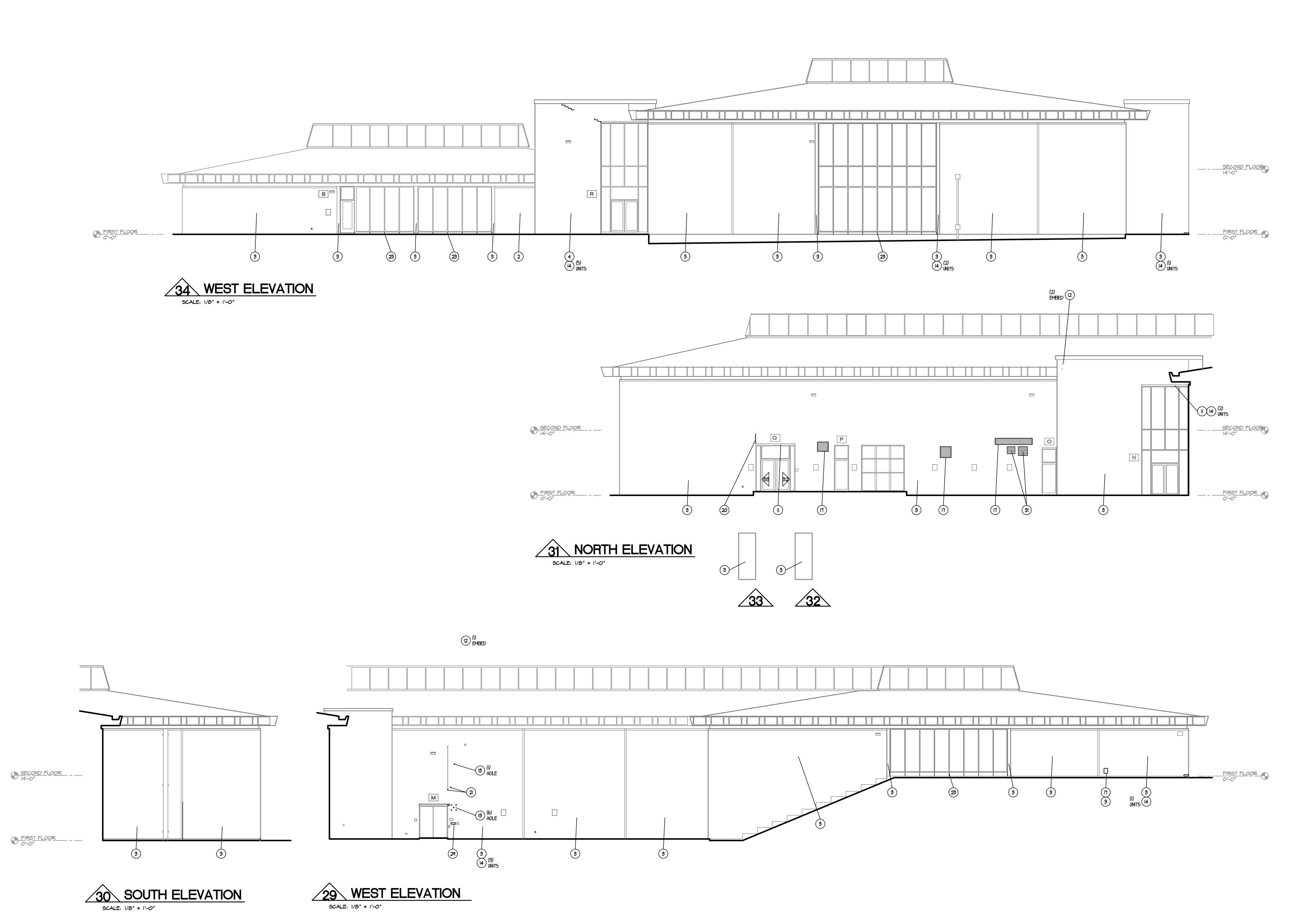
PROCKFORD
PUBLIC SCHOOLS
BISENHOWER MIDDLE SCHOOL
3525 SPRING CREEK ROAD
ROCKFORD, ILL

RAWN BFA

OI-23-2019

1063C

1063C SD205 #2005



BELLES FIRM OF

a r c h i t e c t u r e

2905 Creekside Court, Suite 'B', Rockford, IL 61112
(815)-961-0504 BellesFirm@yahoo.com

SCHOOL SCHOOL ILLINOIS

EISENHOWER MIDDLE SCHOOLS

3525 SPRING CREEK ROAD

EXTERIOR REPOINTING FOR:

PUTBLIC SCHOOLS

PUTBLIC SCHOOLS

PUTBLIC SCHOOLS

POTENTIAL OF SCHOOLS

ROCKF

AWN **BFA**

01-23-2019

1063C SD205 #2005

ET No.

45 44 43 42 SECOND FLOOR SECOND LEVEL - GYM WEST ELEVATION SECOND FLOOR _ _ SECOND FLOOR SECOND LEVEL
39 NORTH ELEVATION SECOND LEVEL NORTH ELEVATION (3) UNITS (14)

NOTE: SEE SHEET AI FOR KEY/BUBBLED NOTES AND FOR GENERAL NOTES THAT APPLY TO ALL WORK AREAS.

01-23-2019

1063C SD205 #2005

POINTING GUIDELINES:

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR

ALL AREAS: REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS REMOVE AND REPLACE ALL CRACKED MASONRY UNITS REMOVE AND REPLACE ALL SPALLED MASONRY UNITS

GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN I /4" DEEP REPOINT ALL OPEN JOINTS REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT

REMOVE ALL UNUSED EMBEDMENTS HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR. THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED:

LESS THAN IMM NO WORK REQUIRED GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION, THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

WINDOWS WERE RECENTLY REPLACED. IT IS THE INTENT OF RPS 205 TO HAVE ALL NEW SEALANT AT ALL OPENINGS. ANY OLD SEALANT OR MISSING SEALANT SHALL BE REMOVED/REPLACED AS PART OF THIS CONTRACT, INCLUDING SEALANT NOT PREVIOUSLY COMPLETED BY THE PRIOR PROJECT/TRADE. THIS WORK SHALL BE INCLUDED IN THE BASE BID.

FOR ALL EXPOSED MASONRY (STONE / BRICK): CLEAN MASONRY:

WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TM8. USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

SEAL MASONRY: AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS. AT "GROUND LEVEL" MASONRY IO: FROM GROUND TO APPROX 7' - 8'aff (WINDOW/DOOR

HEIGHT) IN LIEU OF WATER REPELLENT, PROVIDE A CLEAR, SOLVENT-BASED, SILICONE ELASTOMER SEALER TO PROTECT SELECT MASONRY SURFACES FROM GRAFFITI.







CRACK IN TOP OF COPING

EXAMINE MORTAR/SEALANT AT (4) FACES OF COPING (TOP/SKY, BACK/ROOF, FRONT FACE AND UNDERSIDE WHERE STONE OVERHANGS THE WALL.) WHERE SEALANT, OR MORTAR HAS A (I) MM OR GREATER GAP, PROVIDE NEW SEALANT, OVER EXISTING, TO PREVENT WATER INFILTRATION. THIS IS A TEMPORARY MEASURE TO COVER CRACKS IN MORTAR AND SEALANT AND PREVENT WATER INFILTRATION INTO THE WALL CAVITY. NOTIFY ARCHITECT AND RPS205 OF ANY CONDITIONS WHERE THE ADDITION OF SEALANT WILL NOT ADDRESS MOISTURE INFILTRATION. SEALANT COLOR TO MATCH STONE.

IA THERE ARE APPROXIMATELY (2) COPING STONES AT THE GYM AND (30) COPING STONES AT THE 2-STORY CLASSROOM WING THAT HAVE CRACKS IN THE TOP FACE. SEE PHOTO 2 THIS PAGE. CLEAN CRACKS OF ALL LOOSE/FRIABLE MATERIAL. VERIFY COPING IS FIRMLY ATTACHED, AND NO STONE PIECES WILL DETACH. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH STONE. THIS IS A TEMPORARY MEASURE TO COVER CRACKS IN MORTAR AND SEALANT AND PREVENT WATER INFILTRATION INTO THE WALL CAVITY. NOTIFY ARCHITECT AND RPS205 OF ANY CONDITIONS WHERE THE ADDITION OF SEALANT WILL NOT ADDRESS MOISTURE INFILTRATION.

2 GRIND JOINT/REMOVE SEALANT AT VERTICAL JOINT BETWEEN BRICK AND STONE. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION. COLOR TO MATCH CLEANED STONE.

3 GRIND AND POINT JOINTS, PER POINTING GUIDELINES, AT VERTICAL AND HORIZONTAL STONE-TO-STONE JOINTS. THIS INCLUDES THE RETURN(S) (NOT SHOW) BACK TO THE BRICK/WINDOW/STONE. CONTRACTOR TO DETERMINE QUANTITY OF WORK, THIS AREA, REQUIRED TO MEET POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID.

4 REMOVE SEALANT / GRIND MORTAR AT VERTICAL EXPANSION JOINT BETWEEN STONE AND STONE. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION. COLOR TO MATCH CLEANED STONE.

5 REMOVE EMBEDMENT(s) AND FILL HOLE PER GUIDELINES ABOVE.

6 BRICK AREA AROUND / UNDER SIGNAGE HAS 46+ HOLES - SOME WITH EMBEDMENTS. REMOVE ALL EMBEDMENTS. FILL HOLES PER NOTES ABOVE. CONTRACTOR TO FIELD VERIFY, AND INCLUDE

7 AREA OF WALL WITH HEAVY SANDBLASTING DAMAGE. APPROXIMATELY 10% OF JOINTS REQUIRE POINTING.

8 GRIND AND POINT APPROXIMATELY 2% OF WALL.

9 JAHAN REPAIR TO STONE, THIS AREA. VIF EXTENT OF REPAIR AND INCLUDE IN BASE BID.

IO REMOVE SEALANT BETWEEN BASE OF STONE AND CONCRETE. GRIND JOINT. PROVIDE NEW MORTAR FOR WATER TIGHT CONDITION BETWEEN STONE AND CONCRETE.

II EXISTING SEAT WALL AT SIDES OF STEPS. NO WORK. LEAVE AS-IS.

IS REMOVE SEALANT FROM SKY FACE, FRONT FACE, AND UNDERSIDE VERTICAL JOINTS IN

STONE SILL. AT SKY FACE, PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED), COLOR TO MATCH CLEANED AT FRONT FACE AND UNDERSIDE, PROVIDE MORTAR FOR WATER TIGHT CONDITION. INCLUDE JOINTS AT ENDS WHERE SILL BUTTS INTO STONE PIERS.

14 CAREFULLY EXAMINE JOINT BETWEEN TOP OF LINTEL AND BRICK ABOVE. GRIND JOINT AS REQUIRED, PER GUIDELINES ABOVE, AND POINT WITH MORTAR. GRIND AND POINT JONTS, THIS AREA. CONTRACTOR TO DETERMINE QUANTITY OF WORK, THIS AREA, REQUIRED TO MEET POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID.

15 GRIND AND POINT APPROXIMATELY 1% OF THE JOINTS.

RELATED TO PRIOR WINDOW REPLACEMENT.

NO WORK

16 REMOVE AND REPLACE (2) BROKEN/CRACKED/SPALLED BRICKS.

CONTRACTOR TO DETERMINE QUANTITY OF REPOINTING WORK AT EACH PIER REQUIRED TO MEET POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID. THIS INCLUDES THE BASE, BETWEEN STONE AND CONCRETE; THE HORIZONTAL STONE TO STONE JOINTS; AND VERTICAL STONE TO STONE JOINTS: AT (3) FACES OF PIER. REMOVE SEALANT AND/OR MORTAR AND PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED), COLOR TO MATCH MORTAR, AT (6) LOCATIONS PER PIER WHERE STONE RETURN MEETS BRICK. TOUCH-UP/REPAIR SEALANT BETWEEN WINDOW FRAME AND STONE PIER. SEE ALSO NOTE ABOVE

18 NOT USED.

19 REMOVE AND REPLACE (3) BROKEN/CRACKED/SPALLED BRICKS

20 LARGE HOLE IN JOINT THAT HAS VIOLATED TWO BRICKS. IF BRICKS ARE SOUND (NOT

CRACKED) FILL HOLE SOLID WITH MORTAR, ELSE REPLACE BOTH BRICKS AND MORTAR IN-PLACE.

REMOVE SEALANT / GRIND MORTAR AT VERTICAL EXPANSION JOINT BETWEEN BRICK AND BRICK. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION. COLOR TO MATCH MORTAR. WHERE EXPANSION JOINT CONTINUES THRU FOUNDATION WALL INCLUDE SEALANT REPLACEMENT TO 4" BELOW GRADE.

22 SEAL PENETRATION THRU WALL FOR WATERTIGHT CONDITION.

RPS205 TO REMOVE/TRIM LANDSCAPING, INCLUDING LANDSCAPE BLOCKS, AS REQUIRED TO ACCESS WALL FOR CLEANING, SEALING, EXAMINATION, AND POINTING. NOTIFY RPS205 IF NOT COMPLETE WHEN ON SITE AND READY FOR WORK ON THIS AREA OF THE BUILDING.

24 REMOVE AND REPLACE (I) BROKEN/CRACKED/SPALLED BRICK.

25 NOT USED.

27 GRIND AND POINT HORIZONTAL JOINT BETWEEN STONE AND BRICK BELOW.

28 AT (7) STONE COLUMNS. GRIND ALL JOINTS AND REMOVE SEALANT. POINT ALL HORIZONTAL AND VERTICAL (CORNER) JOINTS - ALL FOUR FACES. GRIND AND POINT JOINT BETWEEN STONE AND CONCRETE AT BASE. CONTRACTOR TO FIELD VERIFY AND REPAIR ALL CRACKED STONE AND ALL STONE WITH CHIPS GREATER THAN 1/4" DEPTH AND/OR I" IN LENGTH. VERIFY ALL AND INCLUDE IN BASE BID.

29 NOT USED.

30 GRIND AND POINT APPROXIMATELY 0.5% OF WALL

31 EXISTING CHIMNEY TO REMAIN. NO WORK. NO CLEANING, NO POINTING, NO SEALER.

32 AFTER CLEANING AND PRIOR TO SEALING, EXAMINE MASONRY THIS AREA FOR POTENTIAL REPAIRS PER GUIDELINES ABOVE. NO WORK THIS AREA TO BE INCLUDED IN BASE BID. NOTIFY ARCHITECT AND RPS205 OF ANY ADDITIONAL UNIT COST WORK THAT HAS BEEN UNCOVERED FOR WRITTEN DIRECTION AND VALIDATION OF UNIT QUANTITIES. DO NOT PROCEED WITH UNIT COST WORK UNTIL GIVEN WRITTEN DIRECTION TO DO SO.

33 FILL GAP BETWEEN GAS PIPE AND MASONRY WITH INSULATION AND BACKER ROD. FILL WITH SEALANT. PROVIDE ESCUTCHEON PLATE FOR FINAL VISUAL APPEARANCE.

34 DETACH AND RESET DOOR NUMBER TO GRIND AND POINT JOINT BEHIND SIGN.

35 GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES. POINT JOINT BETWEEN LINTEL AND MASONRY.

36 GRIND AND POINT APPROXIMATELY 5% OF WALL

37 REMOVE AND REPLACE 40+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

38 APPROXIMATELY 12 HOLES THIS AREA, VERIFY QUANTITY AND INCLUDE IN BASE BID. PATCH/SEAL HOLES PER GUIDELINES ABOVE.

SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES. POINT JOINT BETWEEN LINTEL AND MASONRY.

40 REMOVE AND REPLACE 24+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE. CLEAN AND REMOVE LOOSE RUST, MILL

41 REMOVE AND REPLACE BRICK WITH HOLE IN IT.

42 METAL PLATE OF UNKNOWN USE. VERIFY PLATE IS WATERTIGHT TO WALL. FILL (2) HOLES IN BRICK PER NOTES ABOVE.

43 REMOVE AND REPLACE 4 BROKEN/CRACKED/SPALLED BRICK.

45 REMOVE AND REPLACE SEALANT BETWEEN ANGLE CORNER GUARD AND MASONRY. INCLUDE SIDE AND TOP, SHOWN, AND SIDE AT RETURN, NOT SHOWN.

46 REMOVE AND REPLACE SEALANT BETWEEN WOOD/METAL FASCIA AND MASONRY. COLOR TO

47 REMOVE AND REPLACE 14+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

COURTYARD 3

48 ASSURE EXISTING RECTANGULAR STONE IS SECURELY FASTENED, ELSE FASTEN. GRIND STONE 69 GRIND AND POINT JOINT UNDER COPING, BETWEEN COPING AND BRICK. TO STONE JOINTS AND MORTAR WATER TIGHT IN-PLACE.

49 STONE ACCENT PIER:

POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID. THIS INCLUDES THE BASE, BETWEEN STONE AND CONCRETE; THE HORIZONTAL STONE TO STONE JOINTS; AND VERTICAL STONE TO STONE JOINTS; AT (3) FACES OF PIER. AS APPLICABLE-REMOVE SEALANT AND/OR MORTAR AND PROVIDE NEW SEALANT (BACKER ROD

AS REQUIRED), COLOR TO MATCH MORTAR, AT ALL LOCATIONS WHERE STONE RETURN MEETS BRICK. TOUCH-UP/REPAIR SEALANT BETWEEN WINDOW FRAME AND STONE PIER. SEE ALSO NOTE ABOVE RELATED TO PRIOR WINDOW REPLACEMENT.

50 THERE IS OBVIOUS WATER PENETRATION BEHIND THE MASONRY IN THE WALL. CONTRACTOR TO FIELD EXAMINE WALL, COPING, AND ROOF, AND NOTIFY ARCHITECT AND RPS205 OF POTENTIAL AREAS OF INFILTRATION AND CORRECTIVE ACTION THAT SHOULD BE TAKEN. CORRECTIVE ACTION NOT INCLUDED IN BASE BID.

51 NOT USED.

52 NOT USED

53 REMOVE AND REPLACE 17+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

54 REMOVE AND REPLACE II+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

5 DETACH BENCH TO ALLOW CLEANING AND POINTING OF WALL BEHIND. RESET BENCH AFTER APPLICATION OF SEALER.

56 EXISTING RECENTLY REPLACE THRU WALL GRILLE. WHERE PRESENT, REMOVE EXISTING HINGED COVER AND HINGE. REMOVE ALL EMBEDMENTS (HINGES AND LATCH ABOVE) AND FILL HOLES PER NOTES ABOVE. REMOVE SEALANT POINTED JOINTS ADJACENT TO LOUVER AND POINT WITH MORTAR. REPAIR NEW SEALANT AROUND PERIMETER OF LOUVER WHERE DAMAGED BY ADJACENT GRINDING/POINTING REPAIRS.

57 HOLE IN MASONRY. REPAIR/SEAL HOLES PER NOTES ABOVE.

58 REMOVE AND REPLACE II+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

59 NO WORK.

61 NOT USED.

60 STONE ACCENT PIER:

CONTRACTOR TO DETERMINE QUANTITY OF REPOINTING WORK AT EACH PIER REQUIRED TO MEET POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID. THIS INCLUDES THE BASE, BETWEEN STONE AND CONCRETE; THE HORIZONTAL STONE TO STONE JOINTS; AND VERTICAL STONE TO STONE JOINTS: AT (3) FACES, FRONT SHOWN, AND 4"-6" RETURN AT SIDES, NOT SHOWN. AS APPLICABLE-REMOVE SEALANT AND/OR MORTAR AND PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED), COLOR TO MATCH MORTAR, AT ALL LOCATIONS WHERE STONE RETURN MEETS BRICK. TOUCH-UP/REPAIR SEALANT BETWEEN WINDOW FRAME AND STONE PIER. SEE ALSO NOTE ABOVE RELATED TO PRIOR WINDOW REPLACEMENT.

62 CAREFULLY CUT BACK NEW SEALANT AT WINDOW TO STONE CONNECTION. PROVIDE NEW JAHAN REPAIR TO STONE, THIS AREA. VIF EXTENT OF REPAIR AND INCLUDE IN BASE BID. PROFILE OF SILL TO ALLOW FOR ACCEPTABLE/INDUSTRY STANDARD SEALANT GAP AT WINDOW FRAME. AFTER JAHN HAS CURED, REPAIR/PROVIDE NEW WINDOW SEALANT, AND BACKER ROD AS REQUIRED. COLOR AND TYPE TO MATCH EXISTING TO REMAIN.

63 STONE ACCENT PIER:

CONTRACTOR TO DETERMINE QUANTITY OF REPOINTING WORK AT EACH PIER REQUIRED TO MEET POINTING GUIDELINES ABOVE, AND INCLUDE ALL IN BASE BID. THIS INCLUDES THE BASE, BETWEEN STONE AND CONCRETE; THE HORIZONTAL STONE TO STONE JOINTS; AND VERTICAL STONE TO STONE JOINTS; AT (3) FACES OF PIER. AS APPLICABLE-REMOVE SEALANT AND/OR MORTAR AND PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED), COLOR TO MATCH MORTAR, AT ALL LOCATIONS WHERE STONE RETURN MEETS BRICK. TOUCH-UP/REPAIR SEALANT BETWEEN WINDOW FRAME AND STONE PIER. SEE ALSO NOTE ABOVE RELATED TO PRIOR WINDOW REPLACEMENT.

64 GRIND AND POINT JOINT UNDER SILL BETWEEN STONE AND BRICK.

65 GRIND AND MORTAR JOINT IN CORNER. BRICK-TO-BRICK.

66 GRIND AND POINT APPROXIMATELY 25% OF WALL

67 REMOVE AND REPLACE 27+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD

AND INCLUDE IN BASE BID. 68 SEE NOTE I AND NOTE IA FOR WORK THIS AREA. VERIFY COPING STONE IS SOUNDLY

ATTACHED AND NO PIECES WILL BREAK OFF. FRONT FACES OF STONES, THIS AREA, WILL NEED SEALANT APPLIED ALONG FACE CRACK(S). SEE PHOTO 3 THIS SHEET.

COURTYARD 4

COURTYARD 2

A

U 83

KEY PLAN

70 REMOVE AND REPLACE 6 BROKEN/CRACKED/SPALLED BRICK.

71 STONE STOOP AT DOOR. CLEAN AND SEAL STONE, PER ABOVE. PROVIDE NEW SEALANT AT CONTRACTOR TO DETERMINE QUANTITY OF REPOINTING WORK AT EACH PIER REQUIRED TO MEET THRESHOLD TO STONE. GRIND, POINT, AND PROVIDE NEW SEALANT AT JAMBS BETWEEN BRICK RETURN AND STONE STOOP.

72 GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE. CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST

73 CONTRACTOR TO DETERMINE QUANTITY OF REPOINTING WORK, THIS AREA, PER POINTING GUIDELINES ABOVE.

CONVERTER. PAINT ALL EXPOSED METAL SURFACES. POINT JOINT BETWEEN LINTEL AND MASONRY.

74 NOT USED.

75 REMOVE AND REPLACE 7+ BROKEN/CRACKED/SPALLED BRICK.

76 GRIND AND POINT APPROXIMATELY 5% OF WALL

77 NOT USED. 78 NOT USED.

80 REMOVE AND REPLACE 25+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

81 GRIND AND POINT APPROXIMATELY 10% OF WALL

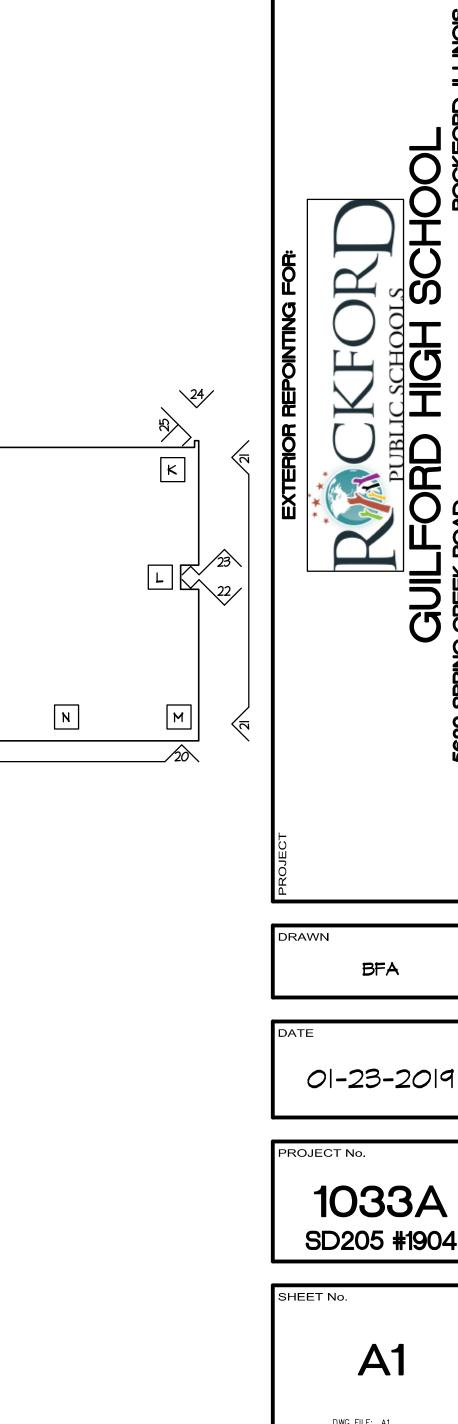
82 GRIND AND POINT ENTIRE HORIZONTAL JOINT BETWEEN WINDOW FLASHING AND STONE ABOVE. TAKE GREAT CARE NOT TO DAMAGE FLASHING.

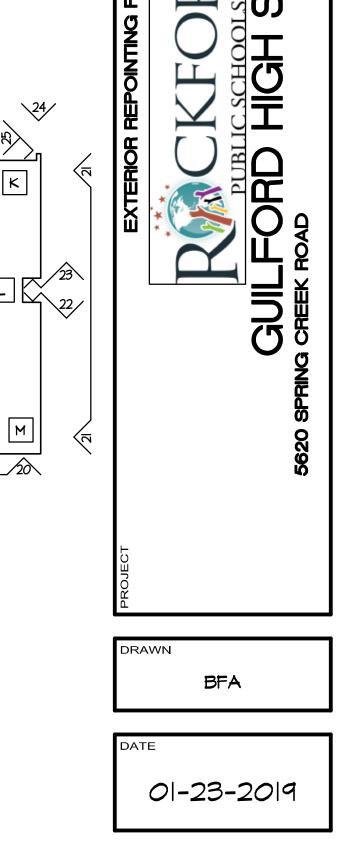
83 REMOVE AND REPLACE 5+ BROKEN/CRACKED/SPALLED BRICK.

84 REMOVE AND REPLACE 19+ BROKEN/CRACKED/SPALLED BRICK. VERIFY QUANTITY IN FIELD AND INCLUDE IN BASE BID.

85 NOT USED.

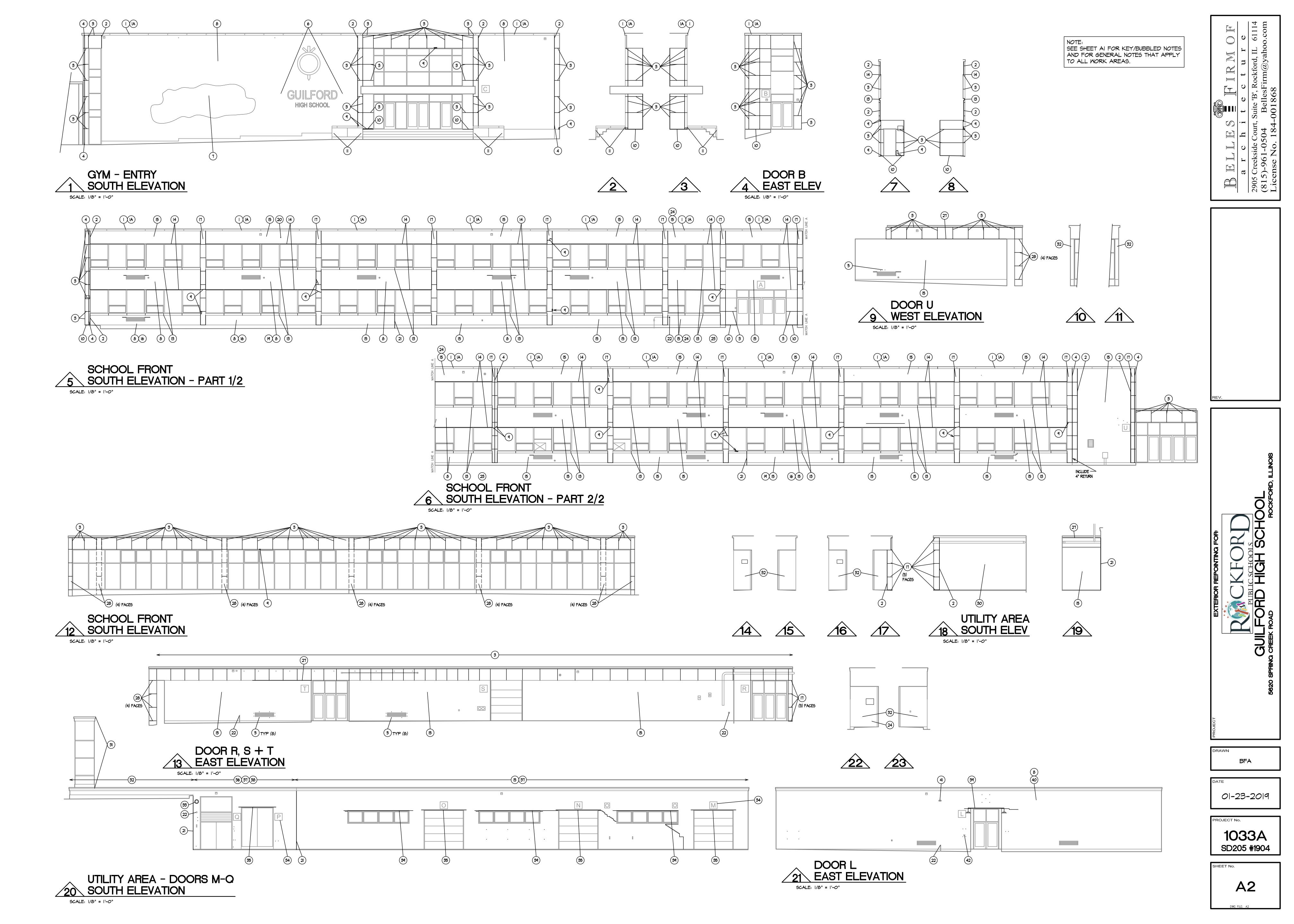
86 (3) STRESS CRACKS THIS FACE, TWO SEVERE. REMOVE ALL SEALANT. REMOVE ALL BROKEN/CRACKED BRICKS AND REPLACE. GRIND AND POINT ASSOCIATED JOINTS. THERE ARE ESTIMATED TO BE 20 CRACKED BRICKS AT THE EASTERN LOCATION, 30 CRAKCED BRICKS AT THE CENTER LOCATION, AND 5 CRACKED BRICKS AT THE MESTERN LOCATION.

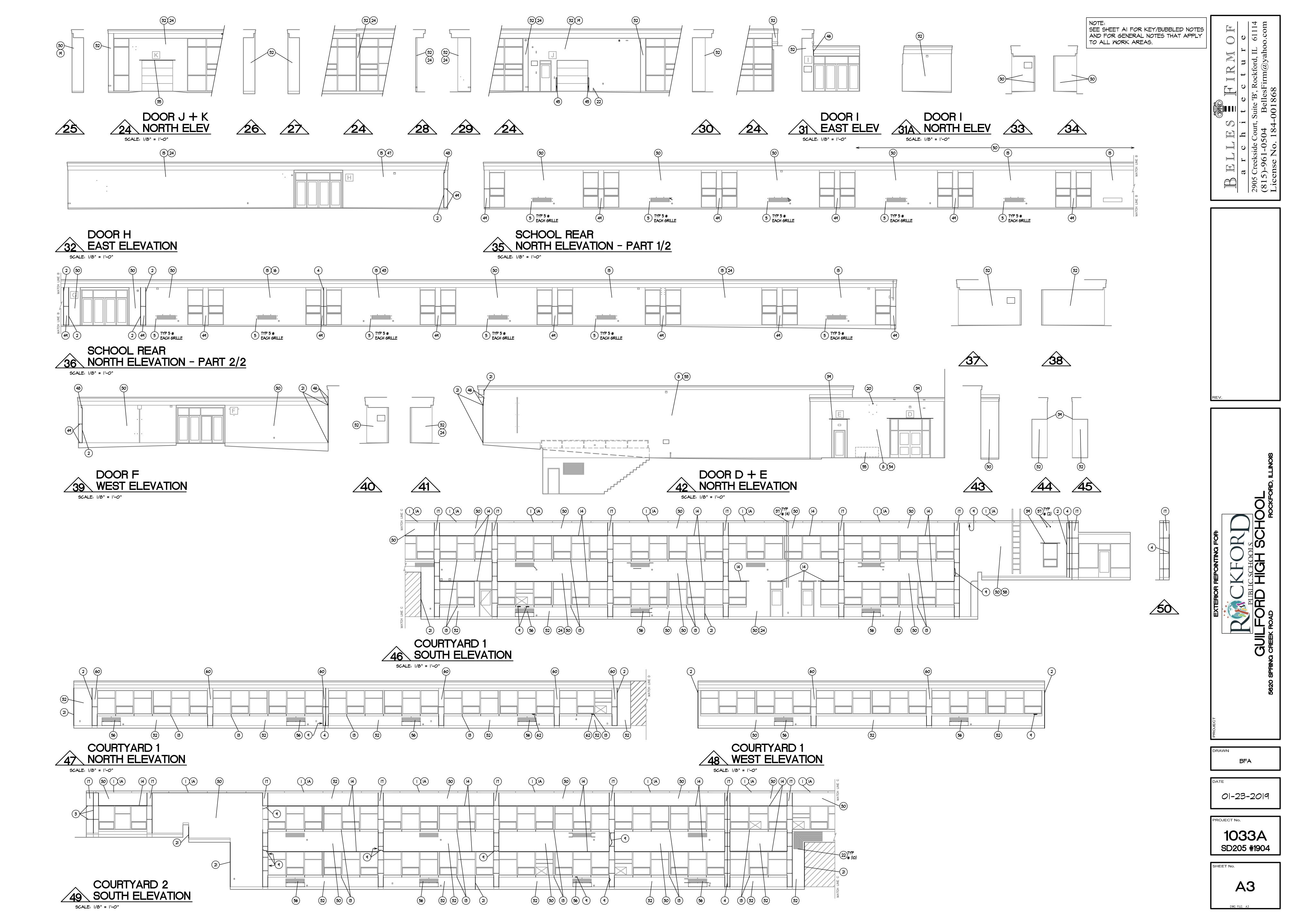


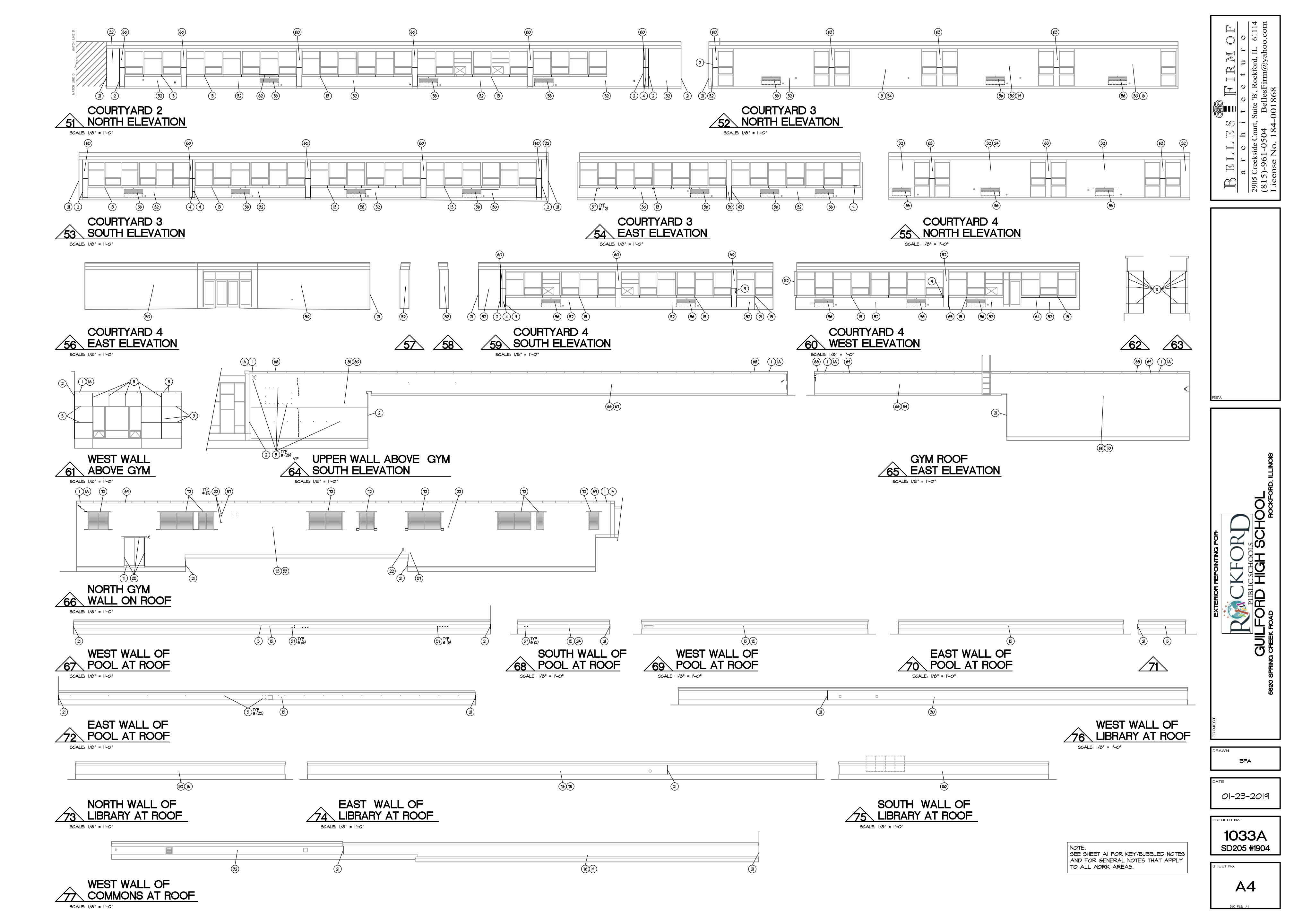


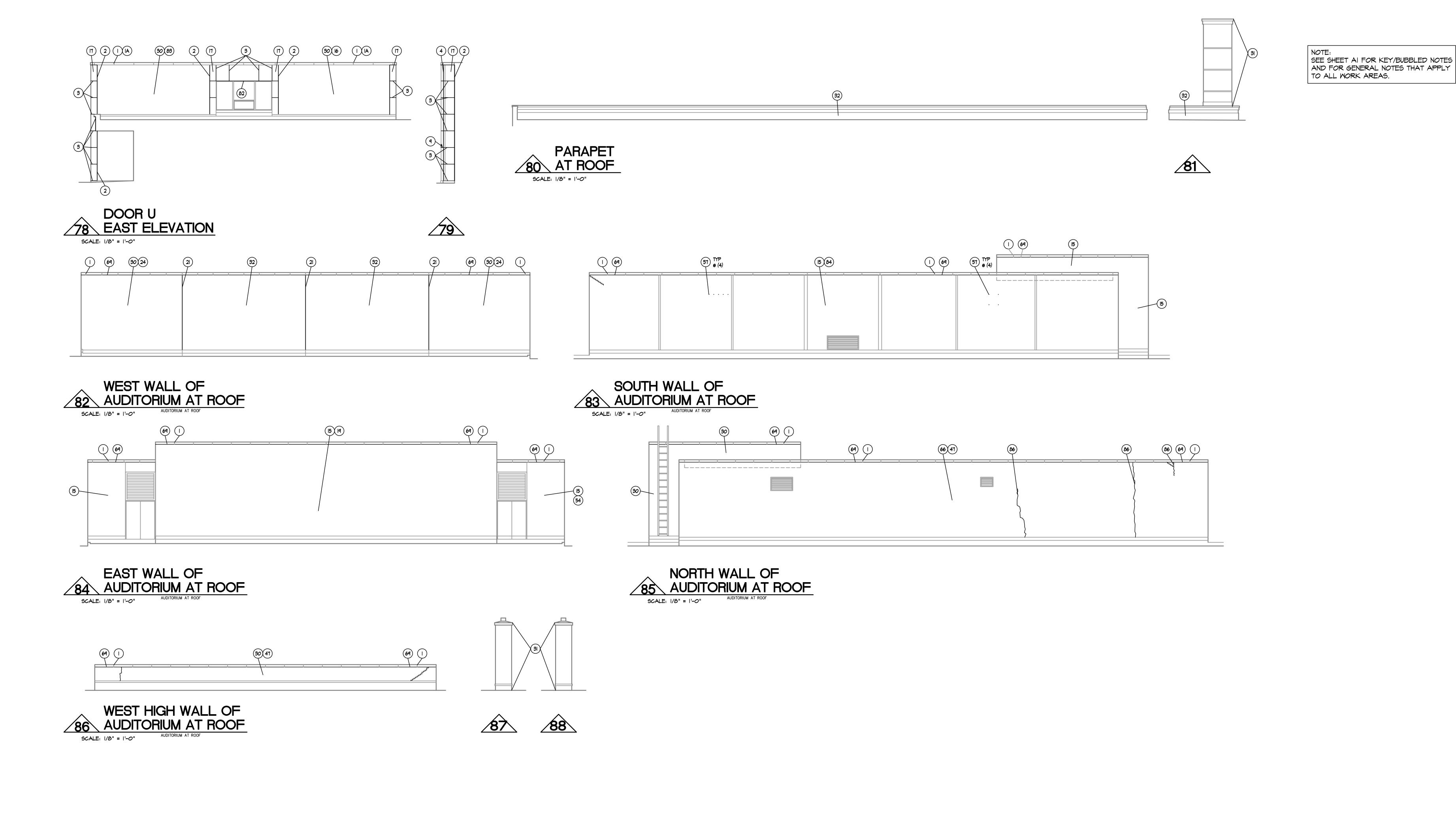
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EXTERIOR REPOINTING FOR:

RECEIVED REPOINTING FOR:

CUIL FORD HIGH SCHOOL

B20 SPRING CREEK ROAD

ROCKFORD, ILLINOIS

PRAWN BFA

OI-23-2019

1033A SD205 #1904

FOR ALL MASONRY SURFACES THE CONTRACTOR SHALL VERIFY, IN FIELD, EXACT QUANTITY/SIZE OF THE WORK AREA. CONTRACTOR'S BASE BID SHALL ADDRESS, TO THE SATISFACTION OF THE ARCHITECT AND OWNER, ALL MASONRY WORK REQUIRED FOR A COMPLETELY TIGHT FACADE. FOR ALL AREAS: REMOVE AND REPLACE ALL STRUCTURALLY UNSOUND MASONRY UNITS

REMOVE AND REPLACE ALL CRACKED MASONRY UNITS REMOVE AND REPLACE ALL SPALLED MASONRY UNITS GRIND AND REPOINT ALL JOINTS WEATHERED GREATER THAN 1/4" DEEP REPOINT ALL OPEN JOINTS

REMOVE ALL LOOSE MORTAR, GRIND AND REPOINT REMOVE ALL UNUSED EMBEDMENTS HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR

THE FOLLOWING SPECIFICATION DEFINES "HAIRLINE CRACK" AND "OPEN JOINT", AS WELL AS THE EXPECTED REPAIR TO BE PROVIDED: LESS THAN IMM

GREATER THAN IMM BUT LESS THAN 2 MM REPAIR BY FACE GROUTING GREATER THAN OR EQUAL TO 2MM GRIND AND POINT

CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO DETERMINE EXACT QUANTITY OF WORK AREAS.

WORK AREA IS INDICATED ON THE FACE OF WALL. WHERE BRICK RETURNS TO OPENINGS, AND WORK IS INDICATED ON THE FACE OF THE ELEVATION. THE WORK AREA IS TO INCLUDE THE MASONRY JAMB RETURN.

SCALE INDICATED IS APPROXIMATE, AND FOR GENERAL REFERENCE ONLY.

ALL SILLCOCKS/HOSE BIBS TO BE SEALED WATERTIGHT TO MASONRY.

HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

ALL JUNCTION BOXES (RECEPTACLES, BOXES, SMITCHES, DEVICES, ETC.) TO BE

SEALED WATERTIGHT TO MASONRY.

NOTE: FOR ALL EXPOSED MASONRY (STONE / BRICK): - CLEAN MASONRY:

WHERE APPLICABLE, REMOVE PLANT GROWTH. CLEAN ALL SURFACES IN ACCORDANCE WITH BIA TECHNICAL NOTES TMB, USING THE GENTLEST MEANS NECESSARY TO RESTORE MASONRY AND MORTAR TO ORIGINAL APPEARANCE. INCLUDE ALL VISUALLY EXPOSED SURFACES, INCLUDING EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS.

- SEAL MASONRY: AFTER CLEANING, AND SEALANT APPLICATION, APPLY A DEEP-PENETRATING WATER REPELLENT AND CONSOLIDATION TREATMENT FOR MASONRY. COAT ALL EXTERIOR MASONRY (BRICK AND STONE) SURFACES. THIS INCLUDES BACK FACES OF PARAPETS, TOP OF WALLS, EDGES AND RETURNS ADJACENT TO WINDOWS AND DOOR FRAMES AND FREE STANDING WALLS. AT "GROUND LEVEL" MASONRY ie: FROM GROUND TO APPROX 7' - 8'aff (WINDOW/DOOR HEIGHT) IN LIEU OF WATER REPELLENT, PROVIDE A CLEAR, SOLVENT-BASED, SILICONE ELASTOMER SEALER TO PROTECT SELECT MASONRY SURFACES FROM GRAFFITI.

ALTERNATE I - FOR ALL HOLLOW METAL DOORS/FRAMES AND FOR ALL OVERHEAD DOORS, REMOVE AND REPLACE SEALANT: AT JAMBS, REMOVE AND REPLACE SEALANT BETWEEN FRAME/TRIM AND BRICK. AT HEAD, REMOVE SEALANT BETWEEN FRAME AND LINTEL ABOVE. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO

AT LINTEL, IF NOT ALREADY COVERED IN BASE BID BY NOTE II, REMOVE SEALANT AND MORTAR GRIND JOINT BETWEEN LINTEL AND BRICK ABOVE CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES. POINT JOINT BETWEEN LINTEL AND BLOCK.

ALTERNATE 2 - FOR ALL HOLLOW METAL DOORS/FRAMES, PROVIDE NEW PAINT .: PREP DOOR, FRAME AND HARDWARE. PROVIDE (I) COAT PRIMER AS NECESSARY. PAINT DOOR, FRAME, AND LINTEL AS APPLICABLE. COLOR TO MATCH EXISTING, AND AS APPROVED BY OWNER.

I NO WORK.

- 2 GRIND AND POINT APPROXIMATELY 1% OF THE JOINTS.
- 3 GRIND AND POINT APPROXIMATELY 3% OF THE JOINTS.
- 4 GRIND AND POINT APPROXIMATELY 5% OF THE JOINTS.
- 5 GRIND AND POINT APPROXIMATELY 10% OF THE JOINTS.
- 6 GRIND AND POINT APPROXIMATELY 20% OF THE JOINTS.
- 7 GRIND AND POINT APPROXIMATELY 30% OF THE JOINTS. 8 GRIND AND POINT APPROXIMATELY 50% OF THE JOINTS.
- 9 GRIND AND POINT APPROXIMATELY 90% OF THE JOINTS.
- IO EXISTING MOVEMENT JOINT. REMOVE EXISTING SEALANT. REPOINT WHERE REQUIRED. PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION, COLOR TO MATCH BRICK.

II GRIND JOINT/REMOVE SEALANT/MORTAR BETWEEN LINTEL AND BRICK ABOVE CLEAN AND REMOVE LOOSE RUST, MILL SCALE AND DIRT AND TREAT EXPOSED LINTEL WITH A VINYL ACRYLIC COPOLYMER RUST CONVERTER. PAINT ALL EXPOSED METAL SURFACES, COLOR TO MATCH WINDOW FRAMES. POINT JOINT, WITH MORTAR, BETWEEN LINTEL AND BRICK. GRIND MORTAR, AT HEAD, FULL DISTANCE OF LINTEL BEYOND. PROVIDE NEW SEALANT AND BACKER ROD, COLOR TO MATCH MORTAR, TO CREATE NEW MOVEMENT JOINT AT BEARING ON SIDES, IN FRONT OF LINTEL.

12 REMOVE EXISTING EMBEDMENT(S), SEE DRAWING FOR QUANTITY. PATCH/SEAL HOLE(S) REMAINING. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

13 PATCH/SEAL HOLE(S), SEE DRAWING FOR QUANTITY. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR.

14 REMOVE AND REPLACE BROKEN/CRACKED/SPALLED BRICK(S), SEE DRAWING FOR QUANTITY.

15 DETACH AND RESET SIGNAGE TO CLEAN, POINT, AND SEAL MASONRY BEHIND. 16 REMOVE AND DISPOSE OF SIGNAGE. REMOVE EMBEDMENTS/FASTENERS AND

PATCH HOLES. HOLES IN THE FACE OF MASONRY UNITS TO BE REPAIRED WITH

MATCHING COLOR SEALANT. HOLES IN MORTAR JOINTS TO BE FILLED WITH MORTAR. 17 LOUVER: REMOVE AND REPLACE SEALANT BETWEEN LOUVER AND MASONRY PROVIDE NEW SEALANT (BACKER ROD AS REQUIRED) FOR WATER-TIGHT CONDITION,

MOVEMENT JOINT IN FRONT OF LINTEL.

COLOR TO MATCH LOUVER. 18 GRIND MORTAR AT HEAD FOR FULL DISTANCE OF LINTEL BEYOND. PROVIDE NEW SEALANT AND BACKER ROD, COLOR TO MATCH MORTAR, TO CREATE NEW

19 EXISTING STRESS CRACK. REMOVE SEALANT. CUT NEW 1/2" MOVEMENT JOINT, FULL DEPTH OF UNITS TO REMAIN. REPLACE BRICKS WHERE CUT DOES NOT DIRECTLY ALIGN WITH JOINT BELOW. PROVIDE NEW BACKER ROD AND SEALANT, COLOR TO MATCH BRICK. VIF QUANTITY OF BRICKS THAT WILL REQUIRE REPLACEMENT VERSUS CUTTING.

20 EXISTING STRESS CRACK. REMOVE SEALANT. REMOVE BROKEN/CRACKED BRICKS AND REPLACE. SEE DRAWING FOR QUANTITY. GRIND AND POINT ADJACENT AREAS (NOT INCLUDED IN WALL PERCENTAGE), TO ELIMINATE ALL CRACKS IN

MASONRY RESTORATION NOTES

21 NOTICEABLE HORIZONTAL JOINT ISSUE. IT IS POSSIBLE THERE IS A SHELF ANGLE. IT IS ALSO POSSIBLE THIS IS THE LINE OF STEEL, BEYOND. MASONRY CONTRACTOR TO GRIND SUFFICIENTLY TO DETERMINE IF STEEL IS PRESENT. GRAND, EXPOSE AND TREAT ALL RUSTED/CORRADED STEEL AND POINT. GRIND AND POINT ALL EXCESSIVELY OPEN JOINTS.Pp

22 REMOVE MORTAR AT INFILLED HOLES ABOVE DOOR AND PROVIDE NEW, WHOLE BRICKS. VIF QUANTITY OF BRICKS REQUIRED.

23 DETACH AND RESET EXISTING CONDUIT TO ALLOW FOR PROPER POINTING AND REPAIR BEHIND.

24 DETACH AND RESET CAMERA TO ALLOW FOR MASONRY REPAIR.

25 REMOVE EXISTING SEALANT/MORTAR AT PENETRATION THRU WALL. PROVIDE NEW MORTAR/SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

26 REBUILD CORNER, REPLACE BROKEN/CRACKED BRICK. ONE ROW, THREE BRICKS IN EACH DIRECTION. INCLUDE REPAIR OF CONCRETE FOUNDATION WALL FOR STABLE AND WATERTIGHT CORNER. SEE PHOTO ON SHEET.

27 PROVIDE NEW COVER PLATE AT EXISTING EXPOSED JUNCTION BOX. SEAL WATERTIGHT TO MASONRY.

28 REPAIR/PATCH CRACK/SPALL AT EXISTING CONCRETE FOUNDATION FOR SOUND

29 EXISTING ROOFING TERMINATION. REMOVE SEALANT AT TOP OF METAL TERMINATION BAR. EXAMINE METAL FOR TERMINATION TYPE. - AT LOCATIONS WHERE TERMINATION BAR IS MADE WATERTIGHT WITH SEALANT TO MASONRY, PROVIDE NEW SEALANT, COLOR TO MATCH MORTAR. - AT LOCATIONS WHERE TERMINATION BAR IS MADE WATERTIGHT WITH EMBEDED FLASHING/COUNTER-FLASHING, CLEAN AND POINT JOINT - DO NOT APPLY SEALANT TO ALLOW FOR TRAPPED WATER TO ESCAPE. - UN-PLUG / REMOVE SEALANT FROM ALL WEEPS ALONG EDGE OF THRU WALL FLASHING. DO NOT SEAL SHUT!

30 REMOVE SEALANT AROUND (4) THRU WALL BOLTS AND PLATES. PROVIDE NEW SEALANT FOR WATERTIGHT CONDITION AT PENETRATION.

31 REMOVE EXISTING SEALANT FROM PERIMETER OF METAL HOOD/ROOF AT LOUVER. PROVIDE NEW SEALANT BETWEEN HOOD AND MASONRY.

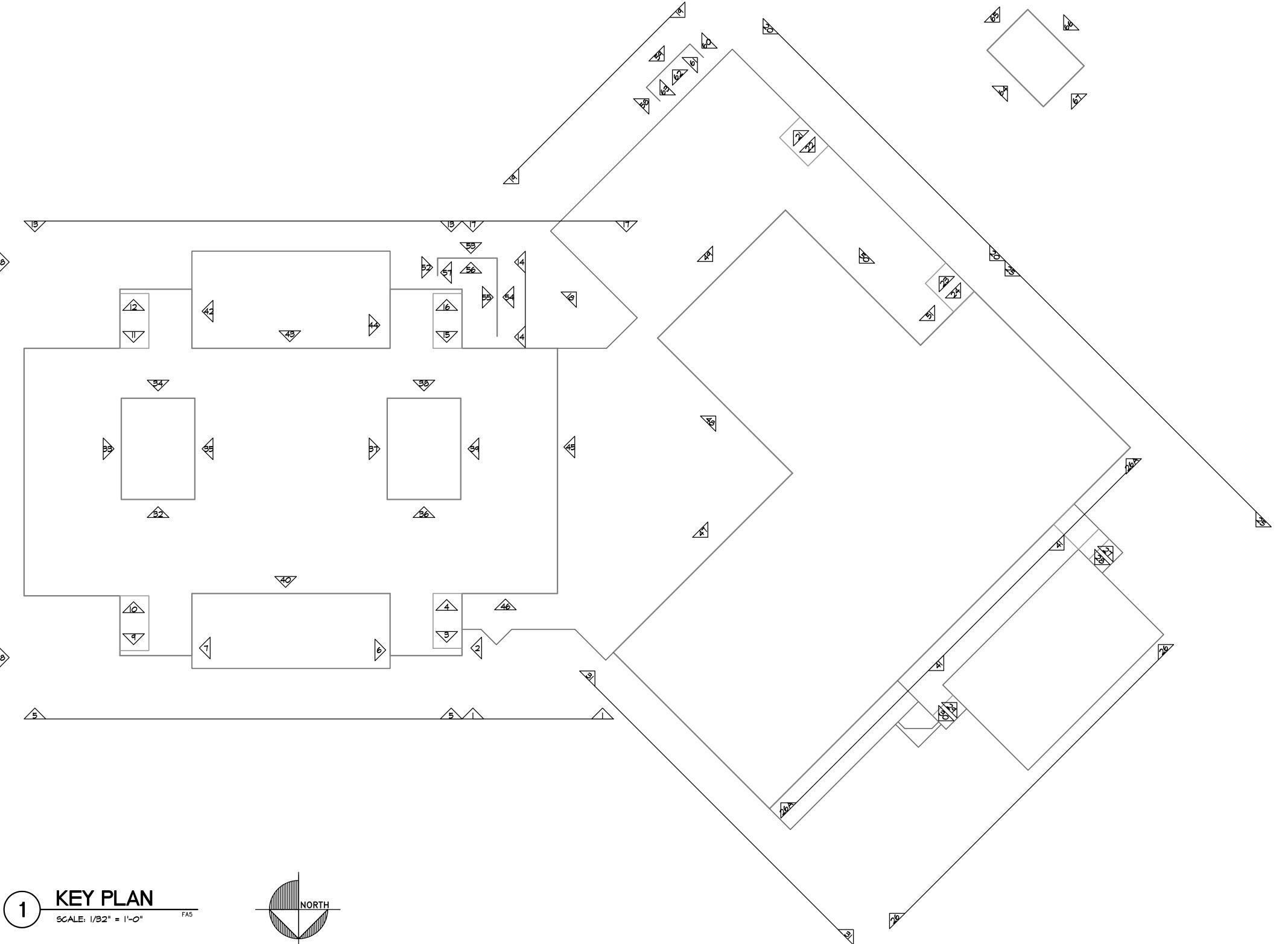
32 DETACH AND RESET EXISTING PROTECTIVE GRILL OVER LOUVER TO SEAL LOUVER TOP MASONRY.

33 DETACH AND RESET EXISTING FLASHING/COPING TO ALLOW FOR REPLACEMENT OF CRACKED BRICK AND NEW MOVEMENT JOINT BEHIND.

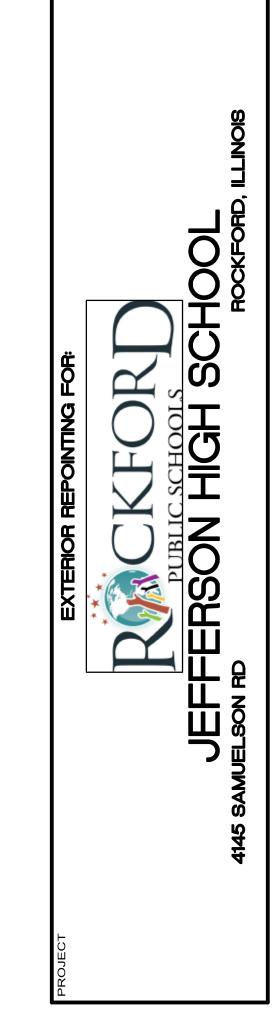
35 FASTEN NEW TREATED WOOD PLATE(S) TO STONE CAP (FULL WIDTH 2x OR TWO 2x4's) WITH 3/8" POWER STUD SD+ AT 24" O.C., DRILLED AND SET IN EXPOXY. PROVIDE NEW PRE-FINISHED, 24GA, SINGLE PIECE, CLIP-LOCK COPING CAP, EQUAL TO PAC-CLAD PAC-CONTINUOUS CLEAT COPING.

36 FULLY REMOVE ALL PLANT GROWTH FROM WALLS

34 GRIND AND POINT JOINT BETWEEN BRICK AND CONCRETE.



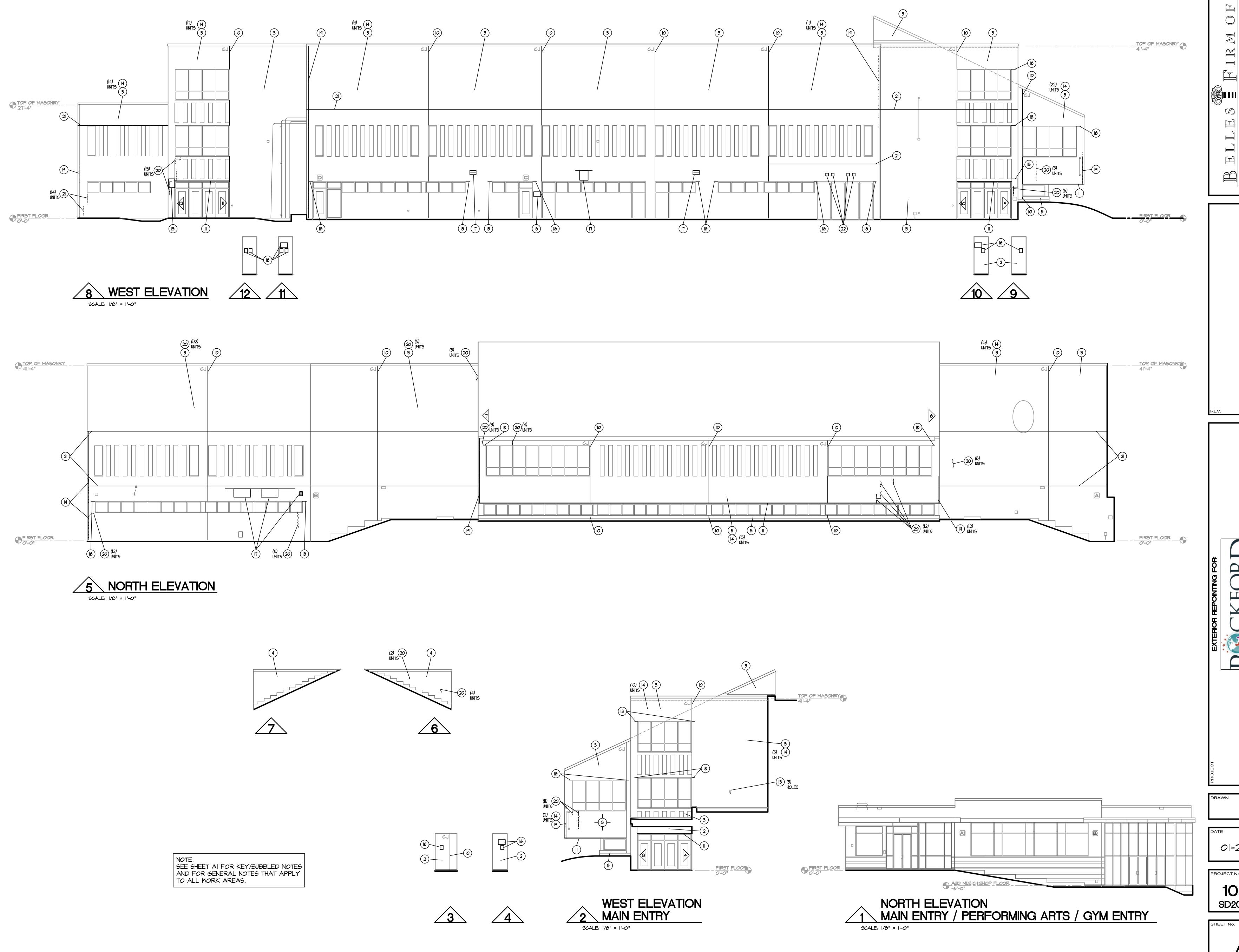
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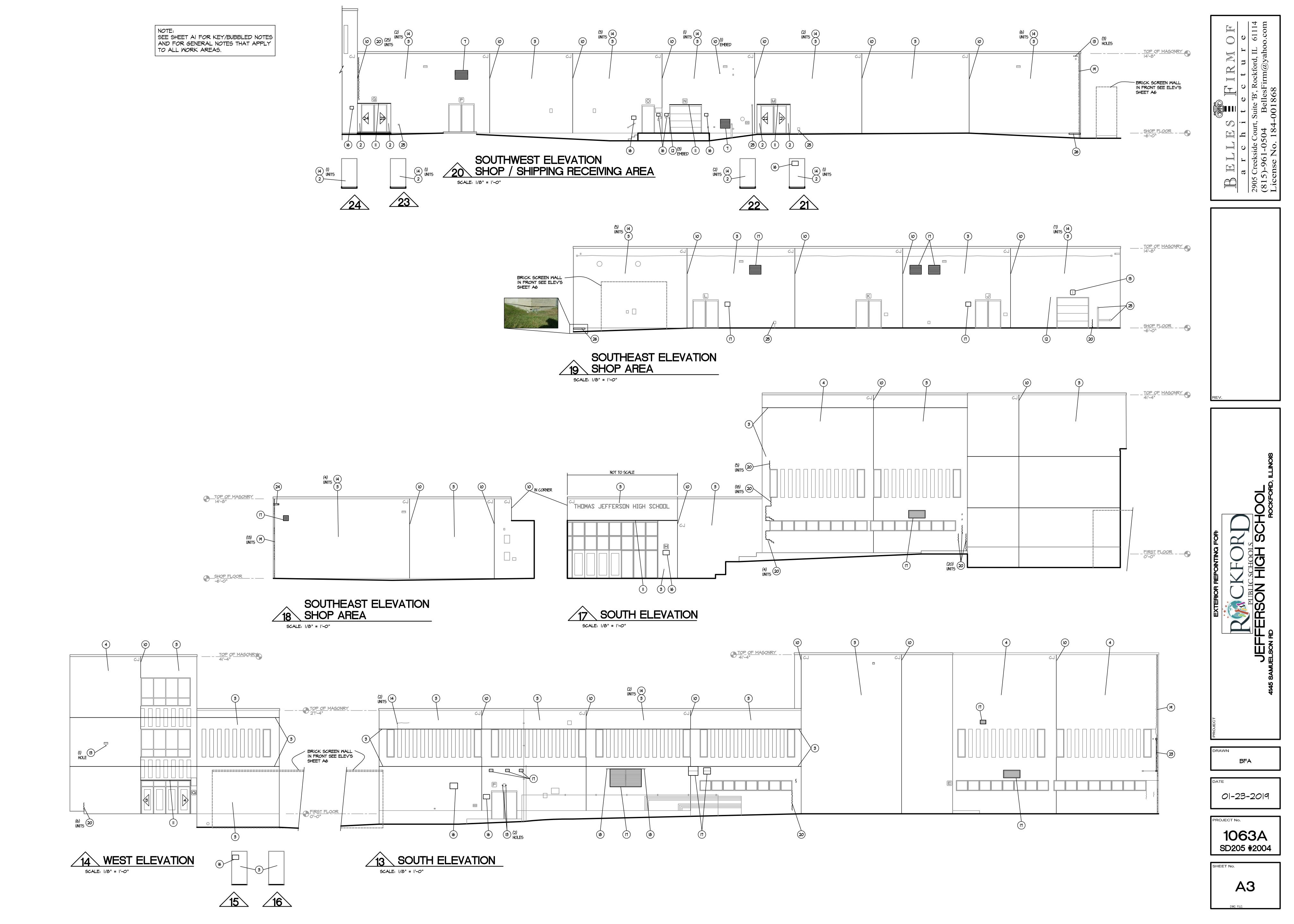
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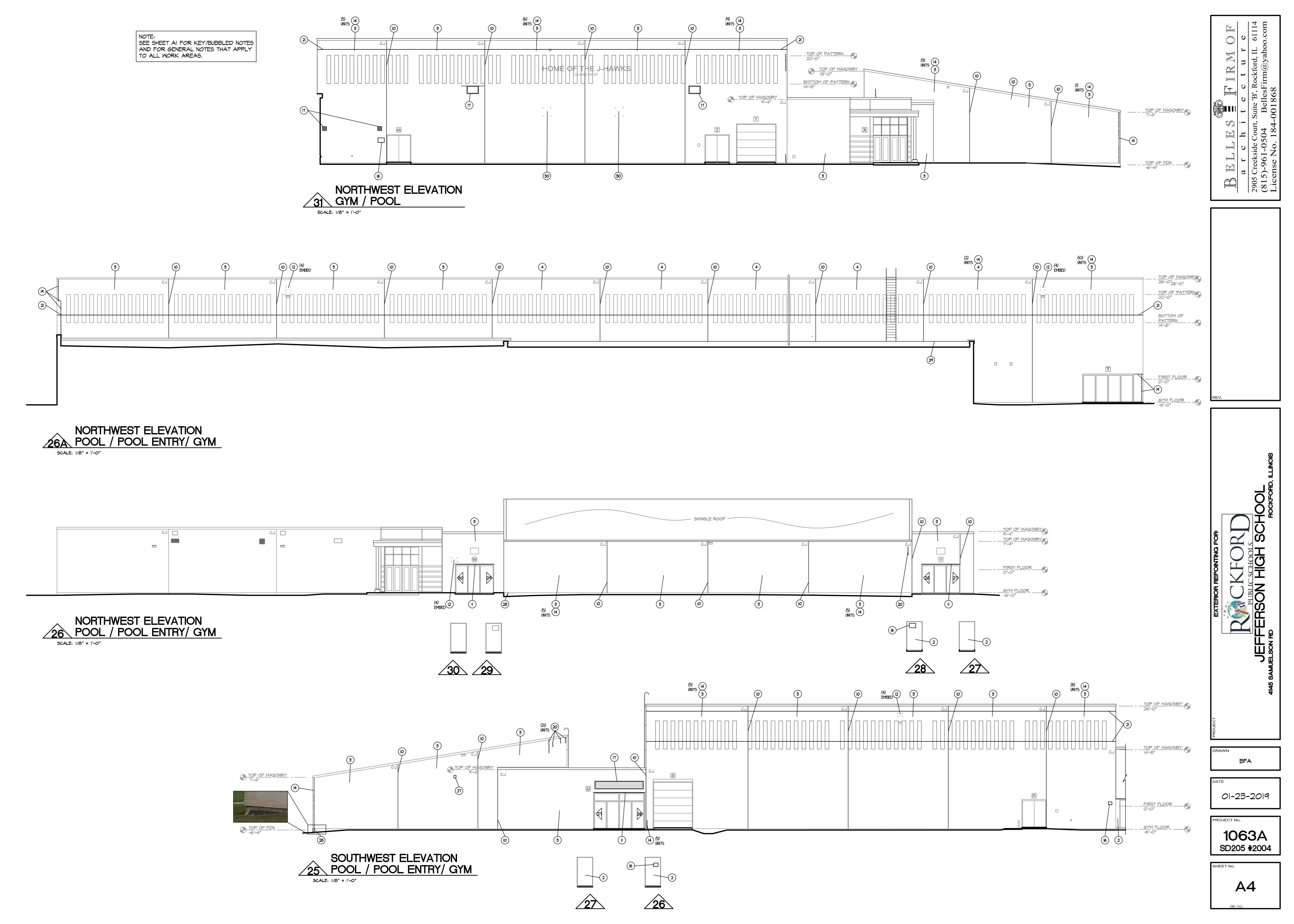
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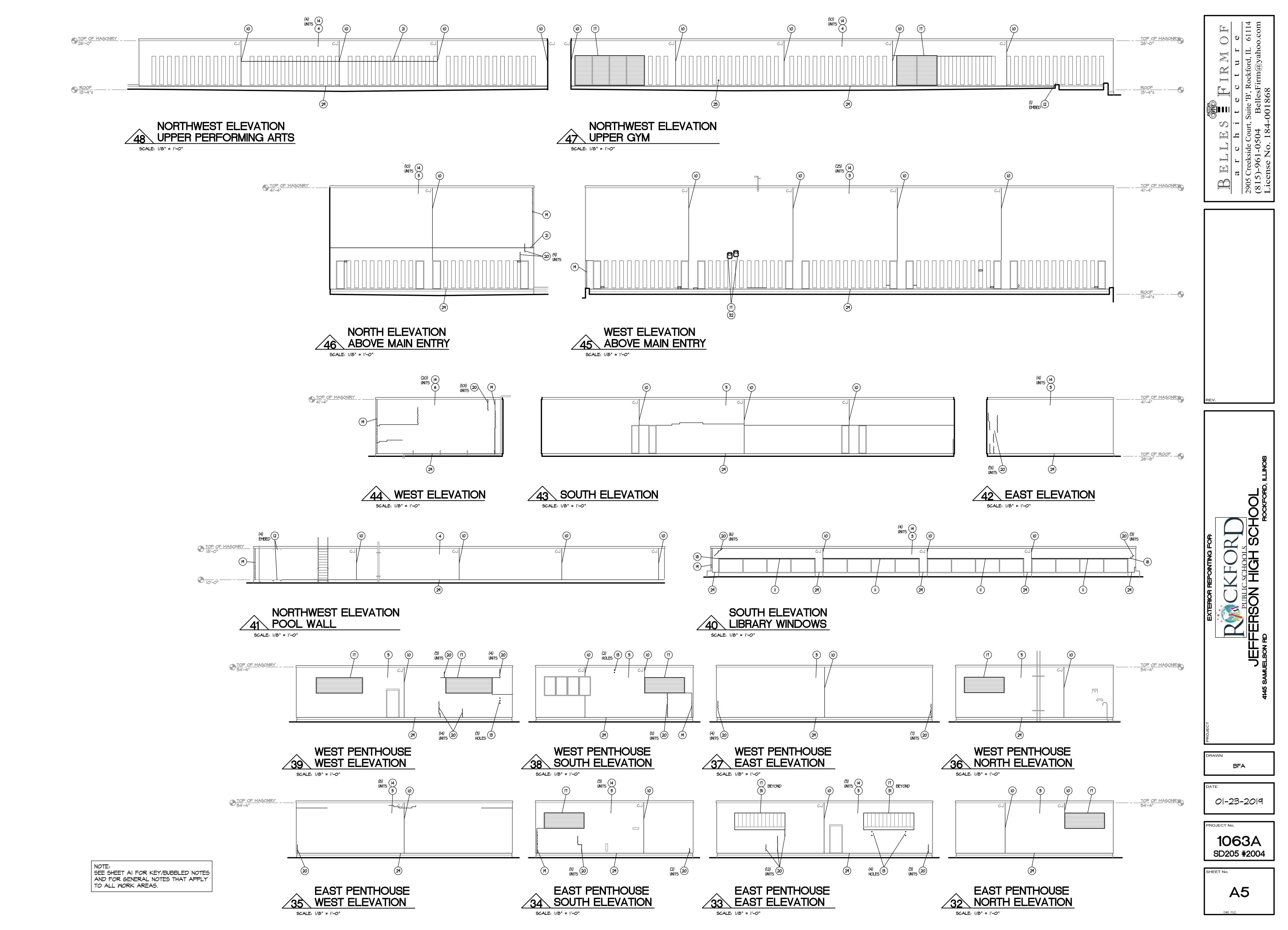
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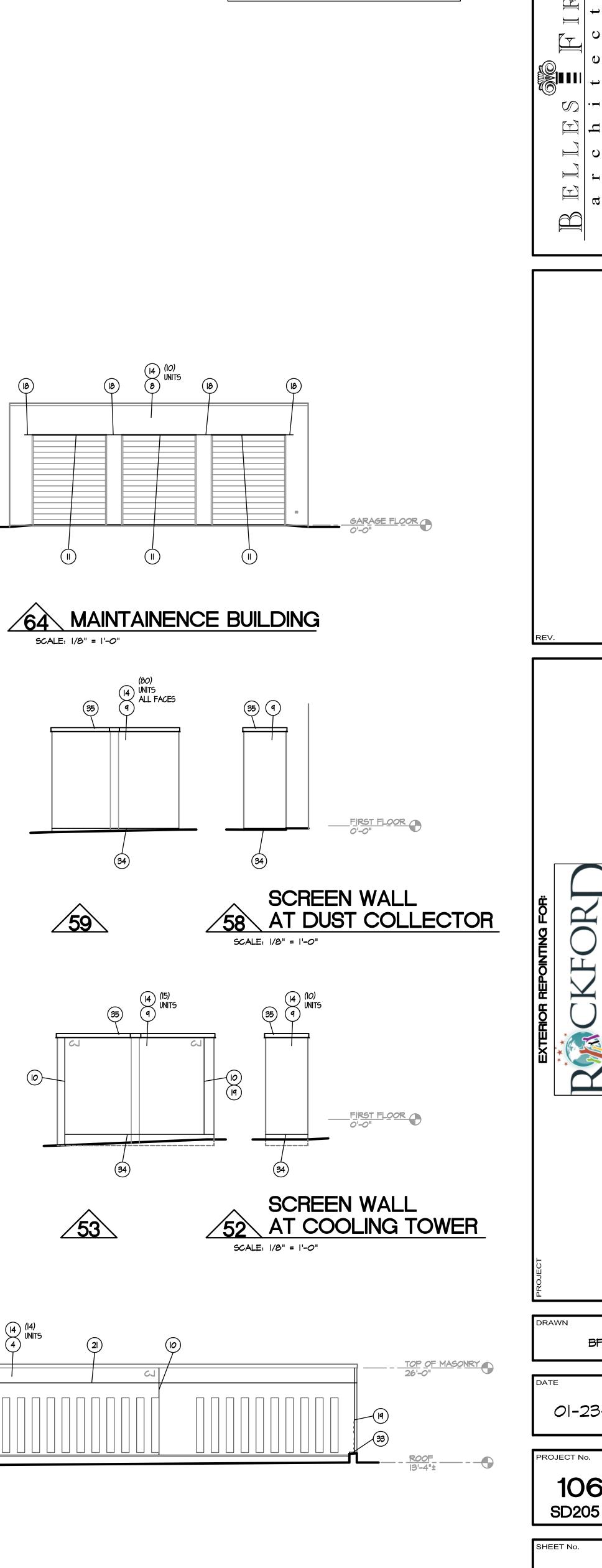
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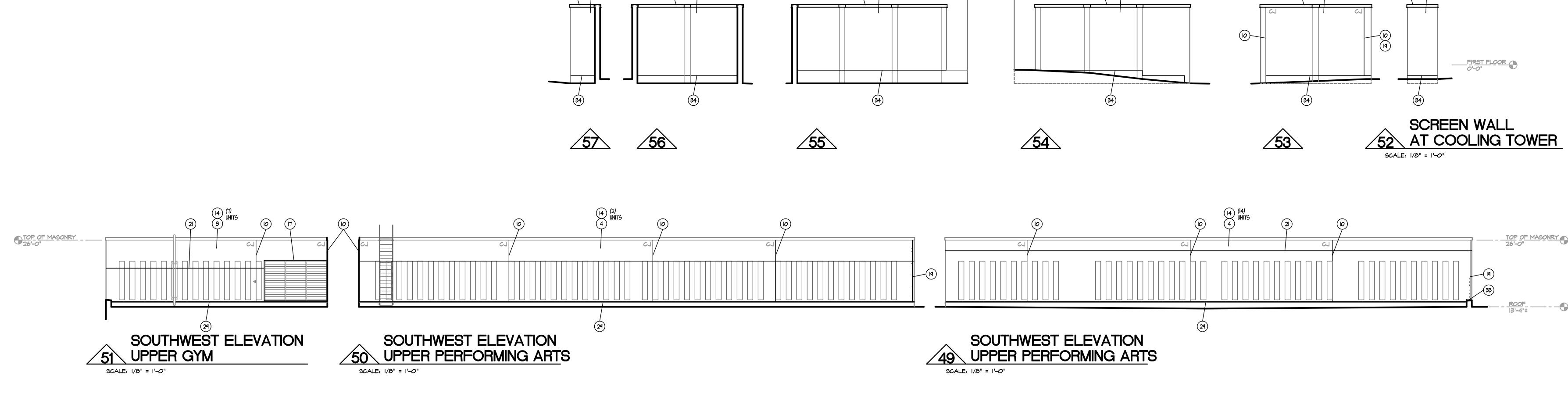
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